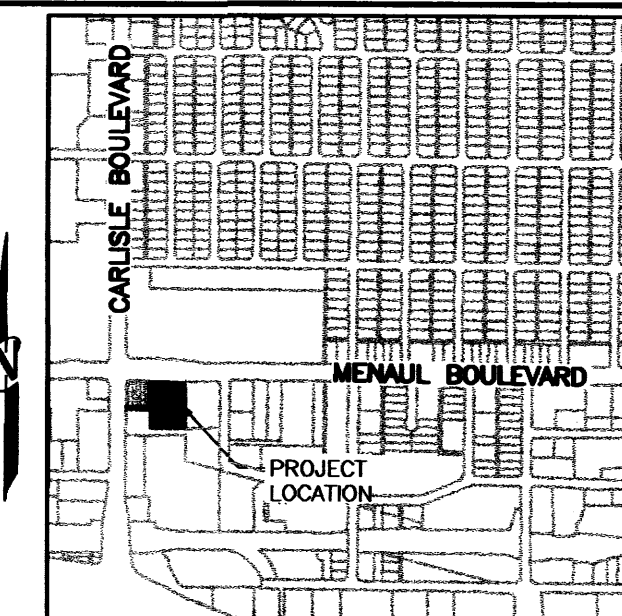


Carlisle Boulevard N.E.  
106' Right-of-Way

Menaul Boulevard N.E.  
100' Right-of-Way

BENCHMARK  
FOUND NAIL WITH TAG  
LS3516  
ELEVATION = 5153.95



**Walgreens**  
FACILITIES PLANNING AND DESIGN  
106 WILMOT ROAD  
847-940-2500  
DEERFIELD, IL 60015

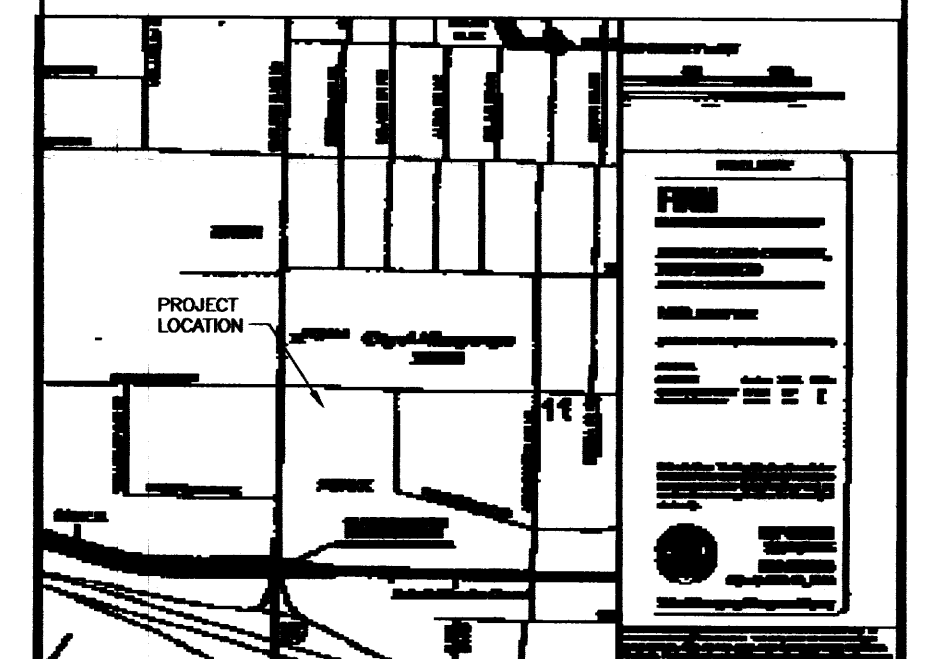
Architect of Record  
Timothy M. Gallup  
15 East Fifth Street, Suite 2800 • Tulsa, Oklahoma 74103  
(918) 584-8855 • (918) 584-2880 FAX  
egc@calhanguallup.com (e-mail)

SITE DEVELOPMENT PLANS PREPARED BY:  
**KHOORY ENGINEERING, INC.**  
NEW MEXICO LICENSE # 14357  
1435 E. 41ST STREET Tel 918.712.8768  
Tulsa, OK 74105 Fax 918.712.1069

#### PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:  
☐ WALGREENS' CONSULTANT ☐ LANDLORD'S CONSULTANT  
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
☐ WALGREENS' CONTRACTOR  
☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)  
STORE BUILDING  
NEW..... ☐  
REMODELING..... ☐  
RELOCATION..... ☐  
OTHERS..... ☐  
NEW..... ☐  
EXISTING..... ☐  
NEW SHELL ONLY..... ☐

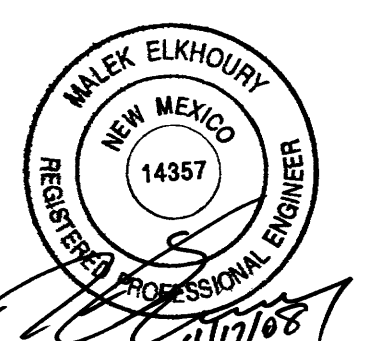
ACCORDING TO FEMA PANEL 351E  
DATED NOVEMBER 19, 2003  
MAP NUMBER 35001C0351E  
THIS PROJECT IS NOT LOCATED  
WITHIN THE 100-YR FLOOD PLAIN.



NO.	DATE	BY	DESCRIPTION	CONST.
REVISIONS				

#### CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT  
THIS PLAN AND SPECIFI-  
CATIONS WAS PREPARED BY  
ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I  
AM A DULY REGISTERED  
ARCHITECT OR ENGINEER  
UNDER THE LAWS OF THE  
STATE OF NEW MEXICO  
AS SIGNIFIED BY MY HAND  
AND SEAL.



PROJECT NAME  
**3600 MENAUL BLVD. N.E.**  
**ALBUQUERQUE, BERNALILLO COUNTY,**  
**STATE OF NEW MEXICO**

#### SITE DRAINAGE PLAN

DATE 04/17/08  
CRITERIA-FISCAL 2007  
DRAWN BY: MDE  
REVIEWED BY: MEE  
STORE NO. 11958  
SCALE: AS SHOWN  
DRAWING NO.  
**C2.1**

## 2 SCHEDULE OF STORM DRAIN STRUCTURES

STR. #	STRUCTURE TYPE	RIM	INV.
S-1	HEADWALL		5143.57
S-2	DOUBLE "C" STORM INLET	5148.20	5143.60
S-3	SEWER MANHOLE TYPE "C"	5148.60	5144.64
S-4	SEWER MANHOLE TYPE "C"	5148.30	5145.28
S-5	DOUBLE "C" STORM INLET	5149.00	5145.97
S-6	DOUBLE "C" STORM INLET	5148.20	5145.09
		IN	OUT
P-1	18" HDPE STORM DRAIN (8.00 LF)	5143.60	5143.57
P-2	15" HDPE STORM DRAIN (152.50 LF)	5144.64	5143.85
P-3	12" HDPE STORM DRAIN (57.60 LF)	5145.28	5144.89
P-4	12" HDPE STORM DRAIN (101.00 LF)	5145.97	5145.28
P-5	12" HDPE STORM DRAIN (11.50 LF)	5145.09	5144.89
RD-1	8" PVC ROOF DRAIN		5144.39

NOTE: REFER TO CITY OF ALBUQUERQUE STANDARD DETAILS FOR INLET AND MANHOLE DESIGN.

## 3 DRAINAGE CALCULATIONS

		DIRECT RUNOFF (100 YR STORM)						
DESIGN POINT	AREA DESIGNATION	UNPAVED AREA (AC)	PAVED AREA (AC) INCLUDING BLDG & WALKS	TOTAL AREA	TIME OF CONCENTRATION (HRS)	INTENSITY (in/hr)	PEAK FLOW Q (cfs)	PEAK FLOW Q (gpm)
1	A	0.075	0.466	0.541	0.2	5.61	2.68	
2	B	0.027	0.130	0.157	0.2	5.61	0.76	
3	C	0.023	0.162	0.185	0.2	5.61	0.92	
4	D	-	0.153	0.153	0.2	5.61	0.81	
5	E	0.045	0.203	0.248	0.2	5.61	1.20	
F	-	-	0.373	0.373	0.2	5.61	1.97	
G	-	-	0.010	0.010	0.2	5.61	0.05	

NOTE:  
FOR CALCULATION PURPOSES UNPAVED AREAS ARE EQUIVALENT TO LAND TREATMENT DESIGNATION "A" AND GIVEN A C-VALUE OF 0.52; PAVED AREAS ARE EQUIVALENT TO LAND TREATMENT DESIGNATION "D" AND GIVEN A C-VALUE OF 0.94.

#### SITE DESCRIPTION AND DRAINAGE INFORMATION:

THE PROPOSED RE-DEVELOPMENT OF THIS SITE WILL INCLUDE THE CONSTRUCTION OF A WALGREENS STORE, PARKING LOT AND DRIVES. REFER TO SHEET C2.4 FOR INFORMATION RELATED TO EXISTING CONDITIONS. ACCORDING TO THE DRAINAGE CALCULATIONS, THE DEVELOPMENT OF THIS PROJECT WILL NOT INCREASE THE HISTORIC FLOW FROM THIS SITE.

OFF-SITE FLOW:  
THERE IS NO OFF-SITE WATER THAT IS DISCHARGE ONTO THIS SITE.

Pipe No.	Flow (cfs)	Capacity (cfs)	Slope (%)	Size (in)	Length (ft)	Velocity (ft/s)	Pipe Mat'l
P-1	4.46	8.14	0.80	18	8.00	3.60	HDPE
P-2	3.65	5.00	0.52	15	152.50	3.45	HDPE
P-3	0.76	2.95	0.69	12	57.60	2.51	HDPE
P-4	0.76	2.95	0.69	12	101.00	2.51	HDPE
P-5	0.92	2.72	1.74	12	11.50	4.95	HDPE

## 4 LEGEND - DRAINAGE SYMBOLS

SCALE: NTS  
A - DRAINAGE AREA DESIGNATION  
- DRAINAGE AREA SIZE (ACRES)  
- DRAINAGE AREA DIVIDE  
- SURFACE FLOW DIRECTION

CITY OF ALBUQUERQUE APPROVALS:

HYDROLOGY REVIEW ENGINEER

STORM DRAIN MAINTENANCE SUPERVISOR

NOV 18, 2008  
HYDROLOGY SECTION

DATE

DATE

CONTRACTOR SHALL CONTACT  
NEW MEXICO ONE-CALL SYSTEM  
• (800) 321-2537, AT  
LEAST 72 HOURS PRIOR TO  
BEGINNING CONSTRUCTION



TRACT-1, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-9-1969  
(D4, 25)

## 1 SITE DRAINAGE PLAN

SCALE: 1"=20'

Note Elevation shown in red  
are "As-Built" shots taken  
on 10-14-08 by Surveyor  
Steve Walker PCS 6401.

20 0 20  
GRAPHIC SCALE  
1" = 20'

Carlisle Boulevard N.E.  
106' Right-of-Way

CONTRACTOR SHALL CONTACT  
NEW MEXICO ONE-CALL SYSTEM  
© (800) 321-2537, AT  
LEAST 72 HOURS PRIOR TO  
BEGINNING CONSTRUCTION



LOCATION MAP

GRAPHIC SCALE  
1" = 20'

Menaul Boulevard N.E.  
100' Right-of-Way

TRACT-1, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-09-1969

1 TRAFFIC CIRCULATION PLAN  
SCALE: 1"=20'

#### LEGAL DESCRIPTION

TRACT LETTERED "Z" OF THE MILLS AND BOREN  
SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON  
THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY  
CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER  
10, 1985 IN MAP BOOK C28, FOLIO 117.

PROPERTY UPC # 1-017-059-031-245-31035.

ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.

## 2 SCHEDULE OF SITE DATA

RE: THIS SHEET

PARKING SPACES				
		REQUIRED	PROVIDED	
REGULAR PARKING	1/200 SF			
(REDUCE BY 10% FOR BUS STOP)		73	73	
ACCESSIBLE PARKING (INCLUDED ABOVE)		4	4	
BICYCLE PARKING		4	4	
MOTORCYCLE PARKING		3	3	
LAND USE		ZONING		
GENERAL RETAIL		C-2	COMMUNITY	COMMERCIAL
SETBACK				
	FRONT	CORNER	SIDE	REAR
BUILDING SETBACK	18'	5'		0'
PARKING SETBACK	0'	0'		0'
SITE AREA				
PRE-DEVELOPMENT		SQ. FT.	ACRES	% OF TOTAL AREA
PAVING- IMPERVIOUS SURFACE		72,332	1.660	100%
GRASS- PERVIOUS SURFACE		-	-	-
TOTAL SITE AREA		72,332	1.660	100%
POST-DEVELOPMENT		SQ. FT.	ACRES	% OF TOTAL AREA
BUILDING		16,284	0.374	22%
PAVING- IMPERVIOUS SURFACE		47,619	1.103	66%
GRASS- PERVIOUS SURFACE		8,429	0.183	12%
TOTAL SITE AREA		72,332	1.660	100%
PROPOSED BUILDING HEIGHT		(SEE ARCHITECTURAL PLANS)		

## 3 KEYED NOTES

ALL ITEMS ARE NEW CONSTRUCTION UNLESS NOTED OTHERWISE

- C100 FOR DETAILS OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY REFER TO PUBLIC IMPROVEMENT PLANS. REFER TO DRC PROJECT #781081.
- C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES, UNLESS NOTED OTHERWISE.
- C102 4" WIDE PAINT STRIPE 45° AT 2' O/C. USE 2 COAT YELLOW TRAFFIC PAINT.
- C103 PHARMACY DRIVE THRU. RE: ARCHITECTURAL PLANS
- C104 CONCRETE DRIVEWAY PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS & SPECIFICATIONS. REFER TO PUBLIC IMPROVEMENT PLANS
- C105 NEW PYLON SIGN BY SIGN CONTRACTOR. RE: A5.1 & A5.2.
- C106 CONCRETE RAMP. RE: C4.1/5 AND A0.3/5
- C107 COMBINED CURB & GUTTER. RE: C4.1/4
- C108 SHREDDER AND COMPACTOR ON CONCRETE PAVING. RE: ARCHITECTURAL PLANS
- C109 PAVEMENT MARKINGS. RE: A0.3/4
- C110 ACCESSIBLE PARKING SIGN ON POST. RE: A0.3/6
- C111 PAINTED ACCESSIBLE SYMBOL. RE: A0.3/3
- C112 CONCRETE PAVING. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS. REFER TO C4.1/2 FOR PAVEMENT SECTION.
- C113 TOTE ENCLOSURE. RE: ARCHITECTURAL PLANS
- C114 HEAVY DUTY ASPHALT PAVEMENT. RE: C4.1/1
- C115 BUILDING PERIMETER SIDEWALK. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- C116 LIGHT DUTY ASPHALT PAVEMENT. RE: C4.1/1
- C117 PARKING LOT LIGHTING. RE: ELECTRICAL PLANS FOR DETAILS. INSTALL POLE A MINIMUM OF 30' BEHIND CURB UNLESS NOTED OTHERWISE.
- C118 SIDEWALK DRAINAGE CULVERT WITH STEEL PLATE TOP. RE: CITY DETAIL NO. 2236
- C119 5" WIDE 6" THICK CONCRETE SIDEWALK.
- C120 "ONE WAY - DO NOT ENTER" SIGN ON STEEL POST. RE: C4.1/6
- C121 ACCESSIBLE RAMP PER CITY STANDARDS. REFER TO PUBLIC IMPROVEMENT PLANS
- C122 CONCRETE RETAINING WALL WITH FENCE ON TOP. RE: C2.3
- C123 PIPE BOLLARD RE: A0.2/6
- C124 FIRE LANE TO BE PAINTED RED PER CITY OF ALBUQUERQUE STANDARDS.
- C125 BICYCLE PARKING. REFER TO ARCHITECTURAL PLANS FOR DETAILS
- C126 CONCRETE DRAINAGE FLUME. RE: C4.1/10
- C127 CONCRETE SWALE. RE: C4.1/7
- C128 WALGREENS TRANSFORMER.
- C129 "STOP" SIGN ON STEEL POST. RE: C4.1/6
- C130 RETAINING CURB AND GUTTER. RE: C4.1/9
- C131 "DO NOT BLOCK DRIVEWAY" SIGN ON STEEL POST. RE: C4.1/6
- C132 NMDOT STANDARD GUARDRAIL. RE: C4.1/9
- C133 SHOPPING CART CORRAL. OWNER TO PROVIDE AND INSTALL.

## 4 LEGEND

THIS SHEET

EXISTING ASPHALT PAVEMENT	DETECTABLE WARNING SURFACE
EXISTING CONCRETE PAVEMENT	NEW CONCRETE SIDEWALK (BY OTHERS)
EXISTING STAMPED PAVEMENT	NEW CONCRETE PAVEMENT (BY OTHERS)
EXISTING BUILDING	NEW ASPHALT PAVEMENT (BY OTHERS)
EXISTING CONCRETE SIDEWALK	DETECTABLE WARNING SURFACE (BY OTHERS)
NEW CONCRETE SIDEWALK	R RD SW/E U/E XFRM
NEW CONCRETE PAVEMENT	RADIUS ROOF DRAIN SIDEWALK EASEMENT UTILITY EASEMENT ELECTRIC TRANSFORMER
LIGHT DUTY ASPHALT PAVEMENT	
HEAVY DUTY ASPHALT PAVEMENT	
NEW BUILDING	

TRAFFIC CIRCULATION LAYOUT  
APPROVED

Signed \_\_\_\_\_ Date \_\_\_\_\_

Public Infrastructure shown  
on these plans for information  
only and not part of approval.  
Separate DRC/Permit approval  
and Work Order required.

**Walgreens**  
FACILITIES PLANNING AND DESIGN  
106 WILMOT ROAD DEERFIELD, IL 60015  
847-940-2500

Timothy M. Gallup  
Architect of Record

15 East Fifth Street • Suite 2900 • Tulsa, Oklahoma 74103  
(918) 584-8855 • (918) 584-2880 FAX  
cgc@callahangallup.com (e-mail)

SITE DEVELOPMENT PLANS PREPARED BY:

**KHOORY ENGINEERING, INC.**  
NEW MEXICO LICENSE # 14357  
1435 E. 41ST STREET Tel 918.712.8768  
Tulsa, OK 74105 Fax 918.712.1069

#### PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

☐ WALGREENS' CONSULTANT ☐ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

☐ WALGREENS' CONTRACTOR ☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE BUILDING

NEW..... ☐ REMODELING..... ☐ RELOCATION..... ☐ OTHERS..... ☐

NEW..... ☐ NEW..... ☐ EXISTING..... ☐ NEW SHELL ONLY..... ☐

#### SYMBOLS LEGEND

NEW	EXISTING	
		= TRAFFIC SIGNAL BOX
		= POWER POLE
		= TELEPHONE RISER
		= DROP INLET
		= LIGHT POLE
		= UNDERGROUND SEWER LINE
		= UNDERGROUND WATER LINE
		= SEWER MANHOLE
		= TRANSFORMER
		= ELECTRIC SERVICE BOX
		= HANDICAP PARKING SPACE
		= BLOCK WALL
		= TRAFFIC FLOW
		= WATER METER

#### WORK CLARIFICATION

ON-SITE WORK SHOWN ON THIS PLAN (EXCEPT FOR THE WORK SHOWN WITHIN MENAUL BOULEVARD RIGHT-OF-WAY) SHALL BE CONSTRUCTED WITH BUILDING PERMIT.

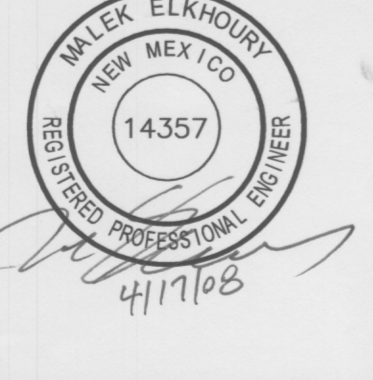
ALL WORK SHOWN WITHIN MENAUL BOULEVARD RIGHT-OF-WAY SHALL BE DONE BY WORK ORDER. REFER TO DRC PROJECT #78108.

NO.	DATE	BY	DESCRIPTION	CONST.
-----	------	----	-------------	--------

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME  
3600 MENAUL BLVD. N.E.

ALBUQUERQUE, BERNALILLO COUNTY,  
STATE OF NEW MEXICO

DRAWING TITLE  
TRAFFIC CIRCULATION PLAN

DATE 04/17/08  
CRITERIA-FISCAL 2007

DRAWN BY: MDE  
REVIEWED BY: MEE

STORE NO. 11958  
SCALE: AS SHOWN  
DRAWING NO. C1.1

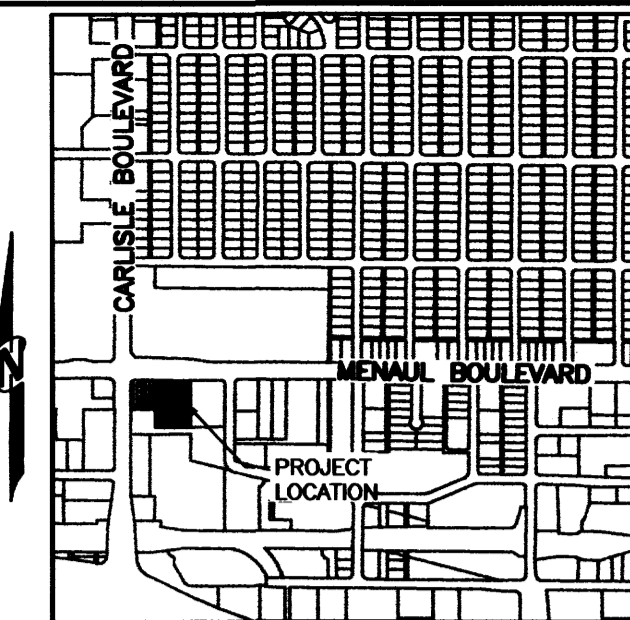
RECEIVED  
APR 30 2008  
HYDROLOGY SECTION



Carlisle Boulevard N.E.  
106' Right-of-Way

Menaul Boulevard N.E.  
100' Right-of-Way

BENCHMARK  
FOUND NAIL WITH TAG  
LS3516  
ELEVATION = 5153.95



LOCATION MAP

**Walgreens**  
FACILITIES PLANNING AND DESIGN  
106 WILMOT ROAD DEERFIELD, IL 60015  
847-940-2500

Timothy M. Gallup  
Architect of Record  
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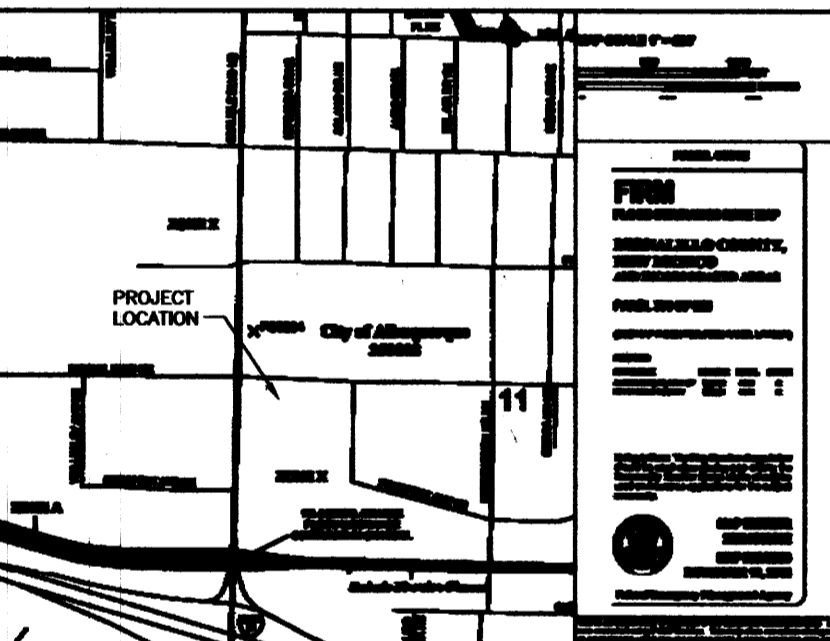
SITE DEVELOPMENT PLANS PREPARED BY:

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PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:  
☐ WALGREENS' CONSULTANT ☐ LANDLORD'S CONSULTANT  
ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
☐ WALGREENS' CONTRACTOR  
☐ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)  
STORE BUILDING  
NEW..... ☐ REMODELING..... ☐ RELOCATION..... ☐ OTHERS..... ☐ NEW..... ☐ EXISTING..... ☐ NEW SHELL ONLY..... ☐

ACCORDING TO FEMA PANEL 351E  
DATED NOVEMBER 19, 2003  
MAP NUMBER 35001C0351E  
THIS PROJECT IS NOT LOCATED  
WITHIN THE 100-YR FLOOD PLAIN.



NO.	DATE	BY	DESCRIPTION	CONST.
REVISIONS				

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT  
THIS PLAN AND SPECIFI-  
CATIONS WAS PREPARED BY  
ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I  
AM A DULY REGISTERED  
ARCHITECT OR ENGINEER  
UNDER THE LAWS OF THE  
STATE OF NEW MEXICO  
AS SIGNIFIED BY MY HAND  
AND SEAL.



PROJECT NAME  
**3600 MENAUL BLVD. N.E.**  
**ALBUQUERQUE, BERNALILLO COUNTY,**  
**STATE OF NEW MEXICO**

SITE DRAINAGE PLAN

DATE 04/17/08  
CRITERIA-FISCAL 2007  
DRAWN BY: MDE  
REVIEWED BY: MEE  
STORE NO. 11958  
SCALE: AS SHOWN  
DRAWING NO. **C2.1**

APR 23 2008

HYDROLOGY  
SECTION

2 SCHEDULE OF STORM  
DRAIN STRUCTURES

STR. #.	STRUCTURE TYPE	RIM	INV.
S-1	HEADWALL		5143.57
S-2	DOUBLE "C" STORM INLET	5148.20	5143.60
S-3	SEWER MANHOLE TYPE "C"	5148.60	5144.64
S-4	SEWER MANHOLE TYPE "C"	5148.30	5145.28
S-5	DOUBLE "C" STORM INLET	5149.00	5145.97
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		IN	OUT
P-1	18" HDPE STORM DRAIN (8.00 LF)	5143.60	5143.57
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P-5	12" HDPE STORM DRAIN (11.50 LF)	5145.09	5144.89
RD-1	8" PVC ROOF DRAIN		5144.39

NOTE: REFER TO CITY OF ALBUQUERQUE STANDARD DETAILS FOR INLET AND MANHOLE DESIGN.

3 DRAINAGE CALCULATIONS

		DIRECT RUNOFF		(100 YR STORM)			
DESIGN POINT	AREA DESIGNATION	UNPAVED AREA	PAVED AREA	TOTAL AREA	TIME OF CONCENTRATION	INTENSITY	PEAK FLOW
1	A	0.075	0.466	0.541	0.2	5.61	2.68
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F	-	-	0.373	0.373	0.2	5.61	1.97
G	-	-	0.010	0.010	0.2	5.61	0.05

NOTE:  
FOR CALCULATION PURPOSES UNPAVED AREAS ARE EQUIVALENT TO LAND TREATMENT DESIGNATION "A" AND GIVEN A C-VALUE OF 0.52; PAVED AREAS ARE EQUIVALENT TO LAND TREATMENT DESIGNATION "D" AND GIVEN A C-VALUE OF 0.94.

SITE DESCRIPTION AND DRAINAGE INFORMATION:

THE PROPOSED RE-DEVELOPMENT OF THIS SITE WILL INCLUDE THE CONSTRUCTION OF A WALGREENS STORE, PARKING LOT AND DRIVES. REFER TO SHEET C2.4 FOR INFORMATION RELATED TO EXISTING CONDITIONS. ACCORDING TO THE DRAINAGE CALCULATIONS, THE DEVELOPMENT OF THIS PROJECT WILL NOT INCREASE THE HISTORIC FLOW FROM THIS SITE.

OFF-SITE FLOW:  
THERE IS NO OFF-SITE WATER THAT IS DISCHARGE ONTO THIS SITE.

Pipe No.	Flow (cfs)	Capacity (cfs)	Slope (%)	Size (in)	Length (ft)	Velocity (ft/s)	Pipe Mat'l
P-1	4.46	8.14	0.60	18	8.00	3.60	HDPE
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P-3	0.76	2.95	0.60	12	57.60	2.51	HDPE
P-4	0.76	2.95	0.60	12	101.00	2.51	HDPE
P-5	0.92	2.72	1.74	12	11.50	4.95	HDPE

4 LEGEND - DRAINAGE SYMBOLS

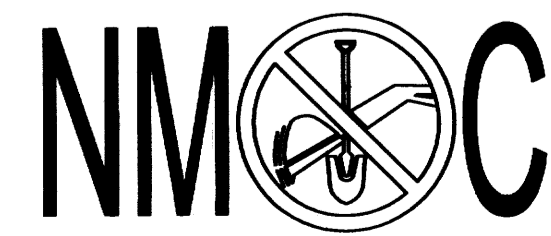
SCALE: NTS  
A - DRAINAGE AREA DESIGNATION  
B - DRAINAGE AREA SIZE (ACRES)  
C - DRAINAGE AREA DIVIDE  
D - SURFACE FLOW DIRECTION

CITY OF ALBUQUERQUE APPROVALS:

HYDROLOGY REVIEW ENGINEER DATE

STORM DRAIN MAINTENANCE SUPERVISOR DATE

CONTRACTOR SHALL CONTACT  
NEW MEXICO ONE-CALL SYSTEM  
• (800) 321-2537, AT  
LEAST 72 HOURS PRIOR TO  
BEGINNING CONSTRUCTION



LOTS 1 THRU 6  
MILLS AND BOREN SUBDIVISION  
FILED: 3-9-1951  
(B1, 156)

PUBLIC & PRIVATE UTILITY  
EASEMENT (C28, 117) [#12]

INGRESS & EGRESS ESMT.  
FILED 10-27-1969  
(BK. MISC. 154, PG. 317) [#13]

TRACT-1, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-09-1969  
(D4, 25)

INSTALL 18" CONCRETE HEADWALL  
AND 6" RIVER ROCK OVER FILTER FABRIC  
FL=5143.57  
Q=4.46 CFS  
END NEW CONCRETE  
SWALE AT BACK OF WALL  
FL=5143.45  
Q=4.46 CFS

PRE-DEVELOPMENT DISCHARGE FROM THIS SITE  
Q<sub>100</sub>=5.24 CFS  
POST-DEVELOPMENT DISCHARGE FROM THIS SITE  
Q<sub>100</sub>=4.46 CFS

EXISTING DRAIN INLET  
SUMP CONDITION

TRACT-1, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-09-1969  
(D4, 25)

1 SITE DRAINAGE PLAN  
SCALE: 1"=20'

20 0 20  
GRAPHIC SCALE  
1"=20'

Carlisle Boulevard N.E.  
106' Right-of-Way

Menaul Boulevard N.E.  
100' Right-of-Way

BENCHMARK  
FOUND NAIL WITH TAG  
LSS516  
ELEVATION = 5153.95

QUARTERPOINT DATA

	TC	FL
1	5149.26	5148.76
2	5149.40	5149.32
3	5149.93	5149.60
4	5150.19	5149.69
5	5150.13	5149.63

QUARTERPOINT DATA

	TC	FL
1	5151.91	5151.41
2	5150.74	5150.74
3	5151.26	5150.76
4	5151.14	5150.64
5	5151.00	5150.50

LOTS 1 THRU 6  
MILLS AND BOREN SUBDIVISION  
FILED: 3-9-1951  
(B1, 156)

PUBLIC & PRIVATE UTILITY  
EASEMENT (C28, 117) [112]

INGRESS & EGRESS ESMT.  
FILED: 10-27-1969  
(BK. MISC. 154, PG. 317) [113]

TRACT-1, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-09-1969  
(D4, 25)

TRACT-B  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 1-16-1958  
(D2, 48)

#### DRAINAGE NOTE

REFER TO DRAINAGE PLAN SHEET C2.1 FOR  
DETAILS OF STORM DRAIN SYSTEM AND  
DRAINAGE CALCULATIONS.

#### BENCHMARK NOTE

ELEVATIONS HEREON ARE BASED ON ACS BENCHMARK 9-H-17,  
THE PUBLISHED ELEVATION OF WHICH IS 5180.85. SAID  
BENCHMARK IS LOCATED IN THE SOUTHEAST QUADRANT OF THE  
INTERSECTION OF MENAUL BLVD. AND WASHINGTON STREET NE.

TRACT-4, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-09-1969

### 1 SITE GRADING PLAN

SCALE: 1"=20'

### 2 SCHEDULE OF GENERAL NOTES

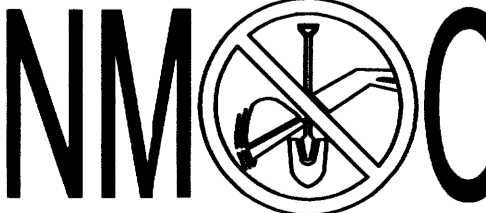
- THE CONTRACTOR SHALL CALL THE NEW MEXICO ONE CALL SYSTEM AT 1-800-321-2537 TO REQUEST MARKING THE LOCATION OF EXISTING UTILITIES AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING OF EXCAVATION.
- EXISTING UTILITIES ARE SHOWN APPROXIMATELY AND FOR GENERAL INFORMATION PURPOSES ONLY. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- MANHOLE LIDS AND SLEEVES IN PAVED AREAS SHALL BE HS-25 TRAFFIC RATED.
- UNDERGROUND STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARDS.
- PROVIDE PIPE BOLLARDS AT LOCATIONS SHOWN AND AT LOCATIONS SPECIFIED BY THE OWNER, REGULATORY AGENCIES AND UTILITY COMPANIES. COORDINATE BOLLARD INSTALLATION WITH FINISHED PAVING GRADE.
- EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- UNLESS OTHERWISE SHOWN, NEW PAVING SHALL BE CONSTRUCTED TO ALLOW FOR POSITIVE DRAINAGE TO CATCH BASIN, CURB, UTILITY AND OTHER RUNOFF COLLECTION DEVICES. NEW PAVEMENT SLOPE SHALL BE MINIMUM 0.50% FOR CONCRETE AND 1.5% FOR ASPHALT UNLESS OTHERWISE INDICATED OR DIRECTED BY THE ARCHITECT/ENGINEER.
- ALL DISTURBED AREAS THAT ARE NOT TO BE PAVED SHALL BE SODDED UNLESS NOTED OTHERWISE.
- CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES AND TO COMPLY WITH NEW MEXICO DEPARTMENT OF NATURAL RESOURCES STANDARDS.
- EXISTING BOUNDARY AND TOPOGRAPHIC SURVEY WAS PREPARED BY SURVEYS SOUTHWEST, LTD., AUGUST 2007. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF EXISTING GROUND CONDITIONS ARE NOT REPRESENTATIVE IN THE FIELD.
- THE CONTRACTOR SHALL KEEP THE SITE CLEAN AT ALL TIMES AND CONTROL DUST RESULTING FROM THE EARTHWORK OPERATIONS. THE CONTRACTOR SHALL NOT TRACK MUD ONTO THE PUBLIC STREETS.
- NEW CONTOURS DENOTE TOP OF FINISHED PAVING AND GRADED AREA AS INDICATED. ALL SPOT ELEVATIONS ARE TO THE TOP OF CURB UNLESS NOTED OTHERWISE.
- STORM DRAIN STRUCTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWINGS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- ALL ROOF DRAIN PIPES ARE POLYVINYL CHLORIDE (PVC) SCHEDULE 40 OR SDR 30, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES AND SHALL NOT DAMAGE OR DISTURB ANY SERVICE. THE CONTRACTOR SHALL REPAIR, AT HIS OWN EXPENSE, ANY DAMAGED UTILITIES CAUSED BY HIS CONSTRUCTION OPERATIONS.
- ALL DRAIN PIPES, SHALL HAVE A MINIMUM COVER OF (1) FEET TO TOP OF PIPE, UNLESS NOTED OTHERWISE.
- BEDDING MATERIALS SHALL BE OF GRADE AS SPECIFIED IN THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS. PIPES SHALL BE PLACED ON AT LEAST 6-INCHES OF BEDDING MATERIALS, AND BACKFILLED WITH SAME MATERIALS.
- ADJUST ALL VALVE BOXES AND MANHOLE COVERS TO FINISHED GRADE WHEN APPLICABLE.
- THE CONTRACTOR SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), TO MAINTAIN A VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES.
- THE CONTRACTOR SHALL FURNISH ALL BONDS AND INSPECTION FEES AS REQUIRED BY THE CITY OF ALBUQUERQUE.
- THE PROPERTY FLOOD ZONE DESIGNATION IS ZONE X, DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP, BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS PER MAP NO. 35001C0351 E, EFFECTIVE DATE NOVEMBER 19, 2003.
- IF FIELD GRADE ADJUSTMENTS ARE REQUIRED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER.
- IF A CONFLICT EXISTS BETWEEN THE PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT/ENGINEER FOR CLARIFICATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS AND FOR CONTACTING THE CITY TO ARRANGE FOR A PRE CONSTRUCTION CONFERENCE IF SO REQUESTED BY THE CITY, PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL COMPLY WITH LOCAL, STATE AND NATIONAL REQUIREMENTS FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- FOR PAVEMENT THICKNESSES AND MATERIAL SPECIFICATIONS, REFER TO DETAIL SHEETS.
- UNDERGROUND UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL STANDARDS.

### 3 SPECIAL NOTES

- PAVEMENT GRADES IN MARKED HANDICAPPED AREA SHALL NOT EXCEED 2% IN ALL DIRECTIONS. DESIGN GRADES SHALL BE LESS THAN 1.8% TO ALLOW FOR CONSTRUCTION TOLERANCES.
- REFER TO PUBLIC IMPROVEMENT PLANS FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

CONTRACTOR SHALL CONTACT  
NEW MEXICO ONE-CALL SYSTEM  
☎ (800) 321-2537, AT  
LEAST 72 HOURS PRIOR TO  
BEGINNING CONSTRUCTION

20 0 20  
GRAPHIC SCALE  
1"= 20'



**Walgreens**  
FACILITIES PLANNING AND DESIGN  
106 WILMOT ROAD DEERFIELD, IL 60015  
847-940-2500

Timothy M. Gallup  
Architect of Record  
15 East Fifth Street • Suite 2900 • Tulsa, Oklahoma 74103  
(918) 584-8855 • (918) 584-2880 FAX  
cgc@callahangallup.com (e-mail)

SITE DEVELOPMENT PLANS PREPARED BY:

**KHOORY ENGINEERING, INC.**  
NEW MEXICO LICENSE # 14357

1435 E. 41ST STREET Tel 918.712.8768  
Tulsa, OK 74105 Fax 918.712.1069

#### PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:  
☐ WALGREENS' CONSULTANT ☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
☐ WALGREENS' CONTRACTOR ☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

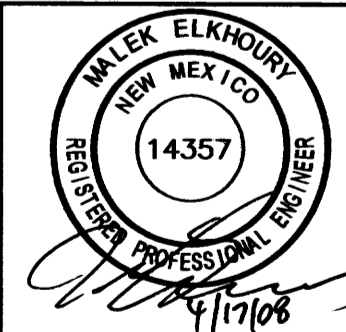
STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING..... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION..... <input type="checkbox"/>	NEW SHELL ONLY <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

NO.	DATE	BY	DESCRIPTION	CONST.
-----	------	----	-------------	--------

#### REVISIONS

#### CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT  
THIS PLAN AND SPECIFICATIONS  
WAS PREPARED BY  
ME OR UNDER MY DIRECT  
SUPERVISION AND THAT I  
AM A DULY REGISTERED  
ARCHITECT OR ENGINEER  
UNDER THE LAWS OF THE  
STATE OF NEW MEXICO  
AS SIGNIFIED BY MY HAND  
AND SEAL.

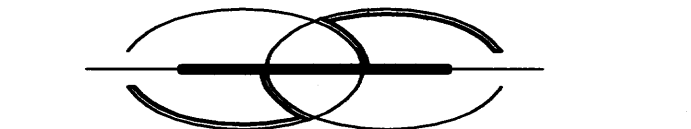


PROJECT NAME  
**3600 MENAUL BLVD. N.E.  
ALBUQUERQUE, BERNALILLO COUNTY,  
STATE OF NEW MEXICO**

#### SITE GRADING PLAN

DATE 04/17/08 CRITERIA-FISCAL 2007	STORE NO. 11958	DRAWING NO.
DRAWN BY: MDE	SCALE	RECEIVED
REVIEWED BY: MEE		APR 25 2008

HYDROLOGY  
SECTION



Timothy M. Gallup  
Architect of Record  
15 East Fifth Street • Suite 2900 • Tulsa, Oklahoma 74103  
(918) 584-8855 • (918) 584-2880 FAX  
cgc@callahangallup.com (e-mail)

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Tulsa, OK 74105 Fax 918.712.1069

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

☐ WALGREENS' CONSULTANT ☒ LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:

☐ WALGREENS' CONTRACTOR ☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE BUILDING

NEW..... ☒ REMODELING..... ☐ NEW..... ☐

RELOCATION..... ☐ EXISTING..... ☐

OTHERS..... ☐ NEW SHELL ONLY ☐

### SITE DESCRIPTION AND DRAINAGE INFORMATION:

THE EXISTING SITE IS CURRENTLY DEVELOPED WITH BUILDINGS, PARKING AND DRIVES. STORM WATER FLOWS OVERLAND TO THREE DIFFERENT LOCATIONS AS SHOWN ON THE DRAINAGE AREA MAP BELOW. THE EXISTING STRUCTURE INCLUDING PAVEMENT WILL BE DEMOLISHED TO ALLOW FOR THE DEVELOPMENT OF A WALGREENS STORE. THE INTENTION IS TO NOT INCREASE THE HISTORIC FLOW FROM THIS SITE.

OFF-SITE FLOW:  
THERE IS NO OFF-SITE WATER THAT IS DISCHARGE ONTO THIS SITE.

### PRE-DEVELOPMENT DRAINAGE SUMMARY TABLE

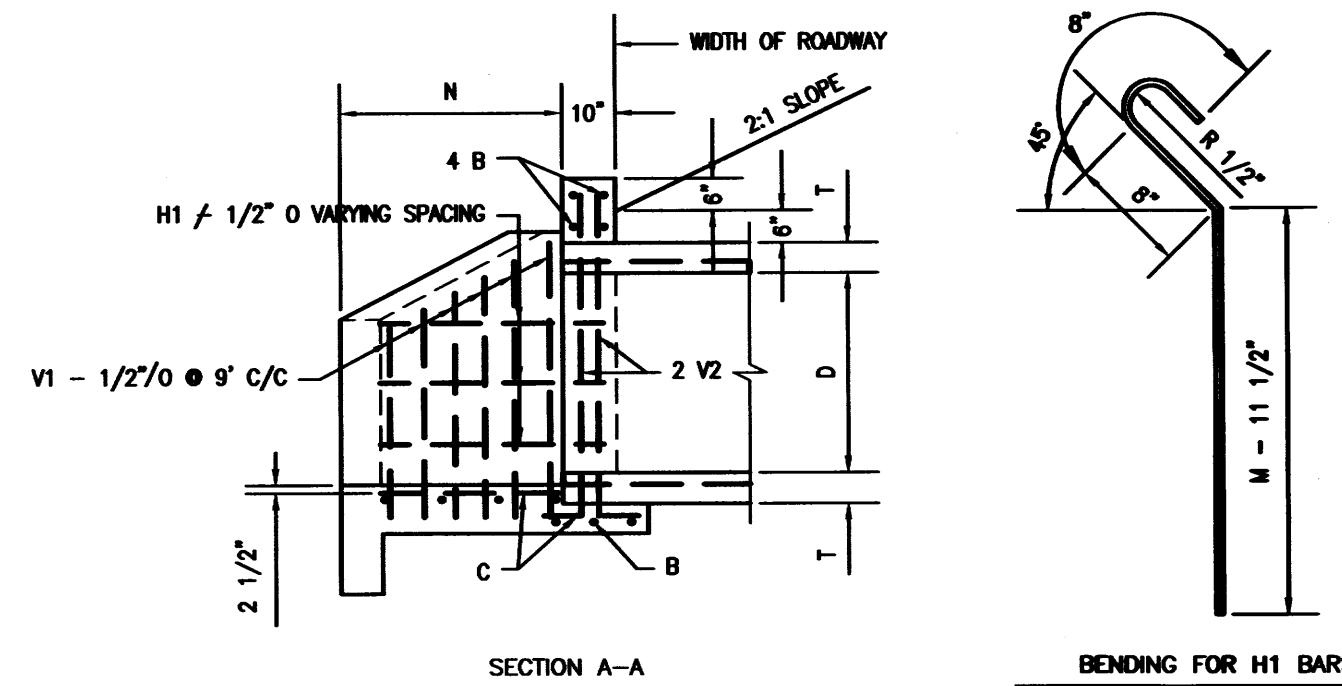
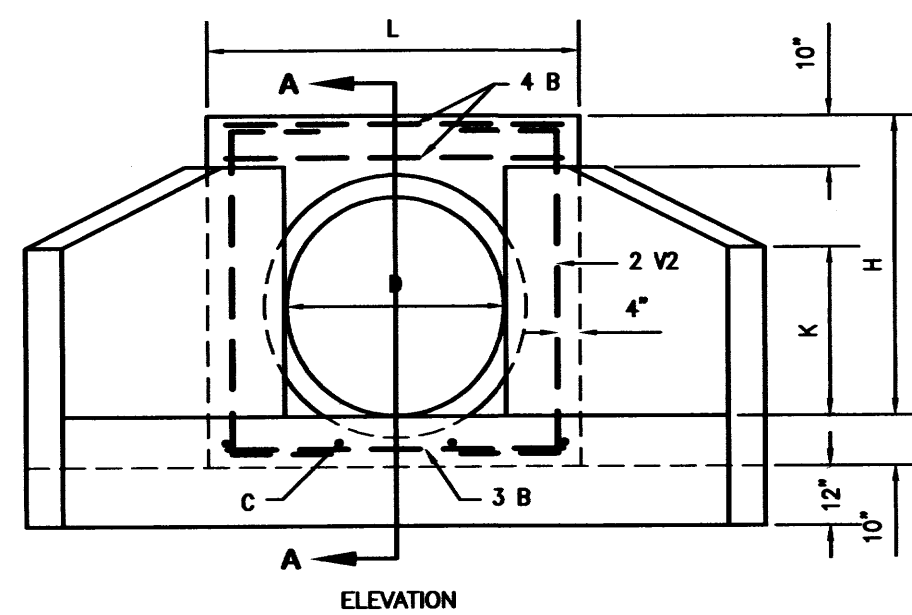
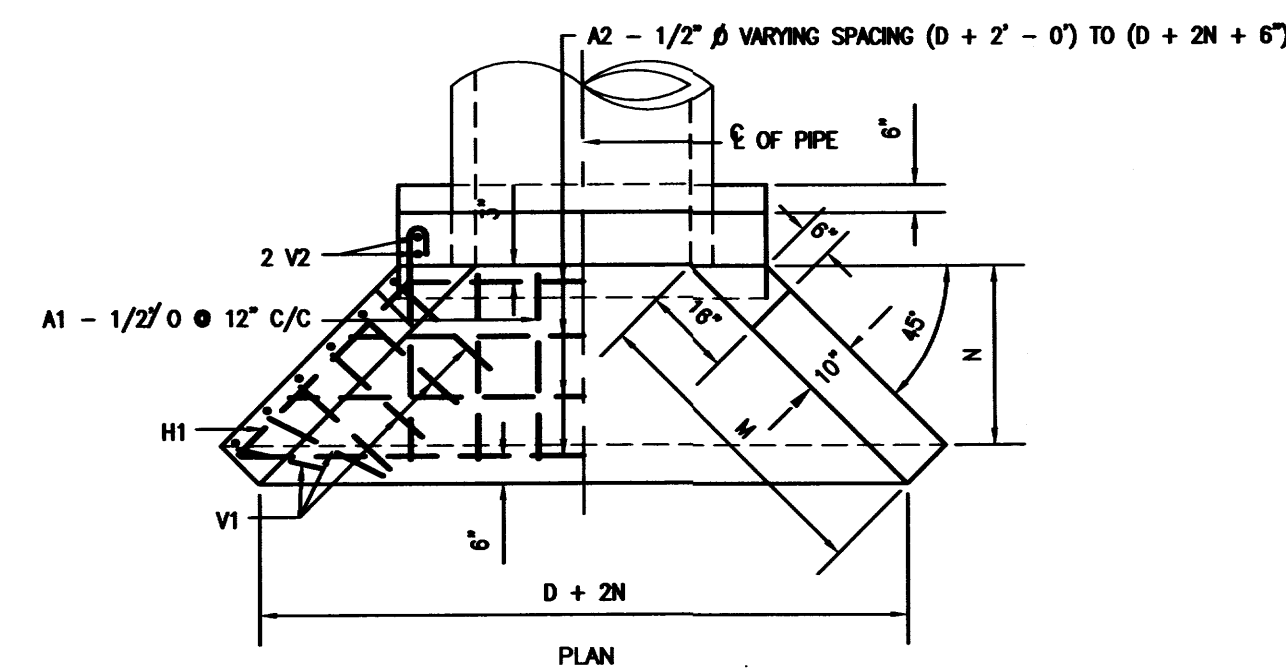
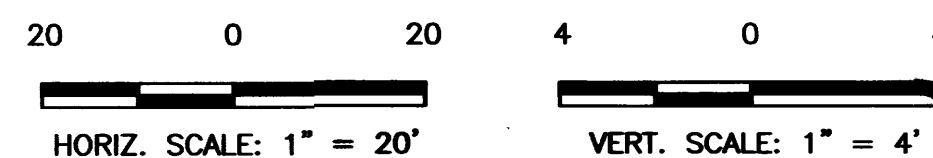
DIRECT RUNOFF (100 YR STORM)						
DESIGN POINT	AREA DESIGNATION	UNPAVED AREA (AC)	PAVED AREA (AC)	TOTAL AREA (AC)	TIME OF CONCENTRATION (HRS)	PEAK FLOW Q (cfs)
I	I	0.00	0.593	0.593	0.2	5.61
II	II	0.00	0.994	0.994	0.2	5.61
III	III	0.00	0.064	0.064	0.2	0.34

NOTE:

FOR CALCULATION PURPOSES UNPAVED AREAS ARE EQUIVALENT TO LAND TREATMENT DESIGNATION "A" AND GIVEN A C-VALUE OF 0.52; PAVED AREAS ARE EQUIVALENT TO LAND TREATMENT DESIGNATION "D" AND GIVEN A C-VALUE OF 0.94.

## 1 STORM DRAIN PROFILE

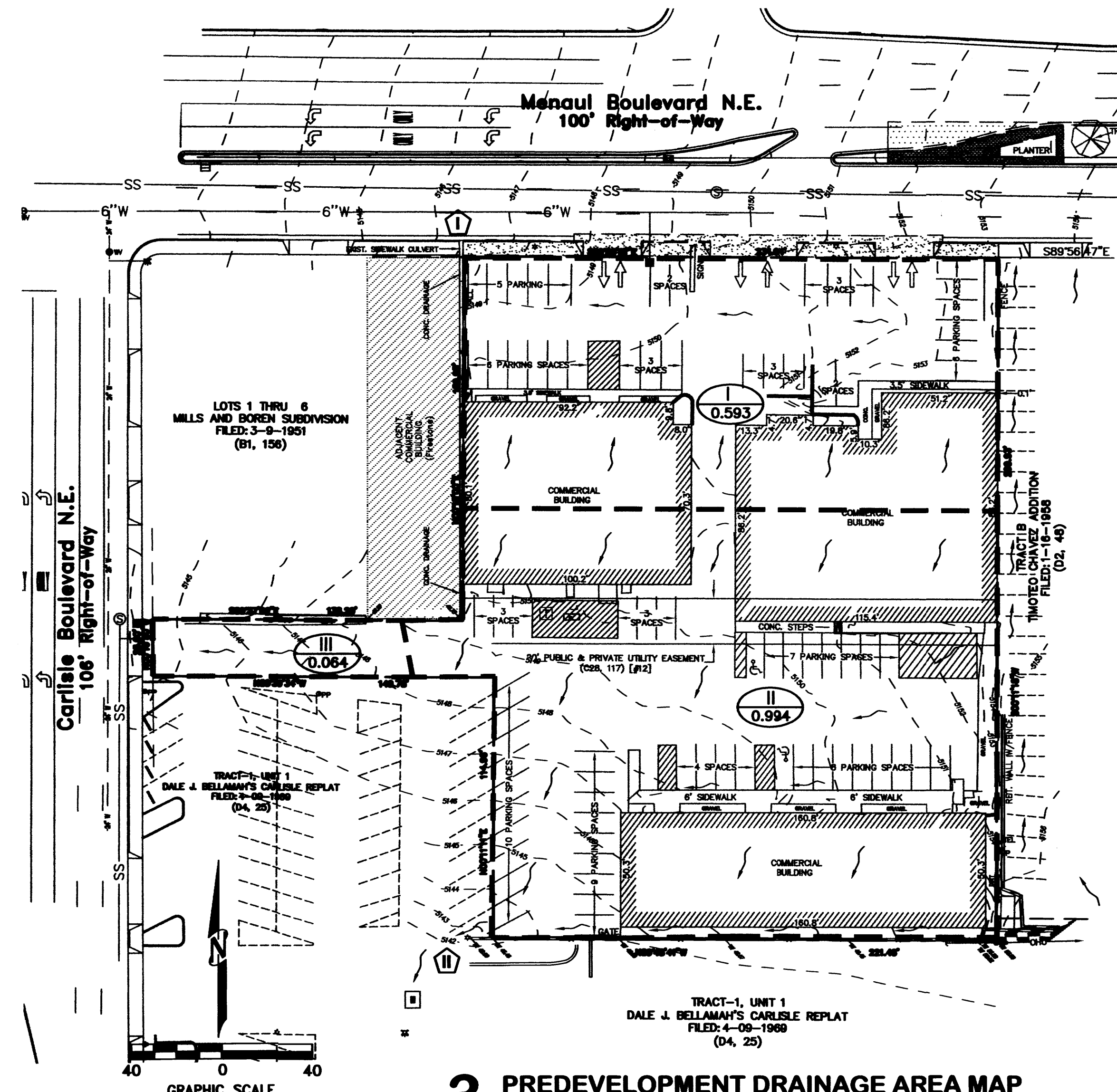
HORIZ. SCALE: 1"=20'  
VERT. SCALE: 1"=4'



DIMENSIONS & QUANTITIES FOR HEADWALLS WITH 45° WINGS									
REINFORCING STEEL									
D	AREA SQ FT	T	H	K	L	M	N	A1 - 1/2" Ø	A - 1/2" Ø
15"	1.23	2 1/4"	2' - 5 1/4"	1' - 5"	3' - 7"	1' - 9"	1' - 3"	4	1' - 0"
18"	1.77	2 1/2"	2' - 8 1/2"	1' - 7"	3' - 10"	2' - 1 1/2"	1' - 6"	4	1' - 2"
24"	3.14	3"	3' - 3"	1' - 10 1/2"	4' - 4"	2' - 10"	2' - 0"	5	1' - 8"
30"	4.91	3 1/2"	3' - 9 1/2"	2' - 2"	4' - 10"	3' - 6 1/2"	2' - 6"	5	2' - 2"
36"	7.07	4"	4' - 4"	2' - 5 1/2"	5' - 4"	4' - 3"	3' - 0"	6	2' - 8"
42"	9.62	4 1/2"	4' - 10 1/2"	2' - 9"	5' - 10"	4' - 1 1/2"	3' - 6"	6	3' - 2"

## 2 CONCRETE HEADWALL DETAIL

NOT TO SCALE

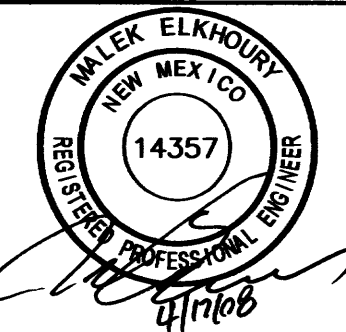


## 3 PREDEVELOPMENT DRAINAGE AREA MAP

SCALE: 1"=40'

NO.	DATE	BY	DESCRIPTION	CONST.
REVISIONS				
CERTIFICATION AND SEAL				

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNED BY MY HAND AND SEAL.



PROJECT NAME  
**3600 MENAUL BLVD. N.E.**  
**ALBUQUERQUE, BERNALILLO COUNTY,**  
**STATE OF NEW MEXICO**

DRAWING TITLE  
**STORM DRAIN PROFILE**

DATE: 04/17/08  
CRITERIA-FISCAL 2007  
DRAWN BY: MDE  
REVIEWED BY: MEE  
STORE NO. 11958  
DRAWING NO.  
SCALE: AS SHOWN  
**RECEIVED**  
APR 23 2008  
HYDROLOGY SECTION

MENAU BOULEVARD N.E.  
100' Right-of-Way

2 SCHEDULE OF SITE DATA  
RE: THIS SHEET

PARKING SPACES			
REGULAR PARKING	1/200 SF	REQUIRED	PROVIDED
(REDUCE BY 10% FOR BUS STOP)		73	73
ACCESSIBLE PARKING (INCLUDED ABOVE)		4	4
BICYCLE PARKING		4	4
MOTORCYCLE PARKING		3	3
LAND USE		ZONING	
GENERAL RETAIL	C-2	COMMUNITY COMMERCIAL	
SETBACK			
BUILDING SETBACK	FRONT	CORNER	SIDE
PARKING SETBACK	18'	5'	0'
SITE AREA			
PRE-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA
PAVING- IMPERVIOUS SURFACE	72,332	1.660	100%
GRASS- PERVIOUS SURFACE			
TOTAL SITE AREA	72,332	1.660	100%
POST-DEVELOPMENT	SQ. FT.	ACRES	% OF TOTAL AREA
BUILDING	16,284	0.374	22%
PAVING- IMPERVIOUS SURFACE	47,619	1.103	66%
GRASS- PERVIOUS SURFACE	8,429	0.183	12%
TOTAL SITE AREA	72,332	1.660	100%
PROPOSED BUILDING HEIGHT	(SEE ARCHITECTURAL PLANS)		

3 KEYED NOTES  
ALL ITEMS ARE NEW CONSTRUCTION UNLESS NOTED OTHERWISE

- C100 FOR DETAILS OF ALL WORK IN THE PUBLIC RIGHT-OF-WAY REFER TO PUBLIC IMPROVEMENT PLANS. REFER TO DRC PROJECT #781081.
- C101 PARKING STRIPES PAINTED WITH (2) COATS TRAFFIC YELLOW IN SINGLE 4" WIDE STRIPES. UNLESS NOTED OTHERWISE.
- C102 4" WIDE PAINT STRIPES 45' AT 2' O/C. USE 2 COAT YELLOW TRAFFIC PAINT.
- C103 PHARMACY DRIVE THRU. RE: ARCHITECTURAL PLANS
- C104 CONCRETE DRIVEWAY PER THE CITY OF ALBUQUERQUE STANDARD DRAWINGS & SPECIFICATIONS. REFER TO PUBLIC IMPROVEMENT PLANS
- C105 NEW PYLON SIGN BY SIGN CONTRACTOR. RE: A5.1 & A5.2.
- C106 CONCRETE RAMP. RE: C4.1/5 AND A0.3/5
- C107 COMBINED CURB & GUTTER. RE: C4.1/4
- C108 SHREDDER AND COMPACTOR ON CONCRETE PAVING. RE: ARCHITECTURAL PLANS
- C109 PAVEMENT MARKINGS. RE: A0.3/4
- C110 ACCESSIBLE PARKING SIGN ON POST. RE: A0.3/6
- C111 PAINTED ACCESSIBLE SYMBOL. RE: A0.3/3
- C112 CONCRETE PAVING. REFER TO ARCHITECTURAL PLANS FOR EXACT DIMENSIONS. REFER TO C4.1/2 FOR PAVEMENT SECTION.
- C113 TOTE ENCLOSURE. RE: ARCHITECTURAL PLANS
- C114 HEAVY DUTY ASPHALT PAVEMENT. RE: C4.1/1
- C115 BUILDING PERIMETER SIDEWALK. REFER TO ARCHITECTURAL PLANS FOR DETAIL
- C116 LIGHT DUTY ASPHALT PAVEMENT. RE: C4.1/1
- C117 PARKING LOT LIGHTING. RE: ELECTRICAL PLANS FOR DETAILS. INSTALL POLE MINIMUM OF 30' BEHIND CURB UNLESS NOTED OTHERWISE.
- C118 SIDEWALK DRAINAGE CULVERT WITH STEEL PLATE TOP. RE: CITY DETAIL NO. 2236
- C119 5" WIDE 6" THICK CONCRETE SIDEWALK.
- C120 "ONE WAY - DO NOT ENTER" SIGN ON STEEL POST. RE: C4.1/6
- C121 ACCESSIBLE RAMP PER CITY STANDARDS. REFER TO PUBLIC IMPROVEMENT PLANS
- C122 CONCRETE RETAINING WALL WITH FENCE ON TOP. RE: C2.3
- C123 PIPE BOLLARD. RE: A0.2/6
- C124 FIRE LANE TO BE PAINTED RED PER CITY OF ALBUQUERQUE STANDARDS.
- C125 BICYCLE PARKING. REFER TO ARCHITECTURAL PLANS FOR DETAILS
- C126 CONCRETE DRAINAGE FLUME. RE: C4.1/10
- C127 CONCRETE SWALE. RE: C4.1/7
- C128 WALGREENS TRANSFORMER.
- C129 "STOP" SIGN ON STEEL POST. RE: C4.1/6
- C130 RETAINING CURB AND GUTTER. RE: C4.1/9
- C131 "DO NOT BLOCK DRIVEWAY" SIGN ON STEEL POST. RE: C4.1/6
- C132 NMDOT STANDARD GUARDRAIL. RE: C4.1/9
- C133 SHOPPING CART CORRAL. OWNER TO PROVIDE AND INSTALL.

4 LEGEND  
THIS SHEET

	EXISTING ASPHALT PAVEMENT		DETECTABLE WARNING SURFACE
	EXISTING CONCRETE PAVEMENT		NEW CONCRETE SIDEWALK (BY OTHERS)
	EXISTING STAMPED PAVEMENT		NEW CONCRETE PAVEMENT (BY OTHERS)
	EXISTING BUILDING		NEW ASPHALT PAVEMENT (BY OTHERS)
	EXISTING CONCRETE SIDEWALK		DETECTABLE WARNING SURFACE (BY OTHERS)
	NEW CONCRETE SIDEWALK		RADIUS ROOF DRAIN
	NEW CONCRETE PAVEMENT		UTILITY EASEMENT
	LIGHT DUTY ASPHALT PAVEMENT		ELECTRIC TRANSFORMER
	HEAVY DUTY ASPHALT PAVEMENT		
	NEW BUILDING		

TRAFFIC CIRCULATION LAYOUT  
APPROVED

2/25  
S/2/08  
7/08

LEGAL DESCRIPTION

TRACT LETTERED "Z" OF THE MILLS AND BOREN SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 10, 1985 IN MAP BOOK C28, FOLIO 117.

PROPERTY UPC # 1-017-059-031-245-31035.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

1 TRAFFIC CIRCULATION PLAN  
SCALE: 1"=20'

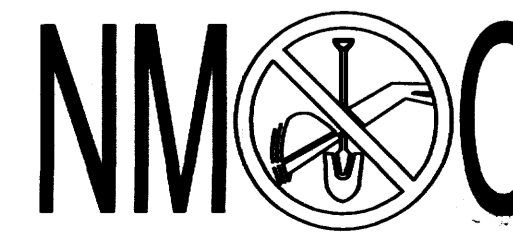
TRACT-1, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-09-1969

Carlisle Boulevard N.E.  
106' Right-of-Way

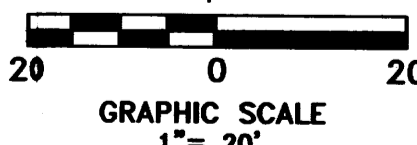
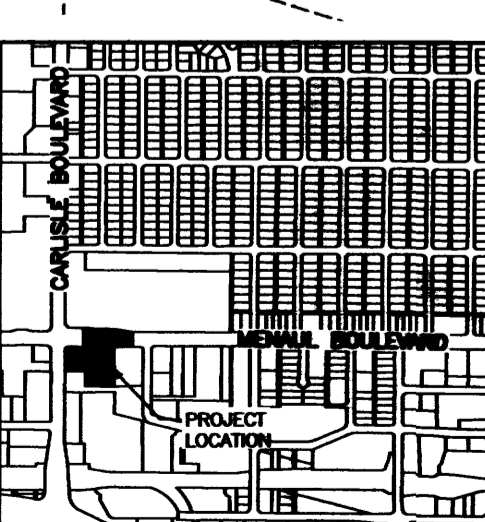
LOTS 1 THRU 6  
MILLS AND BOREN SUBDIVISION  
FILED: 3-9-1951  
(B1, 156)

TRACT-1, UNIT 1  
DALE J. BELLAMAH'S CARLISLE REPLAT  
FILED: 4-09-1969  
(D4, 25)

CONTRACTOR SHALL CONTACT  
NEW MEXICO ONE-CALL SYSTEM  
8 (800) 321-2537, AT  
LEAST 72 HOURS PRIOR TO  
BEGINNING CONSTRUCTION



LOCATION MAP



**Walgreens**  
FACILITIES PLANNING AND DESIGN  
106 WILMOT ROAD  
847-940-2500  
DEERFIELD, IL 60015

Timothy M. Gallup  
Architect of Record  
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SITE DEVELOPMENT PLANS PREPARED BY:  
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NEW MEXICO LICENSE # 14357  
1435 E. 41ST STREET Tel 918.712.8768  
Tulsa, OK 74105 Fax 918.712.1069

PROJECT TYPE  
DRAWINGS/SPECIFICATIONS BY:  
☐ WALGREENS' CONSULTANT ☒ LANDLORD'S CONSULTANT  
ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:  
☐ WALGREENS' CONTRACTOR ☒ LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING..... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION..... <input type="checkbox"/>	NEW SHELL ONLY..... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

**SYMBOLS LEGEND**

NEW	EXISTING	
		= TRAFFIC SIGNAL BOX
		= POWER POLE
		= TELEPHONE RISER
		= DROP INLET
		= LIGHT POLE
		= UNDERGROUND SEWER LINE
		= UNDERGROUND WATER LINE
		= SEWER MANHOLE
		= TRANSFORMER
		= ELECTRIC SERVICE BOX
		= HANDICAP PARKING SPACE
		= BLOCK WALL
		= TRAFFIC FLOW
		= WATER METER

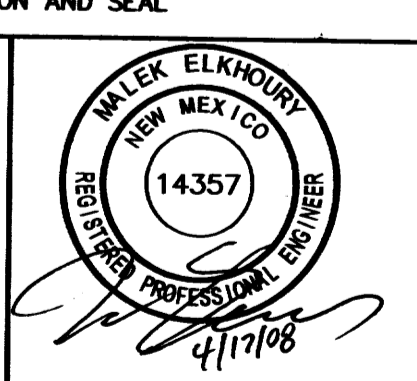
**WORK CLARIFICATION**  
ON-SITE WORK SHOWN ON THIS PLAN (EXCEPT FOR THE WORK SHOWN WITHIN MENAU BOULEVARD RIGHT-OF-WAY) SHALL BE CONSTRUCTED WITH BUILDING PERMIT.  
ALL WORK SHOWN WITHIN MENAU BOULEVARD RIGHT-OF-WAY SHALL BE DONE BY WORK ORDER. REFER TO DRC PROJECT #78108.

NO.	DATE	BY	DESCRIPTION	CONST.

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATIONS WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME  
**3600 MENAU BLVD. N.E.  
ALBUQUERQUE, BERNALILLO COUNTY,  
STATE OF NEW MEXICO**

DRAWING TITLE  
**TRAFFIC CIRCULATION PLAN**

DATE 04/17/08  
CRITERIA-FISCAL 2007

STORE NO. 11958

DRAWING NO. **C11**

SCALE: **1"=20'**

HYDROLOGY SECTION

**RECEIVED**  
APR 25 2008  
HYDROLOGY SECTION