

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 1-A, BLOCK F, TIMOTEO-CHAVEZ ADDITION (2408 MORNINGSDRIVE N.E.) ARE CONTAINED HEREON:

EXISTING CONDITIONS

AS SHOWN BY THE VICINITY MAP, THE SITE CONTAINS 0.449 ACRES MORE OR LESS, AND IS LOCATED AT THE NORTHEAST QUADRANT OF THE INTERSECTION OF MORNINGSDRIVE N.E. AND CUTLER AVENUE N.E. THE SITE IS FULLY DEVELOPED WITH TWO WAREHOUSE BUILDINGS TOTALLING 8160 SQ. FT. ALONG WITH ASPHALT PARKING AND ASSOCIATED LANDSCAPED AREAS. ALL THE DEVELOPED RUN-OFF IS ROUTED TOWARDS AN EXISTING DRIVEPAD LOCATED ON CUTLER AVENUE N.E. ACCORDING TO THE FLOOD INSURANCE RATE MAPS, PANEL 0351E, THIS SITE IS NOT LOCATED WITHIN A DESIGNATED FLOOD ZONE.

PROPOSED CONDITIONS

AS SHOWN BY THE GRADING/DRAINAGE PLAN, THE PROPOSED DEVELOPMENT WILL CONSIST OF 700 SQ. FT. OF ADDITIONAL WAREHOUSE AREA AS SHOWN ON THE PLAN DRAWING. THE ADDITION WILL BE BUILT OVER EXISTING ASPHALT THEREFORE NOT CREATING ANY ADDITIONAL DEVELOPED RUN-OFF.

NOTE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within the City right-of-way. Approved copy of this plan must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact line locating Services for locating existing utilities (260-1990).
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to residential use.
6. All work on this project shall be performed in accordance with applicable Federal, State and local laws, rules and regulations concerning construction safety and health.

LEGAL DESCRIPTION

LOT 1-A BLOCK "F"  
TIMOTEO CHAVEZ ADDITION  
BERNALILLO COUNTY  
ALBUQUERQUE, NEW MEXICO

BENCHMARK:

TBM:  
EXISTING FINISH FLOOR OF EXISTING BUILDING  
ELEVATION: 5142.00

ENGINEER CERTIFICATION

I, EUPRACIO SEBAY, NMPE # 6790, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADED AND WILL BE DRAWN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/08/05. THE RECORD INFORMATION ENTERED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION 41.65  
41.50  
OR  
41.50



GRADING/DRAINAGE PLAN

1"=10'

ABBREVIATION LEGEND

TOP OF CON. PAD - TCP  
TOP OF CURB - TC  
TOP OF ASPHALT - TA  
FLOWLINE - FL  
TOP OF WALL - TW  
TOP OF SIDEWALK - TSW

SYMBOL LEGEND

PROPOSED LANDSCAPE AREA  
PROPOSED CONTOUR  
EXISTING SPOT ELEVATION  
DESIGNED SPOT ELEVATION  
PROPERTY LINE  
EASEMENT LINE

FLOW DIRECTION

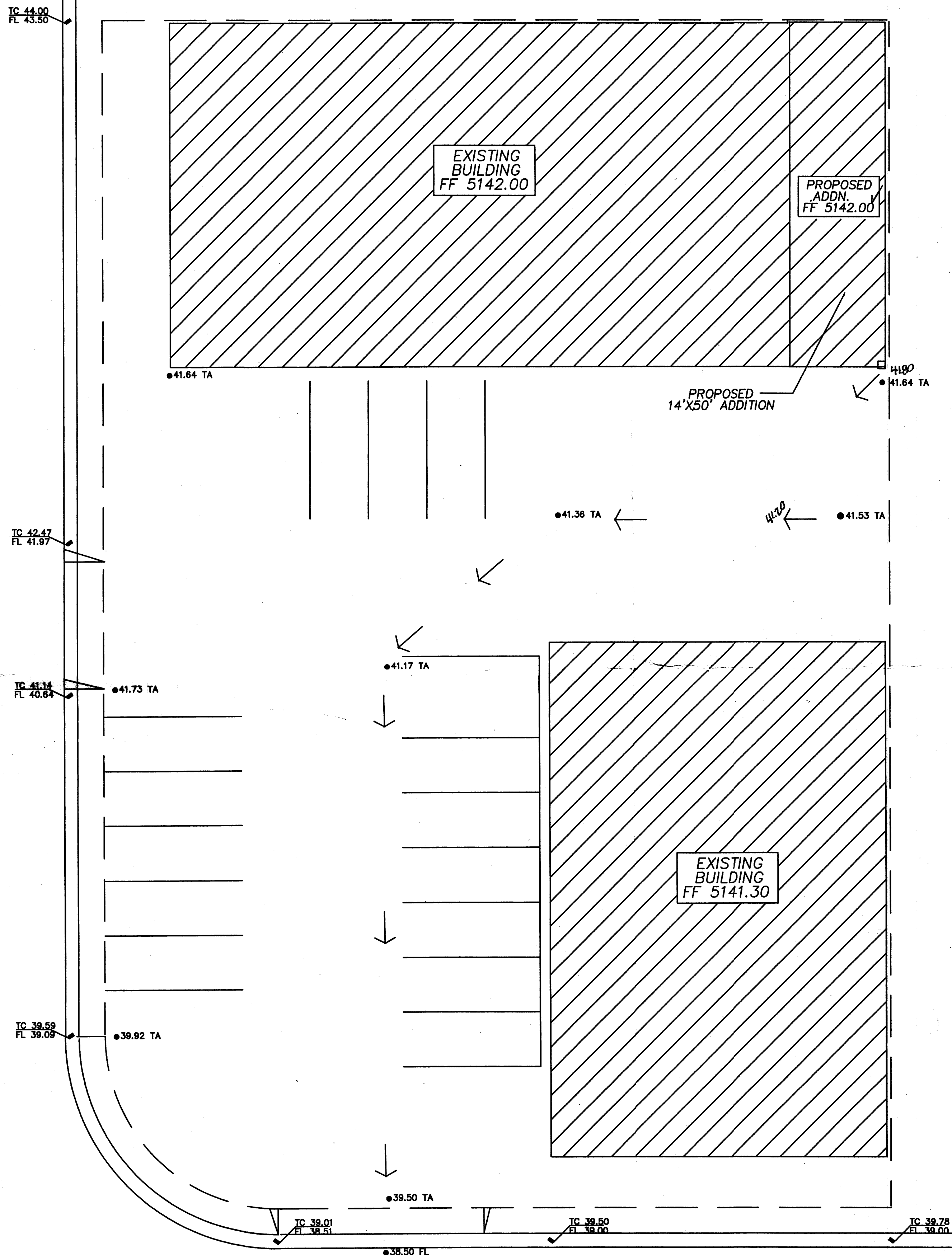
DOWN SPOUT

EROSION CONTROL MEASURES

1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUN-OFF DURING CONSTRUCTION, HE SHALL ASSURE THAT THE FOLLOWING MEASURES ARE:
  - A) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY TEMPORARY BERMS, DIKES, SWALES, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUN-OFF FROM LEAVING THE SITE AND ENTERING ADJACENT PROPERTY.
  - B) ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUN-OFF FROM THE SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER THE PUBLIC STREETS.
2. THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY OR ALL SEDIMENT WITHIN THE PUBLIC STREETS THAT HAVE BEEN ERODED FROM THE SITE AND DEPOSITED THERE.

EMBUDO DIVERSION CHANNEL (143" R/W)

MORNINGSDRIVE N.E.



CUTLER AVENUE N.E.



JOB NO: XXXXXXXX

AUGUST 2004

REVISIONS

Sheet Title  
GRADING & DRAINAGE PLAN

Checked By: BJM

Drawn BJ Montoya

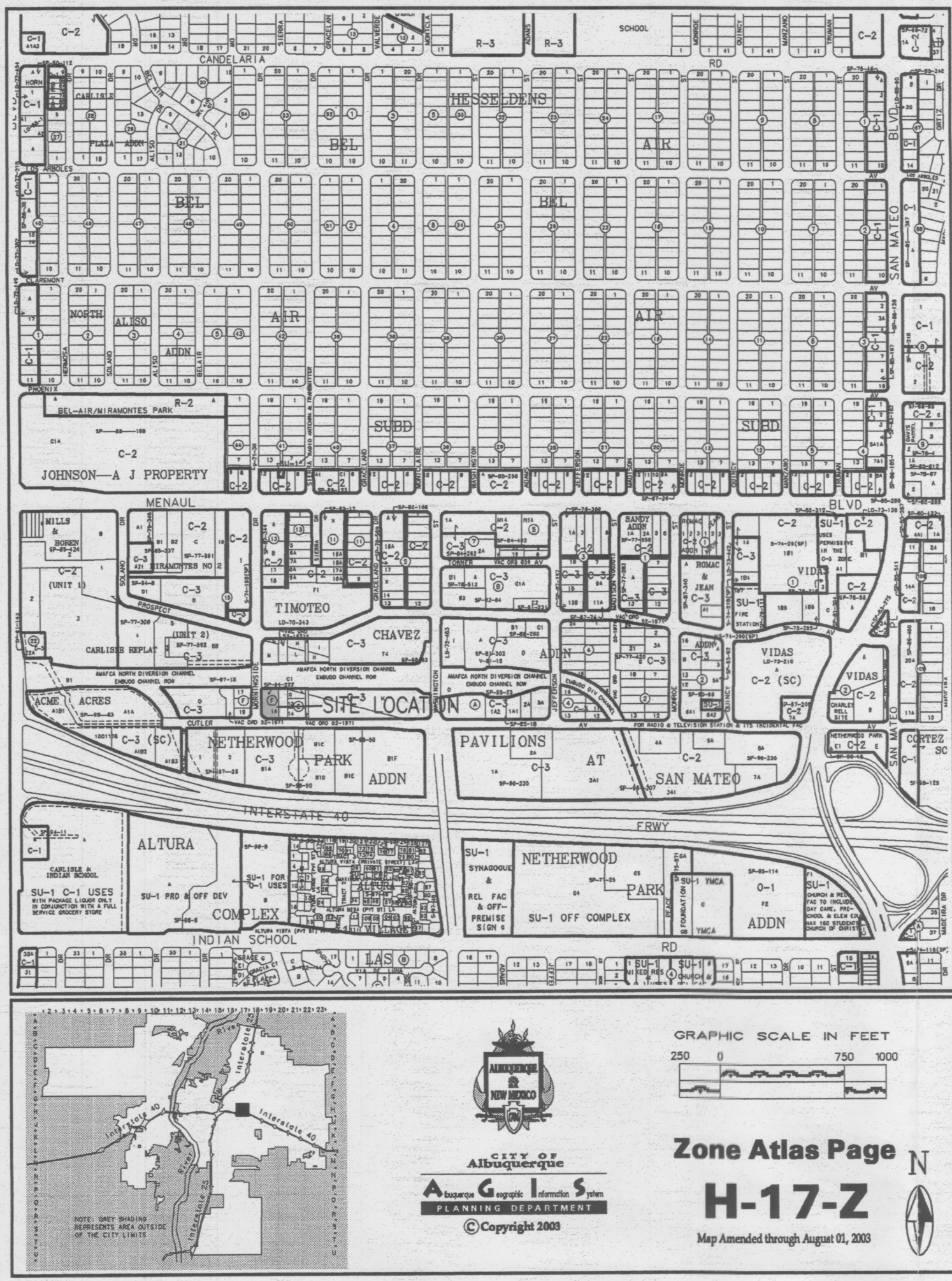
Project Name  
WAREHOUSE ADDITION  
2408 MORNINGSDRIVE N.E.  
ALBUQUERQUE, NEW MEXICO

SHEET NO.

GD

DEC 08 2005  
HYDROLOGY SECTION





VICINITY MAP NO. H-17 FIRM PANEL 0351E

GRADING/DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING LOT 1-A, BLOCK F, TIMOTEO-CHAVEZ ADDITION (2408 MORNINGSIDE DRIVE N.E.) ARE CONTAINED HEREON:

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TBM:  
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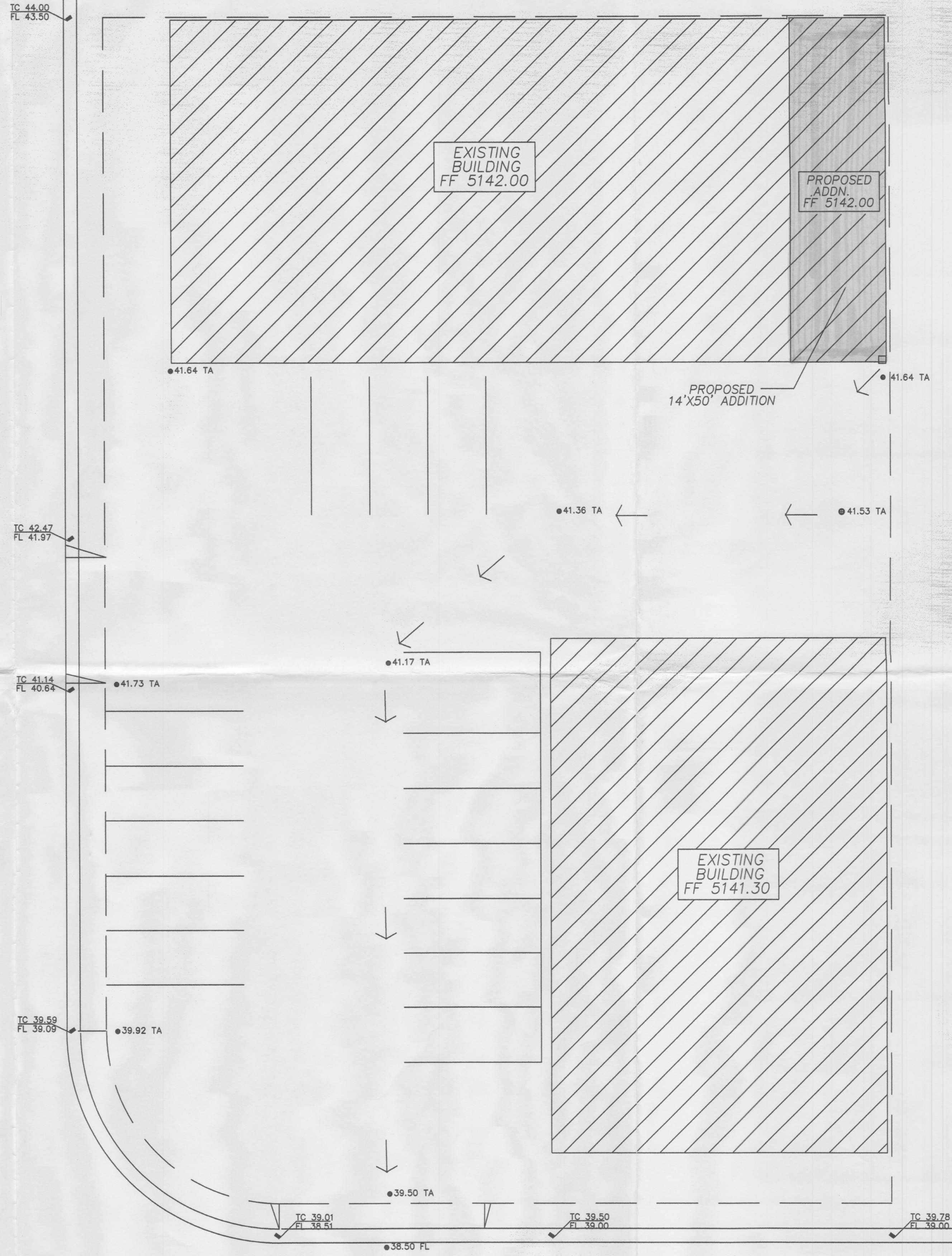
SYMBOL LEGEND

- PROPOSED LANDSCAPE AREA
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- DESIGNED SPOT ELEVATION
- PROPERTY LINE
- EASEMENT LINE
- FLOW DIRECTION
- DOWN SPOUT

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EMBUDO DIVERSION CHANNEL (143" R/W)

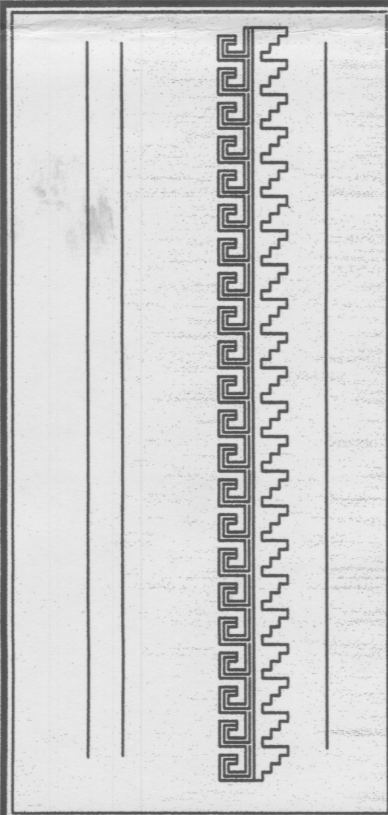


CUTLER AVENUE N.E.



JOB NO:	XXXXXXXX
	AUGUST 2004
	REVISIONS

Sheet Title	GRADING & DRAINAGE PLAN
Drawn	BJ Montoya
Checked By:	BJM



Project Name	WAREHOUSE ADDITION 2408 MORNINGSIDE DRIVE N.E. ALBUQUERQUE, NEW MEXICO
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SHEET NO.	GD
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