

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

December 17, 2021

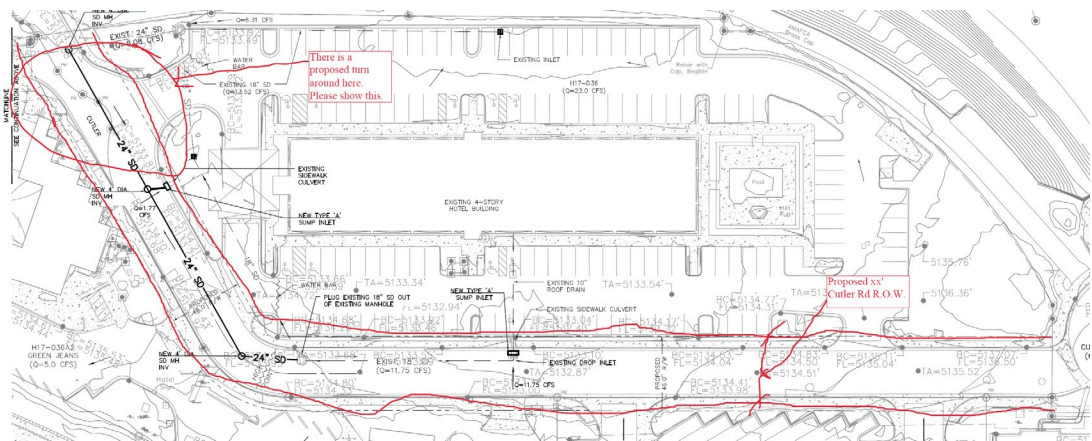
Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

**RE: Cutler Right-of-Way Dedication
Grading and Drainage Plan
Engineer's Stamp Date: 10/15/21
Hydrology File: H17D036**

Dear Mr. McGee:

Based upon the information provided in your submittal received 10/25/2021, the Grading and Drainage Plan is **not** approved for Work Order and for action by the DRB on Preliminary Plat. The following comments need to be addressed for approval of the above referenced project:

1. Please provide the proposed Cutler Rd R.O.W. Also, please show the proposed turn-around at the end. This line work is very light and merges with all the existing line work.



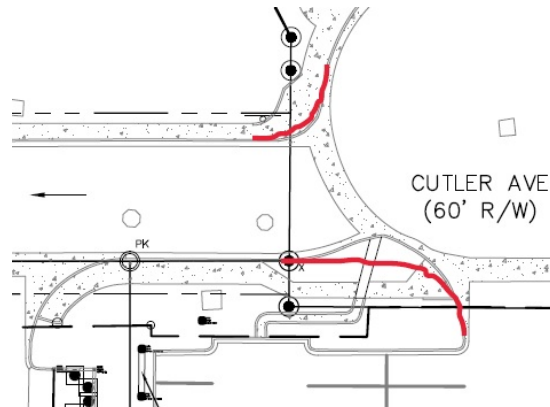
2. **Repeat comment** - Please verify the pipe size, material of the existing storm sewer. Also, please provide the rim elevation of the manholes, pipe inverts, inlet top of curb elevations.
3. **Repeat comment** - Also, please include any changes that will be done for the Work Order on the Grading Plan. For example, at the cul-de-sac the road will be flattened and straightened. (please see image below)

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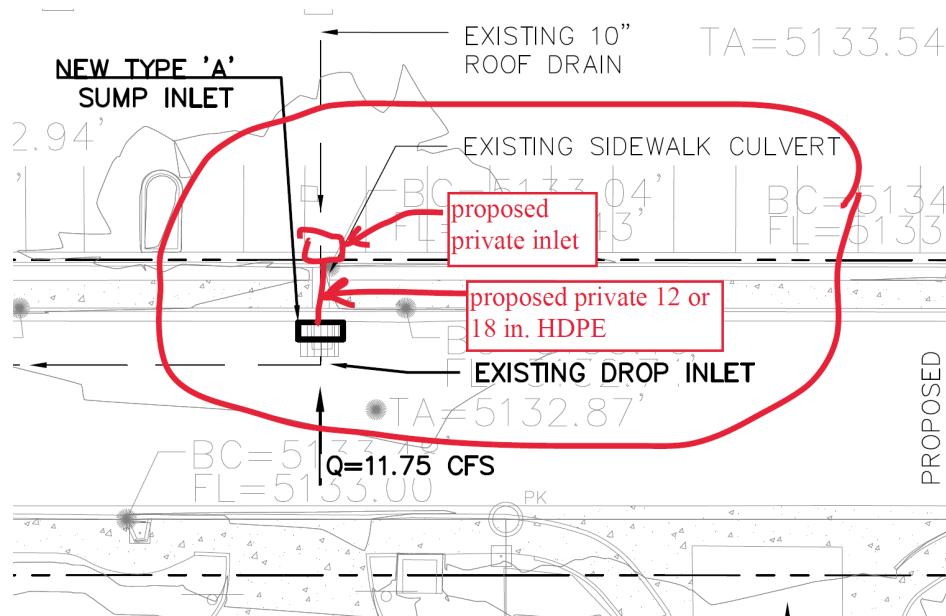
4. The drainage calculations needed for this should only be for the proposed Cutler Rd R.O.W. (this is the acres). All adjacent commercial tracts are considered off-site flows. This entire watershed should be shown with the off-site drainage areas shown as well. This should be the drainage map for the calculations.
5. Please provide the proposed cross-section of the proposed Cutler Rd. R.O.W.
6. Please provide the street calculations for the above proposed Cutler Rd. R.O.W.
7. Please provide the storm pipe calculations.
8. In order to install the new Type A inlet in Cutler Rd, the existing sidewalk culverts will have to be removed, a new proposed private inlet and a new proposed HDPE pipe to the back of the new Type A inlet.

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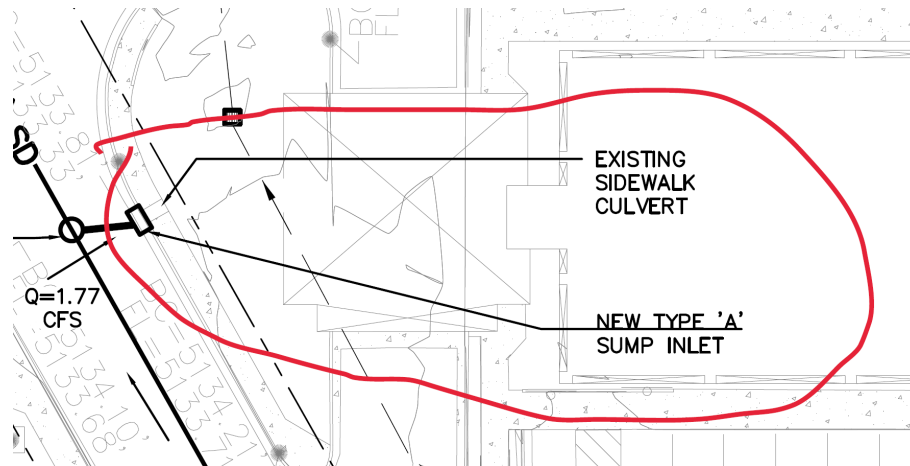
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9. Same as above, in order to install the new Type A inlet in Cutler Rd, the existing sidewalk culverts will have to be removed.



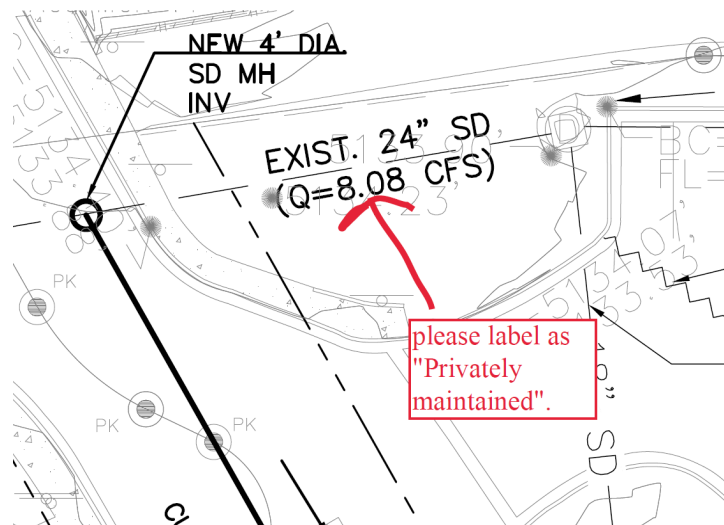
10. Please label all private storm pipes as "Privately maintained".

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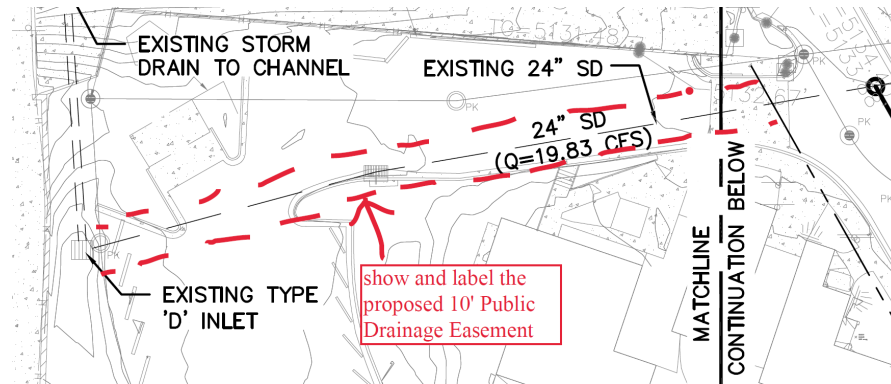
11. Please show and label the proposed 10' Public Drainage Easement.

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



SCOTT M MCGEE PE, LLC
CIVIL ENGINEER

October 22, 2021

Renee C. Brissette, PE CFM
Senior Engineer, Hydrology
Planning Department
600 2nd Street NW, Ste. 201
Albuquerque, NM 87102

RE: Cutler R/W Dedication (H17/ D036)

Dear Ms. Brissette,

Thank you for your review comments of August 13, which have been addressed as follows:

1. The revised Grading plan is being submitted for this portion of Cutler Avenue NE.
2. The existing storm drain pipe is RCP and several additional elevations have been added.
3. The proposed public storm drain alignment has been added. The cul-de-sac is located east of the project limits and is outside the scope of this work.
4. The proposed storm drain shown on the plan will be maintained by the City.
5. The existing drives will remain and accessible ramps will be added for crossings.
6. The existing road grades and cross-slopes will remain as is.
7. A public drainage easement will be required across the Green Jeans site as noted.
8. An area has been added showing the existing NMDOT inlet and discharge line running north to the channel.

Please contact me if needed to answer additional questions. Thank you.

Scott M McGee

DRAINAGE ANALYSIS

CUTLER AVENUE RIGHT-OF-WAY

LEGAL DESCRIPTION: TRACTS A-1-A, A-1-B-1, A-1-B-2 ACME ACRES

SITE AREA: 5.39 acres

SURVEYOR: CSI - Cartesian Surveys Inc. dated March 2021

FLOOD HAZARD: From FEMA Map 35001C0351H (8/16/12), this site is identified as being within Zone 'X' which is determined to be outside the 0.2% annual chance floodplain.

OFFSITE FLOW: Offsite flow does not enter this site.

EXISTING CONDITIONS: The three tracts are all developed commercial sites with paved and gravel access and parking areas.

PROPOSED IMPROVEMENTS: The private street areas are proposed to be dedicated to the City for public R/W.

DRAINAGE APPROACH: The site drainage pattern will not change and will follow the present conditions.

Three existing drainage files cover these developments and are H17-D36 Hampton Inn, H17-D036A Law Office, and H17-D036A2 Green Jeans. The Green Jeans site currently drains away from Cutler Avenue. It is included as a portion of the tract will be dedicated for public R/W, but the drainage remains unchanged.

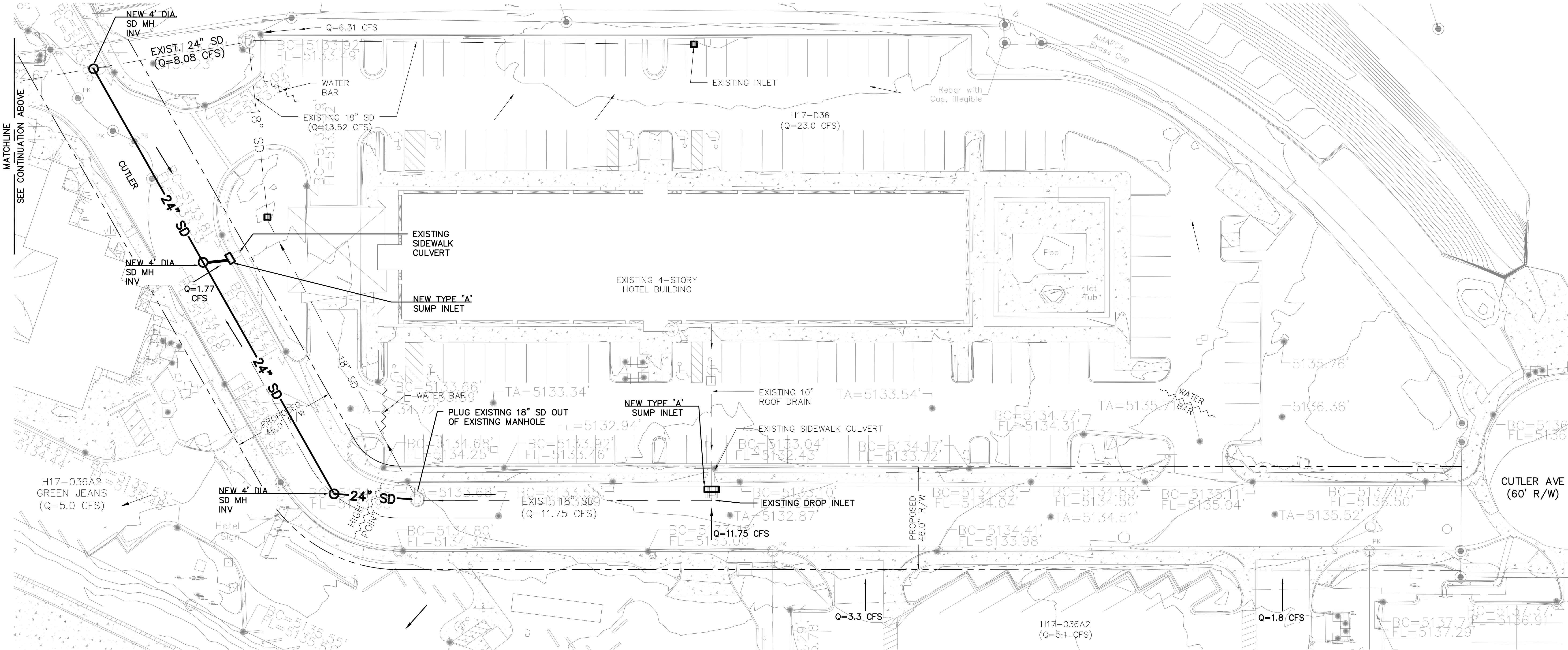
The law office site currently discharges a total Q=5.1 CFS to Cutler Avenue which carries this runoff to an existing inlet on the north side of the street as shown. The Hampton site is split into 3 drainage basins: D1 is a triangular area at the west end of the site (Q=1.77 CFS), D2 is the

north ½ of the building and northern portion of the parking area (Q=6.31 CFS), and D3 which is the south ½ of the building and parking area (Q=6.65 CFS). The D3 basin discharges to the existing Cutler inlet through an existing sidewalk culvert and a roof drain pipe.

An existing 18" storm drain conveys runoff (Q=11.75 CFS) to an existing SD manhole and then to the northwest. An existing inlet is located in a low spot behind the street curb where the D1 basin flow is accepted. A sidewalk culvert allows street flow to pass from the street to this inlet. The combined flow (Q=13.52 CFS) is carried north in an 18" SD to an existing manhole. The D2 basin flow is also routed to this manhole. An existing 24" storm drain then carries this flow (Q=19.83 CFS and capacity of 28.5 CFS) to the west.

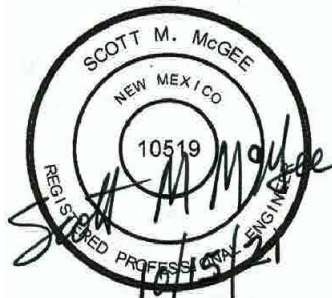
MASTER DRAINAGE PLAN – NORTHWEST PORTION

1" = 30'



MASTER DRAINAGE PLAN CUTLER R/W

1" = 20'



Scott M McGee PE

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