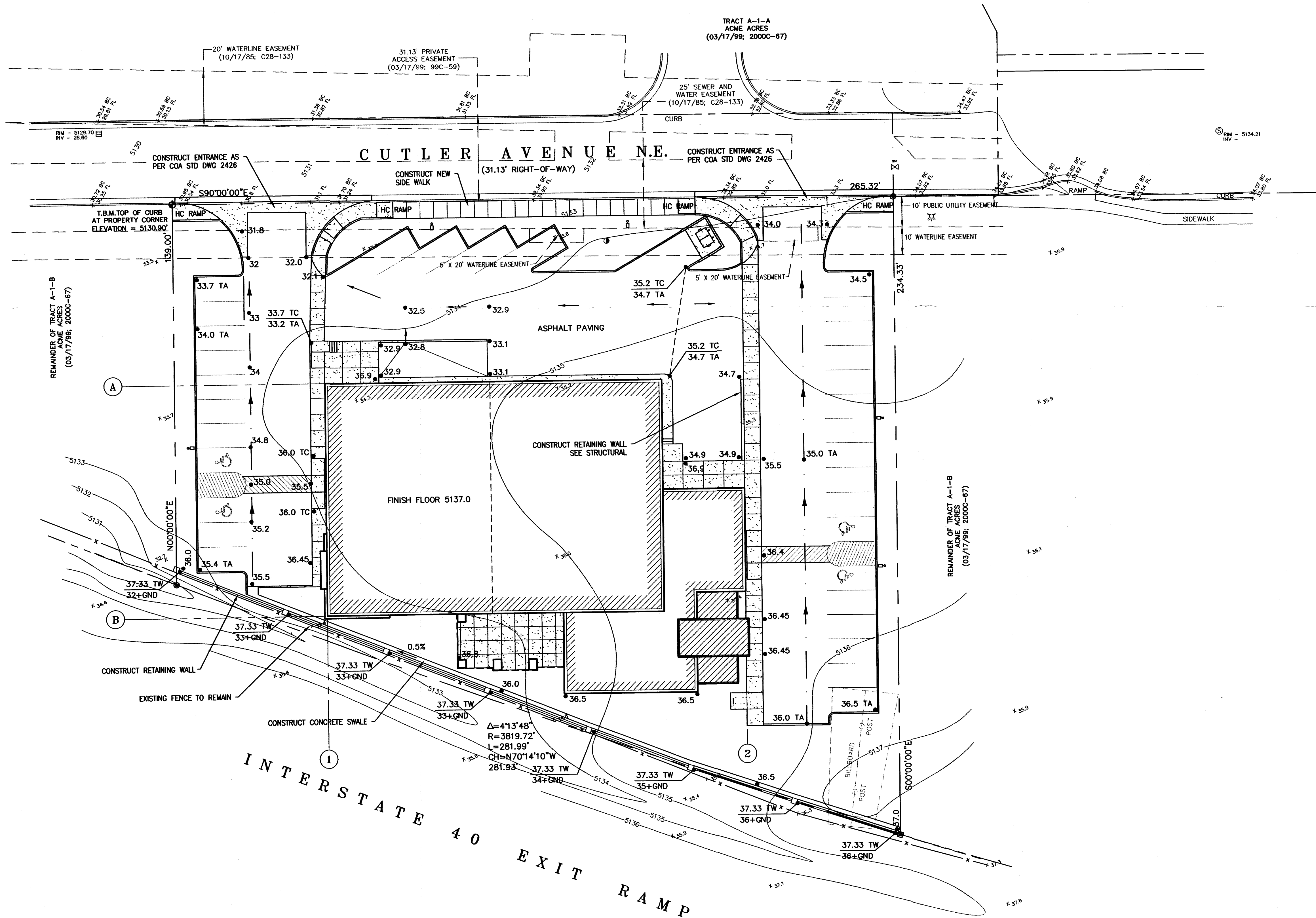
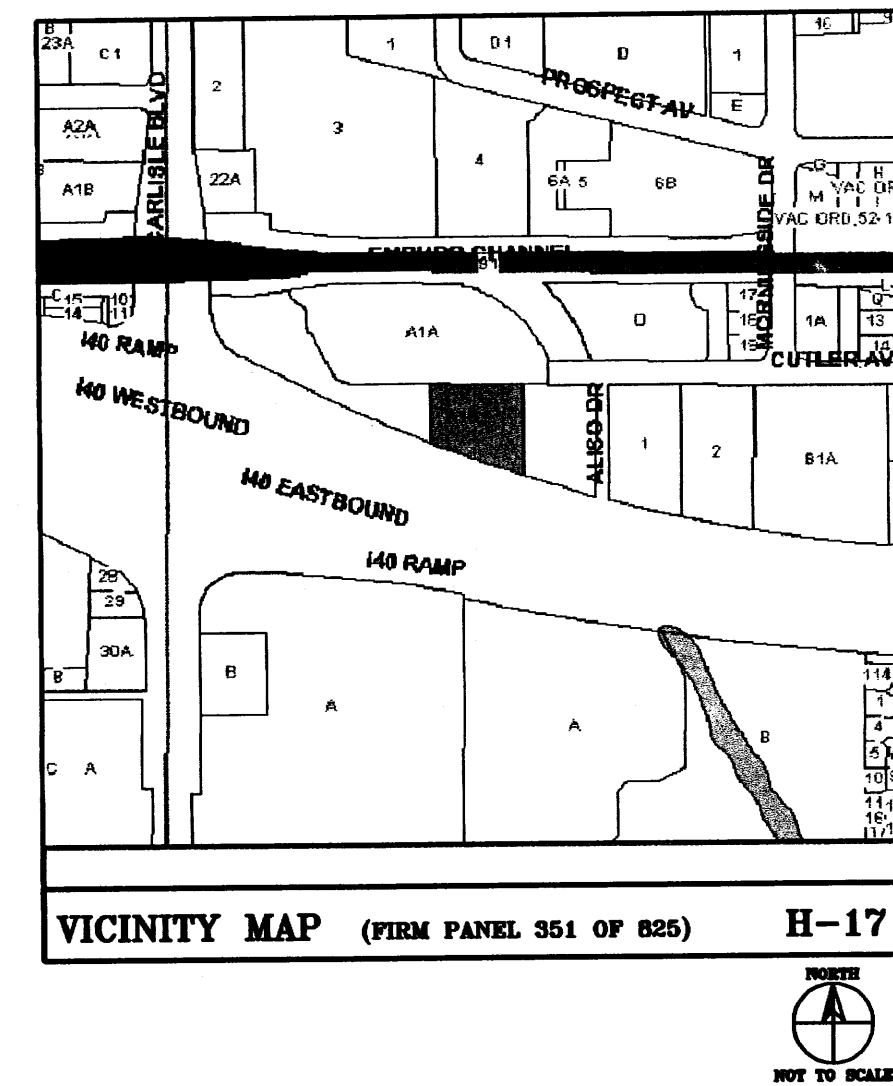


1 CONCRETE GUTTER  
3/4"=1'-0"



- ADDRESS:  
NOT AVAILABLE
- BENCH MARK:  
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE ACS  
CONTROL MONUMENT 14-H17. ELEVATION IS 5133.04 SLD 1927.
- LEGAL DESCRIPTION:  
PORTION OF TRACT A-1-B, ACME ACRES  
SECTION 11, T. 10 N., R. 3 E., N.M.P.M.
- CONSTRUCTION NOTES
1. TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
  2. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND PROCEDURE.
  3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
  4. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.
  5. THE CONTRACTOR SHALL PROVIDE THE ARCHITECT/ENGINEER WITH AN AS-BUILD SITE PLAN.



### GRADING AND DRAINAGE PLAN - PORTION OF TRACT A-1-B

**DRAINAGE PLAN**  
THE FOLLOWING ITEMS CONCERNING THE PROTON OF TRACT A-1-B OF ACME ACRES GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

1. VICINITY MAP
2. GRADING PLAN
3. CALCULATIONS

THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED SOUTH OF CUTLER AVENUE, EAST OF CARLE BOULEVARD. THE SITE IS CURRENTLY UNDEVELOPED. THE LAND SLOPES TO THE NORTH WEST CORNER AT AN APPROXIMATE SLOPE OF 2.5%. ACCORDING TO PANEL 351 OF 825 OF FIRM MAP, THE SITE DOES NOT LIES WITHIN THE FLOOD HAZARD ZONE.

THE MASTER PLAN FOR THE SITE PREPARED BY CHAVES-GRIEVES HAS ESTABLISHED FREE DISCHARGE TO CUTLER AVENUE.

THE EXISTING SITE IS HIGHER THAN THE LANDS TO THE WEST AND CUTLER AVENUE TO THE NORTH. THE FLOWS FROM THE LAND TO THE EAST ARE INTERCEPTED BY THE SWALE ALONG THE EAST PROPERTY LINE. THE EXISTING SWALE ALONG THE SOUTH PROPERTY LINE INTERCEPTS THE FLOWS FROM THAT DIRECTION. THEREFORE OFFSITE SITE FLOW ARE NOT CONSIDERED SIGNIFICANT.

THE GRADING PLAN SHOWS:

1. THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
2. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
3. THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
4. THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.

THE PROPOSED IMPROVEMENTS CONSIST OF AN OFFICE WAREHOUSE WITH ASSOCIATED PARKING AND LANDSCAPING. THE PROPOSED DISCHARGE FROM THE SITE IS TO CUTLER AVENUE AT A RATE OF 5.12 CFS.

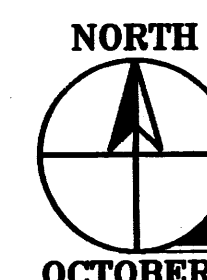
CALCULATIONS  
PRECIPITATION ZONE = 2  
TOTAL SITE AREA = 1.148 ACRES

**BASIN A**  
AREA = 1.148 ACRES  
EXISTING CONDITIONS

LAND TREATMENT A=100%  
E = 0.53(1.00) = 0.53 INCHES  
V = 0.53 (1.148) / 12 = 0.051 ACRE FEET  
Q = 1.56 (1.00) (1.148) = 1.79 CFS

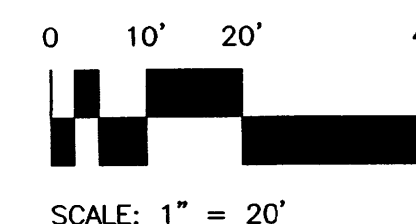
DEVELOPED CONDITIONS

LAND TREATMENT B=10% D=90%  
E = 0.78 (0.10) + 2.12 (0.90) = 1.99 INCHES  
V = 1.99 (1.148) / 12 = 0.190 ACRE FEET  
Q = 12.28 (0.10) + 4.70 (0.90) (1.148) = 5.12 CFS  
INCREASE IN VOLUME OF RUNOFF = 0.139 ACRE FT  
INCREASE IN RATE OF RUNOFF = 3.33 CFS



### GRADING PLAN

OCTOBER 10, 2001 SCALE: 1"=20'



- LEGEND:
- EXISTING SPOT ELEVATION
  - NEW SPOT ELEVATION
  - EXISTING CONTOUR
  - NEW CONTOUR
  - SWALE
  - VERIFIED ELEVATION
  - AS BUILT ELEVATION
  - BASIN BOUNDARY
  - PROPERTY LINE
  - FLOW LINE
  - GROUND
  - INVERT
  - TOP OF ASPHALT
  - TOP OF CURB
  - TOP OF GRATE
  - TOP OF CONCRETE SLAB
  - TOP OF WALL
  - TEMPORARY BENCH MARK
  - GRAVEL
  - NEW CONCRETE

RECEIVED  
OCT 10 2001  
HYDROLOGY SECTION

CLAUDIO VIGIL ARCHITECTS

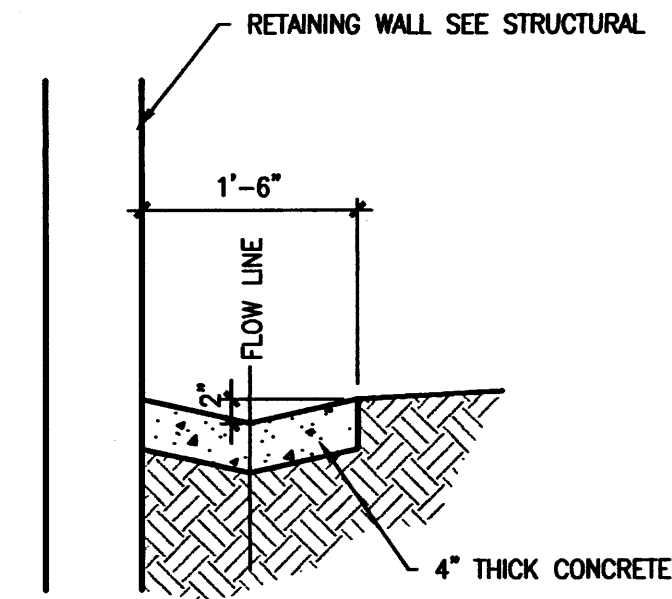
**RUELE CORPORATION**  
CUTLER AVENUE N.E.  
ALBUQUERQUE, NEW MEXICO

**SHEET**  
C-1  
PROJECT NUMBER  
00230

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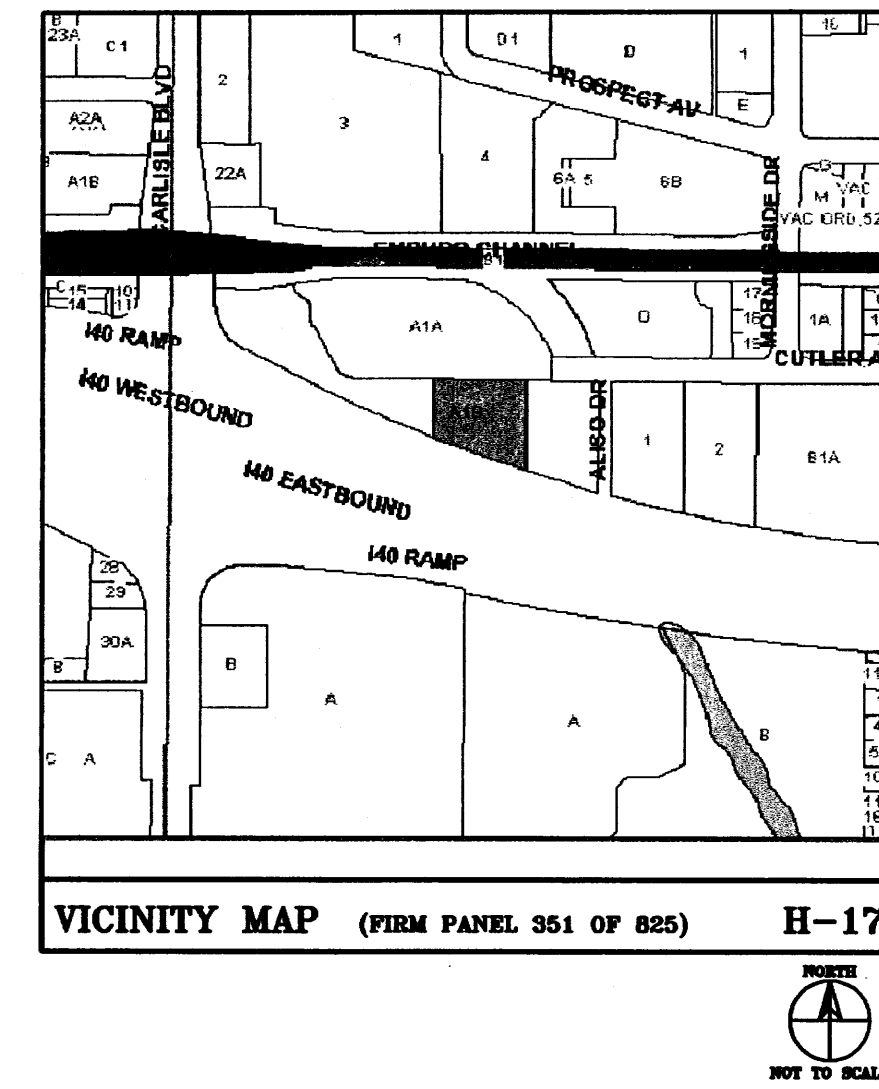
1801 Rio Grande NW, #2, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330





# 1 CONCRETE GUTTER 3/4"=1'-0"

- ADDRESS:**  
NOT AVAILABLE
- BENCH MARK:**  
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE ACS CONTROL MONUMENT 14-H17. ELEVATION IS 5133.04 SLD 1927.
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## GRADING AND DRAINAGE PLAN - PORTION OF TRACT A-1-B

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THE FOLLOWING ITEMS CONCERNING THE PROTON OF TRACT A-1-B OF ACME ACRES GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

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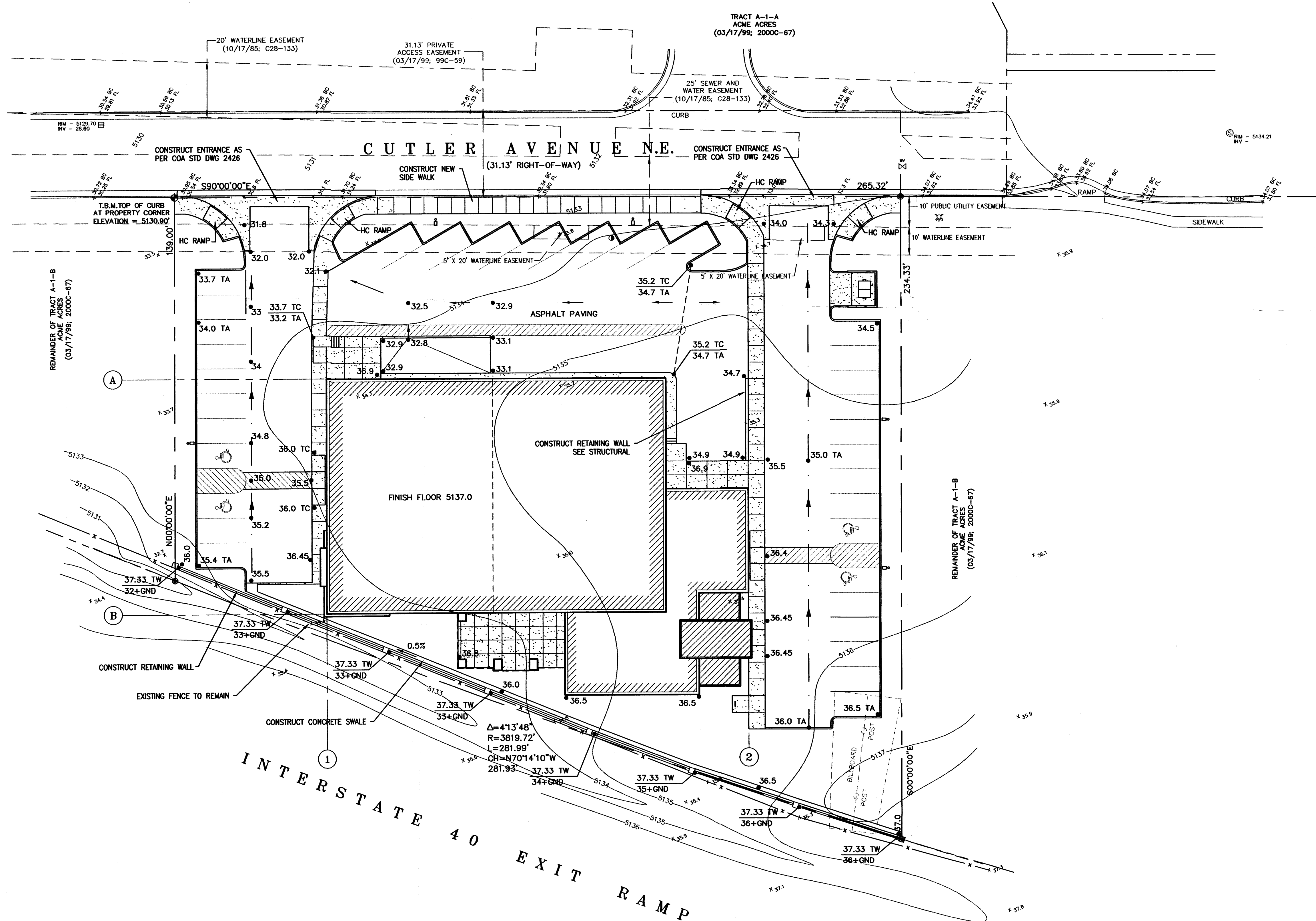
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**CALCULATIONS**  
PRECIPITATION ZONE = 2  
TOTAL SITE AREA = 1.148 ACRES

**EXISTING CONDITIONS**  
AREA = 1.148 ACRES  
LAND TREATMENT A=100%  
E = 0.53(1.00) = 0.53 INCHES  
V = 0.53(1.148) / 12 = 0.051 ACRE FEET  
Q = 1.56(1.00)(1.148) = 1.79 CFS

**DEVELOPED CONDITIONS**  
LAND TREATMENT B=10% D=90%  
E = 0.78(0.10) + 2.12(0.90) = 1.99 INCHES  
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Q = [2.28(0.10) + 4.70(0.90)](1.148) = 5.12 CFS  
INCREASE IN VOLUME OF RUNOFF = 0.139 ACRE FT  
INCREASE IN RATE OF RUNOFF = 3.33 CFS



REVISION  
10/18/01 REVISED PARKING LAYOUT PER DRB

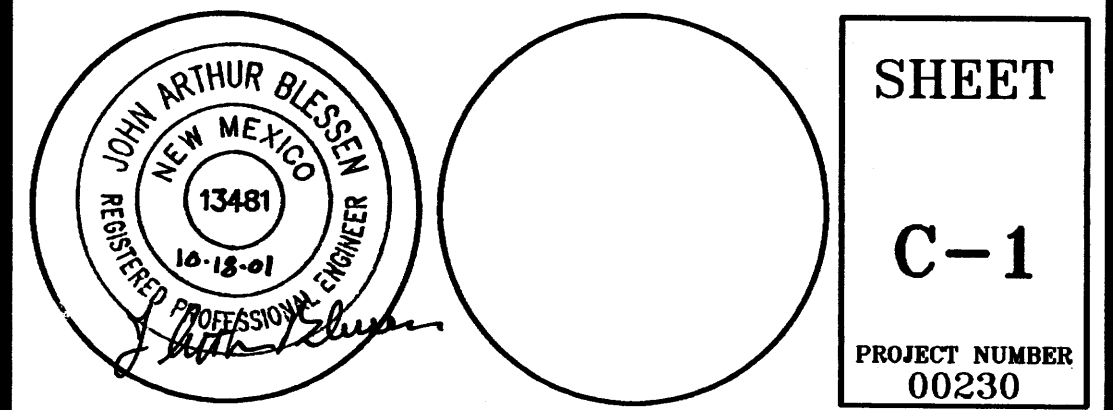
**GRADING PLAN**  
OCTOBER 10, 2001  
SCALE: 1"=20'



- LEGEND:**
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  - NEW SPOT ELEVATION
  - EXISTING CONTOUR
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  - GRAVEL
  - NEW CONCRETE

CLAUDIO VIGIL ARCHITECTS

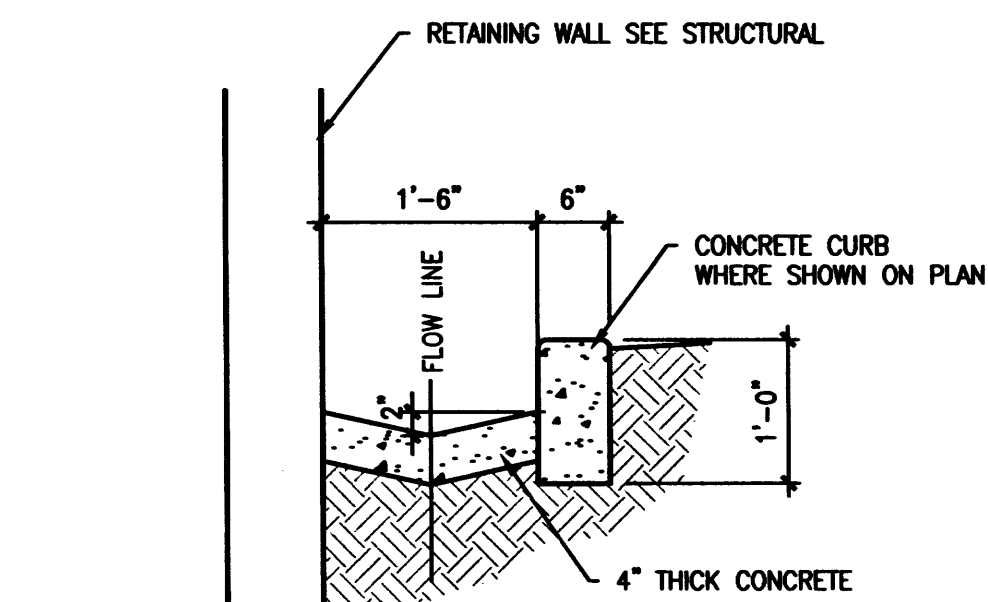
**RUELE CORPORATION**  
CUTLER AVENUE N.E.  
ALBUQUERQUE, NEW MEXICO



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1801 Rio Grande NW, #2, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330





**1 CONCRETE GUTTER**  
3/4"=1'-0"

I, JOHN ARTHUR BLESSEN, NMPE 13481, OF THE FIRM CLAUDIO VIGIL ARCHITECTS, HEREBY CERTIFY THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/27/03. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENTS HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OR ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

John Arthur Blessen, PE  
NM PE# 13481  
7-2-04 date



ADDRESS:  
NOT AVAILABLE

BENCH MARK:

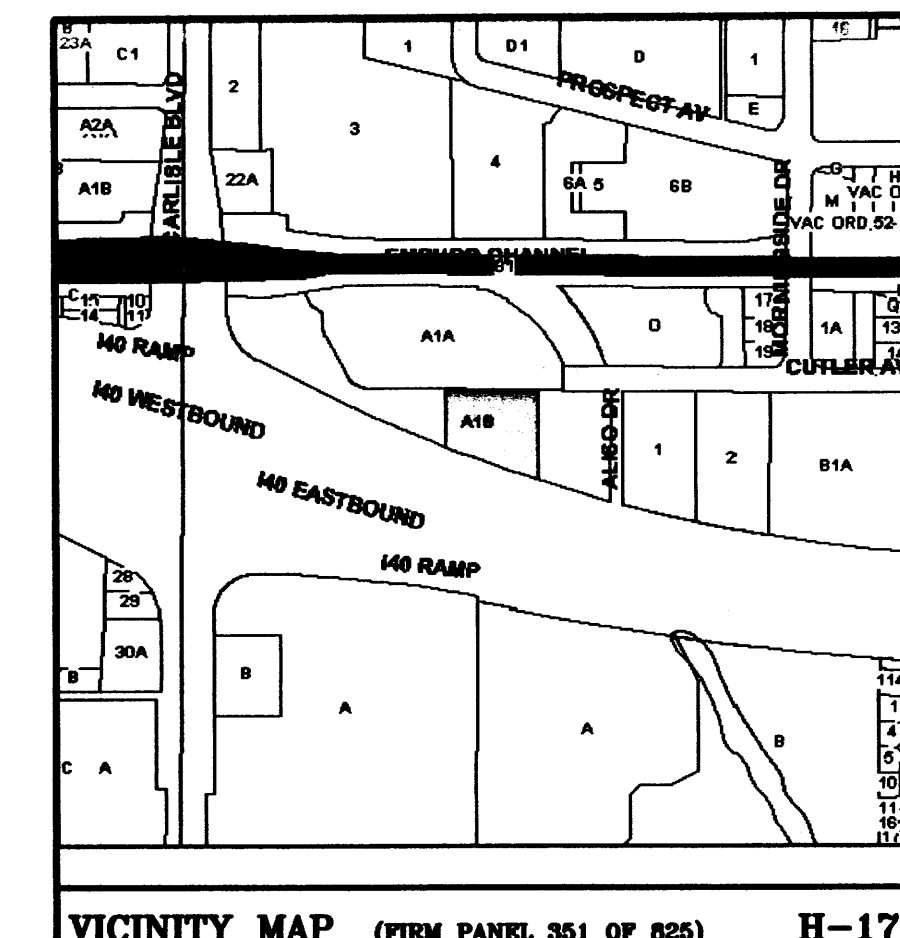
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE ACS CONTROL MONUMENT 14-H17. ELEVATION IS 5133.04 SLD 1927.

LEGAL DESCRIPTION:

PORTION OF TRACT A-1-B, ACME ACRES SECTION 11, T. 10 N., R. 3 E., N.M.P.M.

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VICINITY MAP (FIRM PANEL 351 OF 825) H-17

## GRADING AND DRAINAGE PLAN - PORTION OF TRACT A-1-B

### DRAINAGE PLAN

THE FOLLOWING ITEMS CONCERNING THE PROTON OF TRACT A-1-B OF ACME ACRES GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:

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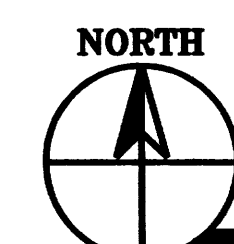
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**CALCULATIONS**  
PRECIPITATION ZONE = 2  
TOTAL SITE AREA = 1.148 ACRES

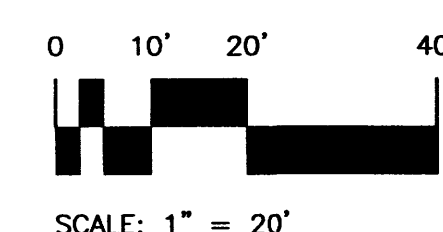
**BASIN A**  
AREA = 1.148 ACRES  
EXISTING CONDITIONS  
LAND TREATMENT A=100%  
E = 0.53(1.00) = 0.53 INCHES  
V = 0.53(1.148) / 12 = 0.051 ACRE FEET  
Q = 1.56(1.00)(1.148) = 1.79 CFS  
DEVELOPED CONDITIONS  
LAND TREATMENT B=10% D=90%  
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INCREASE IN RATE OF RUNOFF = 3.33 CFS

REVISION  
10/18/01 REVISED PARKING LAYOUT PER DRB  
01/09/03 PLOTTED



## GRADING PLAN

JANUARY 27, 2003 SCALE: 1"=20'



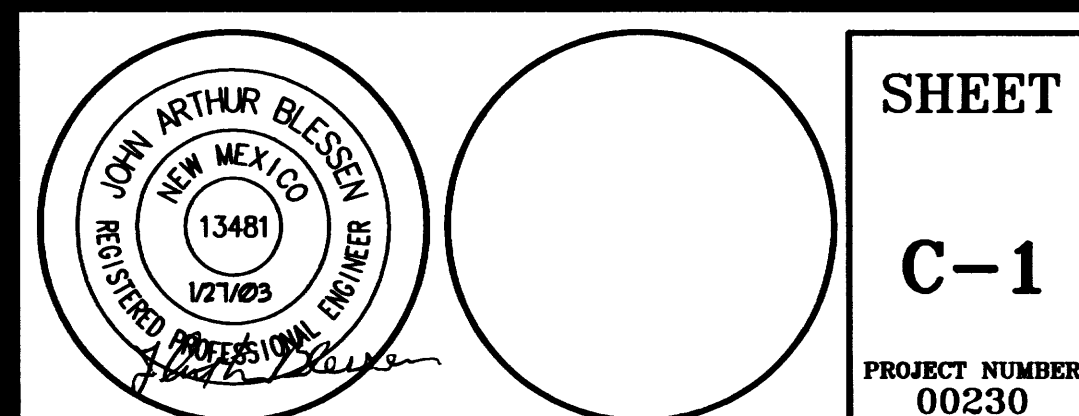
SCALE: 1" = 20'

### LEGEND:

- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- EXISTING CONTOUR
- NEW CONTOUR
- SWALE
- VERIFIED ELEVATION
- AS BUILT ELEVATION
- BASEIN BOUNDARY
- PROPERTY LINE
- FLOW LINE
- GROUND
- INVERT
- TOP OF ASPHALT
- TOP OF CURB
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- TOP OF CONCRETE SLAB
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**RUELE CORPORATION**  
CUTLER AVENUE N.E.  
ALBUQUERQUE, NEW MEXICO



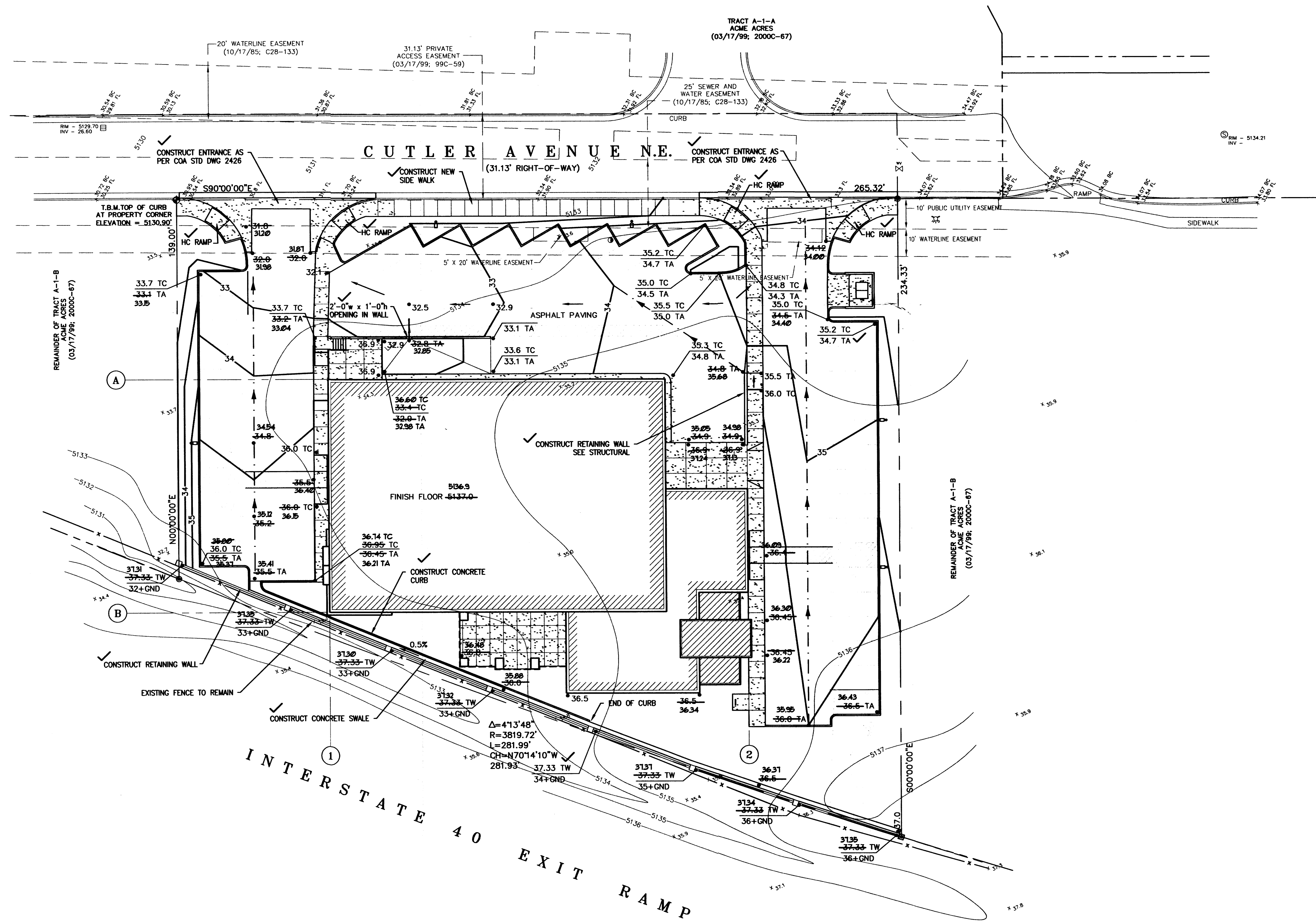
SHEET

C-1

PROJECT NUMBER  
00230

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1801 Rio Grande NW, #2, Albuquerque, NM 87104  
Phone: 505/842-1113 Fax: 505/842-1330





# BUILDING CRITERIA

PROJECT: RUELE CORPORATION  
CUTLER AVENUE N.E.

OWNER: BOB RUELE  
2655 E. PAN AMERICAN HWY. N.E.  
ALBUQUERQUE, NEW MEXICO 87104

ARCHITECT: CLAUDIO VIGIL ARCHITECTS  
1801 RIO GRANDE NW, SUITE 2  
ALBUQUERQUE, NEW MEXICO 87104

LEGAL DESCRIPTION: TRACT A-1-B-2, ACRES  
SECTION 11, T. 10 N., R. 3 E., N.M.P.M.

ZONING ATLAS MAP: H-11-Z

CURRENT ZONING CLASSIFICATION: C-3, SU-C

CONSTRUCTION TYPE: TYPE II-N

OCCUPANCY GROUP: B, S-1

NUMBER OF FLOORS: ONE

GROSS SQUARE FOOTAGE: OFFICE AREA: 4,692 SQ.FT.  
WAREHOUSE: 9,218 SQ.FT.  
COVERED PATIO: 180 SQ.FT.  
TOTAL: 14,090 SQ.FT.

ALLOWABLE AREA:  
B & S-1 OCCUPANCIES & II-N CONSTRUCTION = 12,000 SQ. FT.  
SEPARATION ON TWO SIDES 45% INCREASE = 5,400 SQ. FT.  
TOTAL = 11,400 SQ. FT.

PARKING ANALYSIS:  
OFFICE AREA = 4,692/200 = 24  
WAREHOUSE AREA = 9,218/200 = 5  
TOTAL REQUIRED = 29  
TOTAL PROVIDED = 33 SPACES  
(INCLUDES 4 ACCESSIBLE SPACES)

PARKING SPACE SIZES:  
REGULAR CAR PARKING SPACES: 9'-0" x 18'-0" WITH A 2'-0" OVERHANG.  
VAN ACCESSIBLE HANDICAP PARKING SPACE:  
9'-0" x 18'-0" WITH A 2'-0" OVERHANG AND A 9'-0" WIDE ACCESS STRIP.

BICYCLE RACKS: 1 RACK FOR 4 BICYCLES

TOTAL LOT AREA: 50,016 SQUARE FEET, 1.1 ACRES

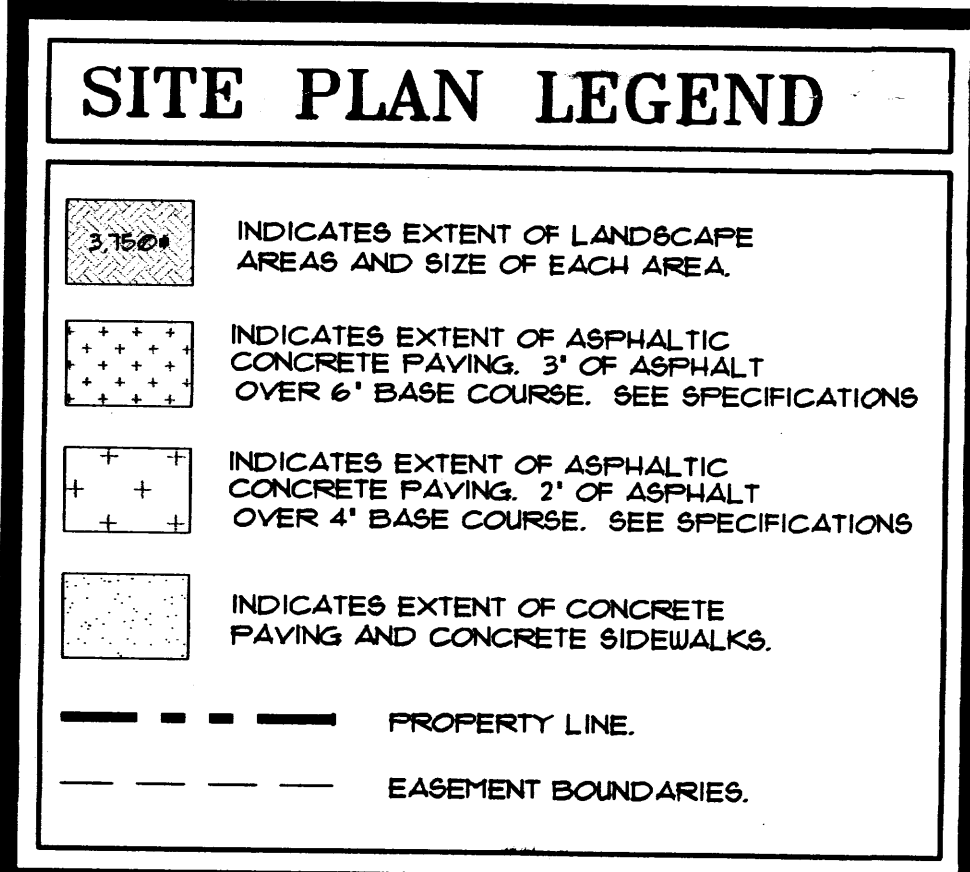
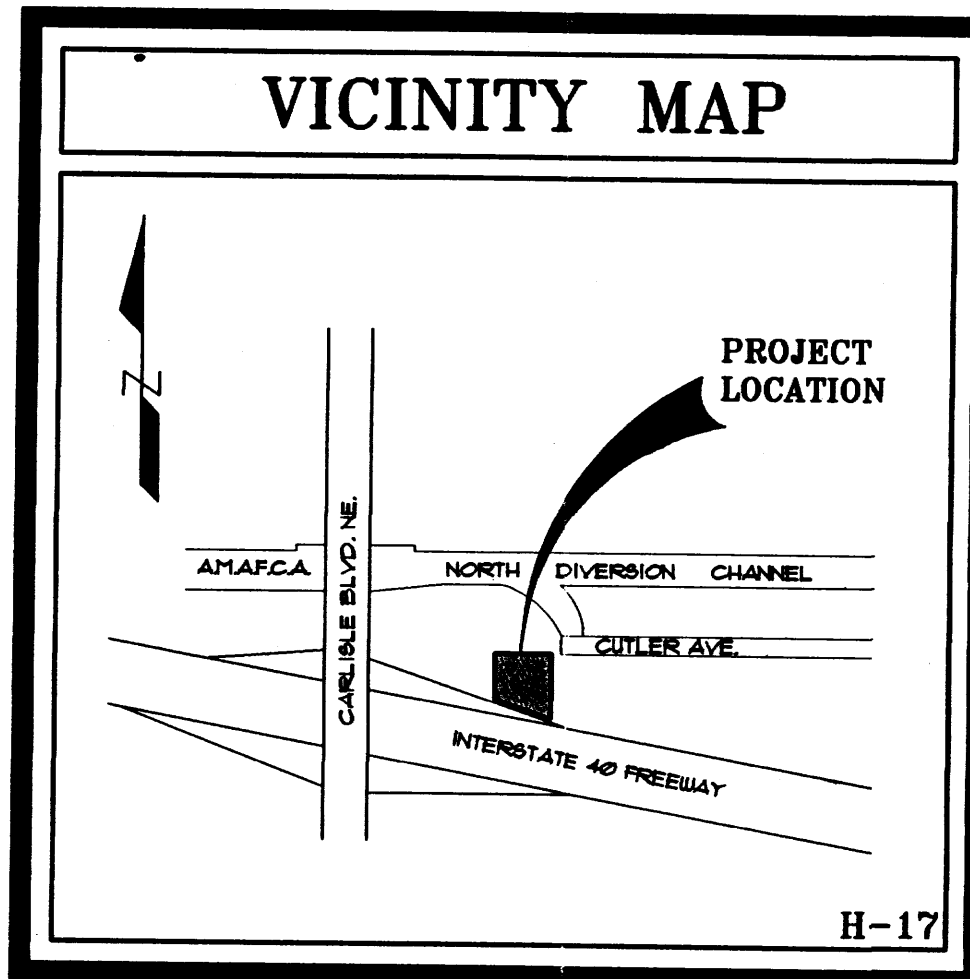
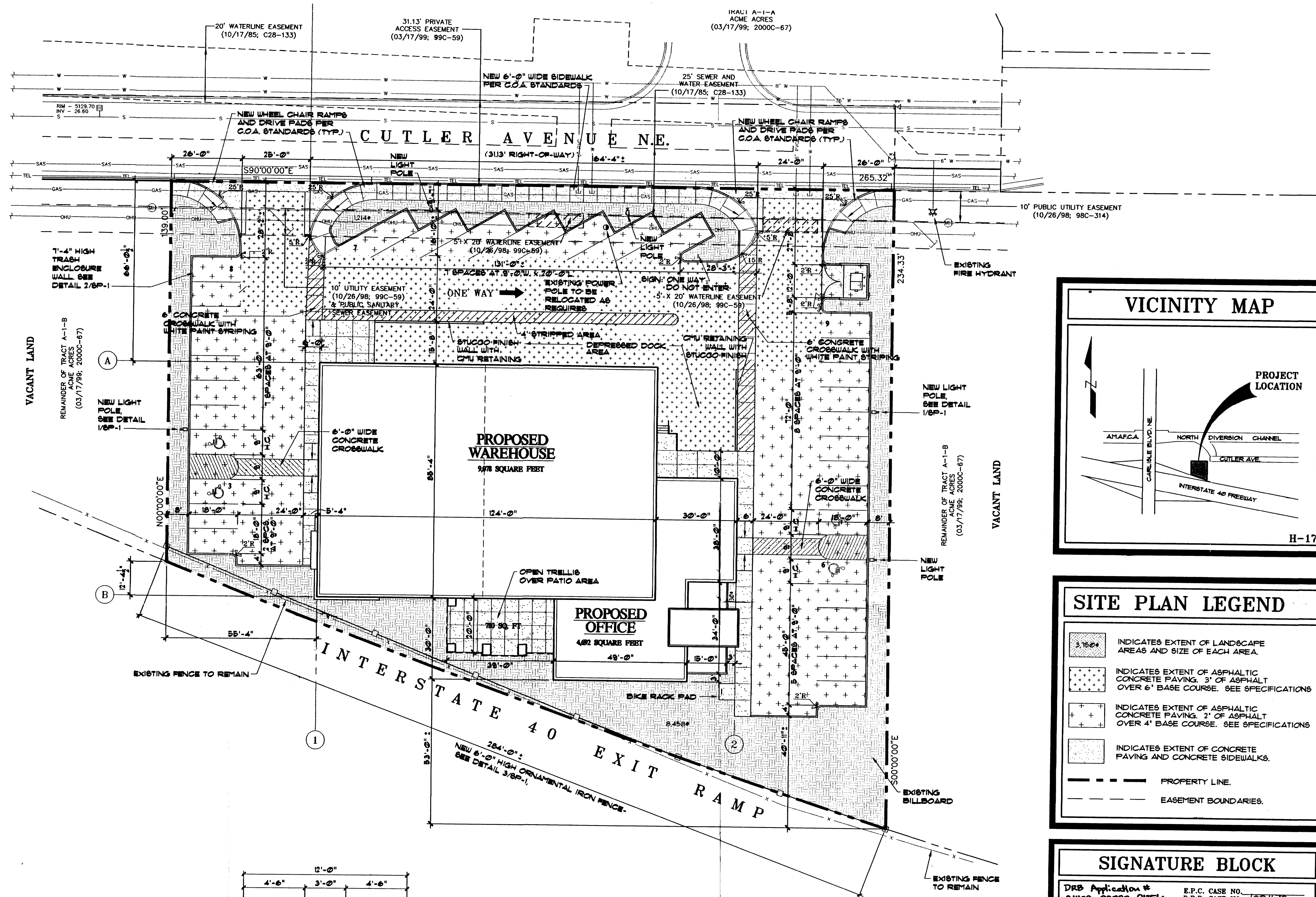
NET LOT AREA: 35,466 SQUARE FEET

TOTAL PARKING/PAVED AREA: 22,069 SQUARE FEET

TOTAL LANDSCAPE AREA REQUIRED: 5,320 SF.

TOTAL LANDSCAPE AREA PROVIDED: 9,612 SF.

LANDSCAPE TO PARKING AREA RATIO: 4 TO 1



**SIGNATURE BLOCK**

DRB Application # 01420-00000-0156 E.P.C. CASE NO. 1001178 D.R.B. CASE NO. 1001178

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON 10/17/01, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE, NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

**SITE DEVELOPMENT PLAN**

*Richard D. Duff* 10/17/01 DATE  
TRAFFIC ENGINEER, TRANSPORTATION DIVISION

*Adriana E. Cardenas* 10/17/01 DATE  
PARKS & RECREATION DEPARTMENT

*Roger A. Green* 10/30/01 DATE  
PUBLIC WORKS, WATER UTILITIES DIVISION

*Bradley L. Bingham* 10/30/01 DATE  
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA

*Shirley S. Breen* 10/16/01 DATE  
SOLID WASTE DEPARTMENT / REFUSE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.

*Paul S.* 10/31/01 DATE  
CITY PLANNER, ALBUQUERQUE

PNZ(10700) 4/96



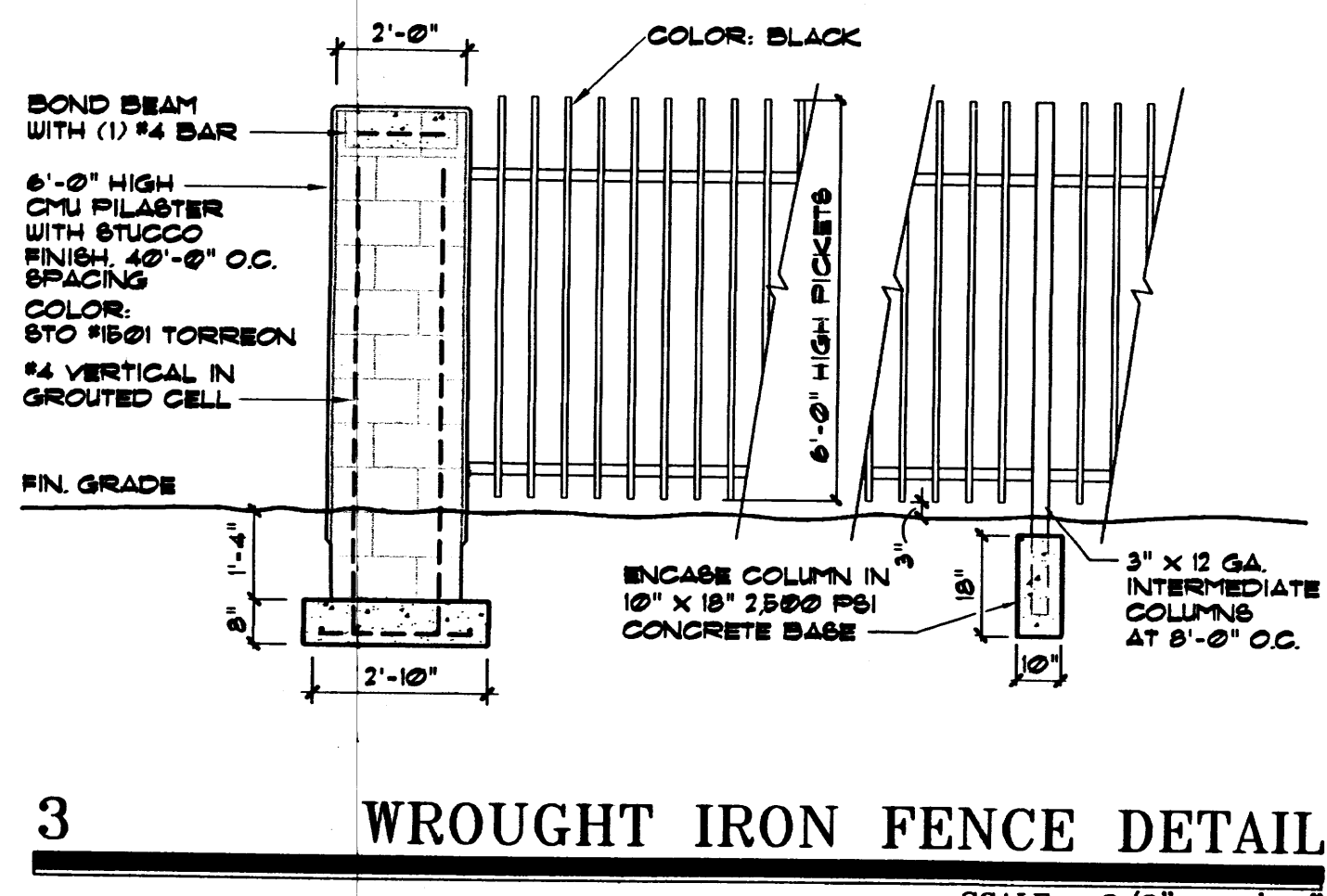
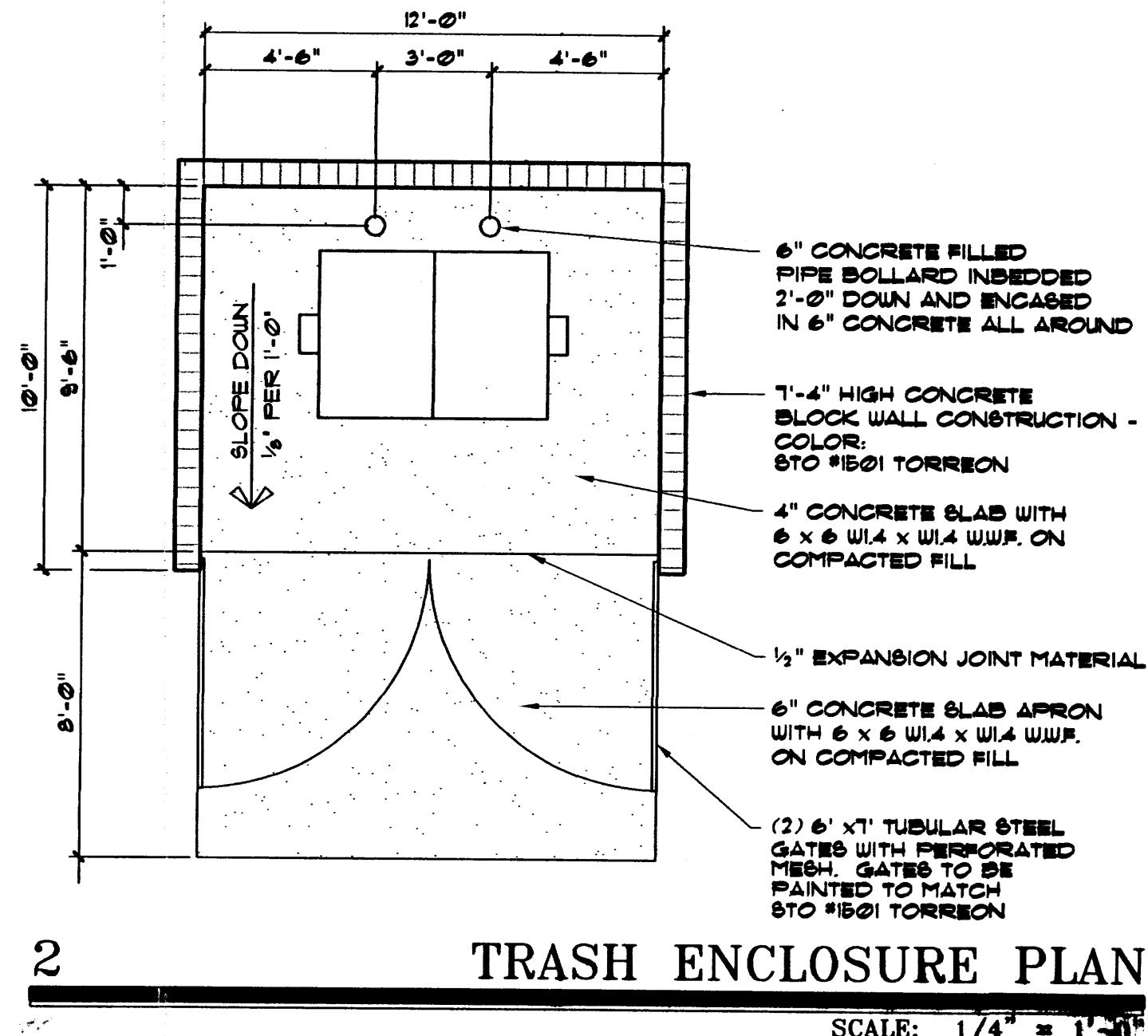
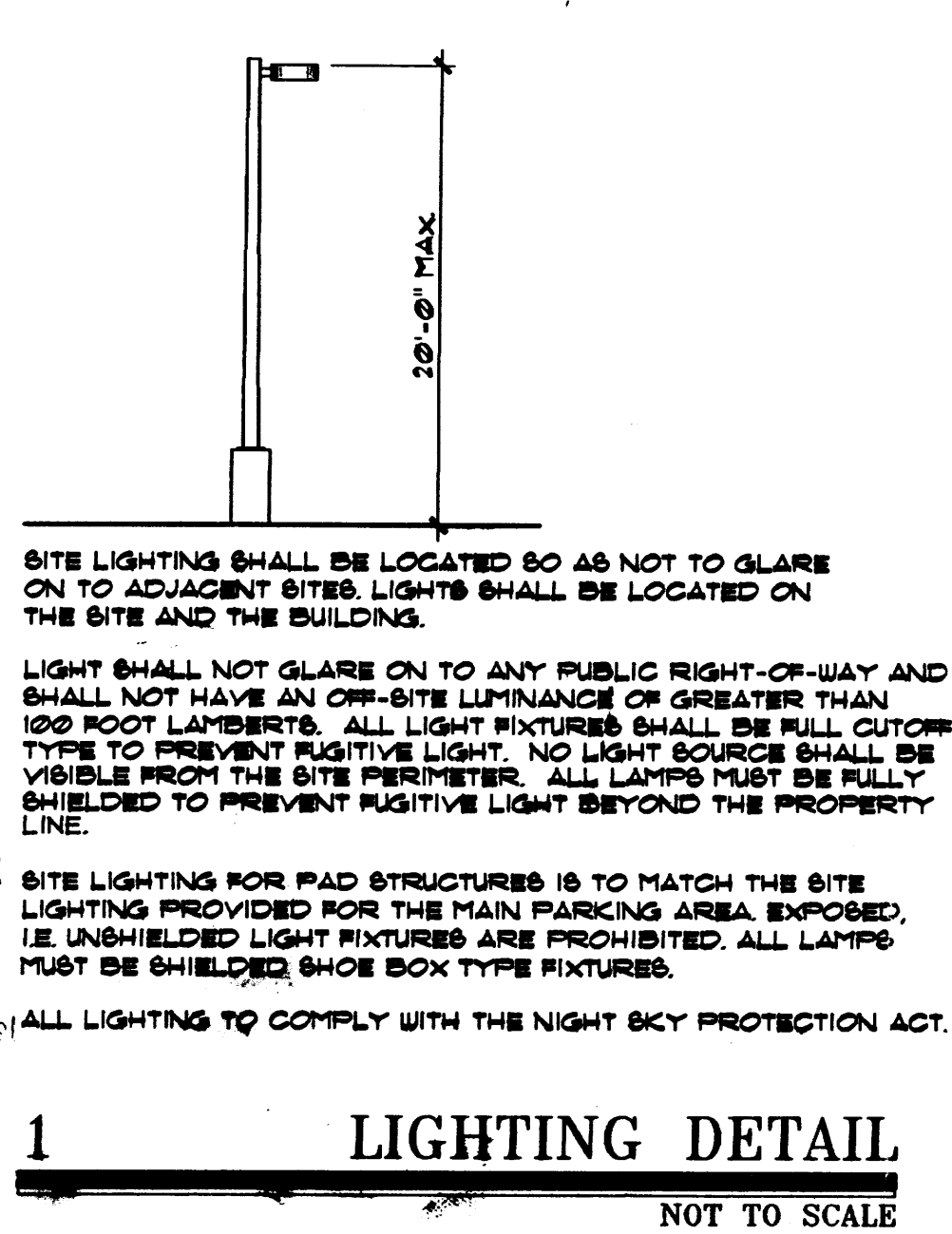
**CLAUDIO VIGIL ARCHITECTS**

**RUELE CORPORATION**  
CUTLER AVENUE N.E.  
ALBUQUERQUE, NEW MEXICO

**SHEET**  
SP--1  
PROJECT NUMBER 00230

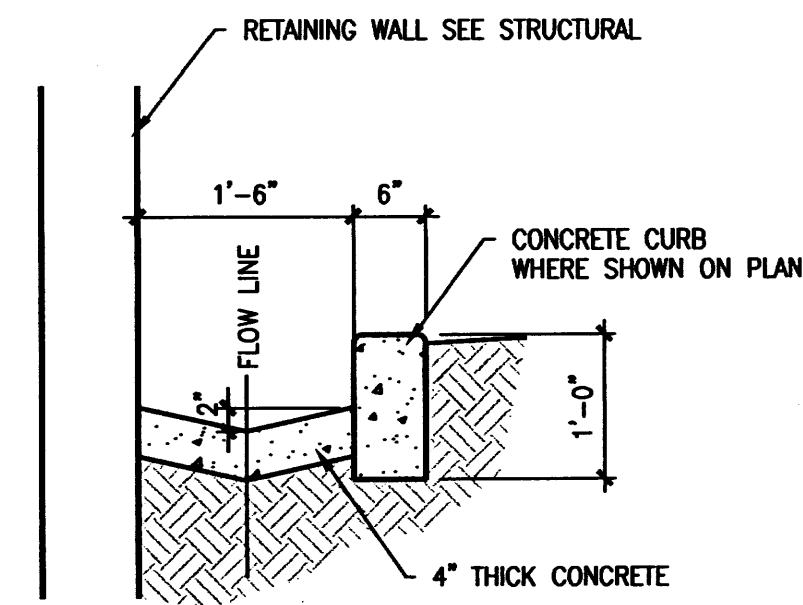
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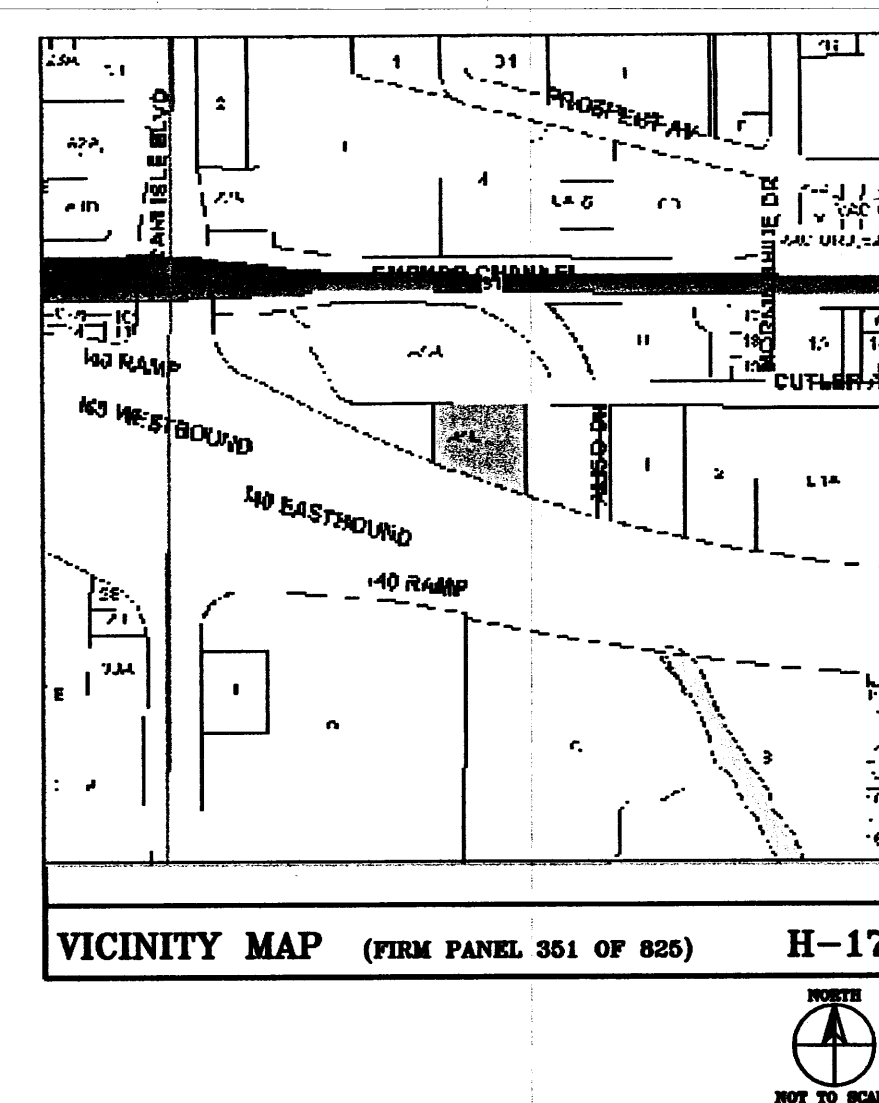
PLANS CHECKING OFFICE 924-3611  
PROVED/DISAPPROVED  
HYDRANT ONLY  
SIGNATURE & DATE





**1 CONCRETE GUTTER**  
3/4"=1'-0"

- ADDRESS:  
NOT AVAILABLE
- BENCH MARK:  
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE ACS CONTROL MONUMENT 14-H17. ELEVATION IS 5133.04 SLD 1927.
- LEGAL DESCRIPTION:  
PORTION OF TRACT A-1-B, ACME ACRES  
SECTION 11, T. 10 N., R. 3 E., N.M.P.M.
- CONSTRUCTION NOTES
- TWO WORKING DAY PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CALL FOR LOCATION OF EXISTING UTILITIES.
  - ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE CITY OF ALBUQUERQUE STANDARD AND PROCEDURE.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS, LAWS, AND RULES CONCERNING SAFETY AND HEALTH.
  - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE EXISTING SITE CONDITIONS AND INFORM THE ARCHITECT / ENGINEER OF ANY DISCREPANCY BETWEEN THE INFORMATION SHOWN THE PLANS AND THOSE OF THE EXISTING SITE.
  - THE CONTRACTOR SHALL PROVIDE THE ARCHITECT/ENGINEER WITH AN AS-BUILT SITE PLAN.



## GRADING AND DRAINAGE PLAN - PORTION OF TRACT A-1-B

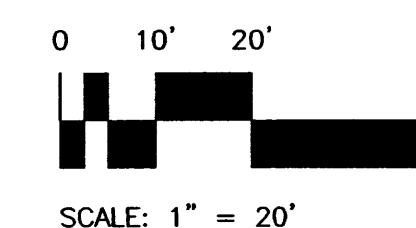
- DRAINAGE PLAN**  
THE FOLLOWING ITEMS CONCERNING THE PROTON OF TRACT A-1-B OF ACME ACRES GRADING AND DRAINAGE PLAN ARE CONTAINED HEREON:
- VICINITY MAP
  - GRADING PLAN
  - CALCULATIONS
- THE PROPOSED IMPROVEMENTS, AS SHOWN BY THE VICINITY MAP, ARE LOCATED SOUTH OF CUTLER AVENUE, EAST OF CARLISLE BOULEVARD. THE SITE IS CURRENTLY UNDEVELOPED. THE LAND SLOPES TO THE NORTH WEST CORNER AT AN APPROXIMATE SLOPE OF 2.5% ACCORDING TO PANEL 361 OF 825 OF FIRM MAP, THE SITE DOES NOT LIES WITHIN THE FLOOD HAZARD ZONE.
- THE MASTER PLAN FOR THE SITE PREPARED BY CHAVES-GRIEVES HAS ESTABLISHED FREE DISCHARGE TO CUTLER AVENUE.
- THE EXISTING SITE IS HIGHER THAN THE LANDS TO THE WEST AND CUTLER AVENUE TO THE NORTH. THE FLOWS FROM THE LAND TO THE EAST ARE INTERCEPTED BY THE SWALE ALONG THE EAST PROPERTY LINE. THE EXISTING SWALE ALONG THE SOUTH PROPERTY LINE INTERCEPTS THE FLOWS FROM THAT DIRECTION. THEREFORE OFFSITE SITE FLOW ARE NOT CONSIDERED SIGNIFICANT.
- THE GRADING PLAN SHOWS:
- THE EXISTING AND PROPOSED GRADES, INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS.
  - CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
  - THE LIMIT AND CHARACTER OF EXISTING IMPROVEMENTS, AND
  - THE LIMIT AND CHARACTER OF THE PROPOSED IMPROVEMENTS.
- THE PROPOSED IMPROVEMENTS CONSIST OF A OFFICE WAREHOUSE WITH ASSOCIATED PARKING AND LANDSCAPING. THE PROPOSED DISCHARGE FROM THE SITE IS TO CUTLER AVENUE AT A RATE OF 5.12 CFS.
- THE CALCULATIONS ANALYZE THE EXISTING AND PROPOSED CONDITIONS FOR THE 6-HOUR, 100 YEAR RAINFALL EVENT. THE ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL VOLUME II. AS SHOWN BY THESE CALCULATIONS, THE RATE AND VOLUME OF RUNOFF WILL INCREASE BUT THE POND(S) WITH CONTROLLED OUTLETS WILL MITIGATE THE INCREASE. THIS PLAN IS IN CONFORMANCE WITH THE MASTER DRAINAGE PLAN.
- CALCULATIONS**  
PRECIPITATION ZONE = 2  
TOTAL SITE AREA = 1.148 ACRES
- BASIN A**  
AREA = 1.148 ACRES  
EXISTING CONDITIONS  
LAND TREATMENT A=100%  
E = 0.53(1.00) = 0.53 INCHES  
V = 0.53 (1.148) / 12 = 0.051 ACRE FEET  
Q = 1.56 (1.00) (1.148) = 1.79 CFS
- DEVELOPED CONDITIONS**  
LAND TREATMENT B=10% D=90%  
E = 0.78 (0.10) + 2.12 (0.90) = 1.99 INCHES  
V = 1.99 (1.148) / 12 = 0.190 ACRE FEET  
Q = [2.28 (0.10) + 4.70 (0.90)] (1.148) = 5.12 CFS  
INCREASE IN VOLUME OF RUNOFF = 0.139 ACRE FT  
INCREASE IN RATE OF RUNOFF = 3.33 CFS

REVISION  
10/18/01 REVISED PARKING LAYOUT PER DRB  
01/09/03 PLOTTED



## GRADING PLAN

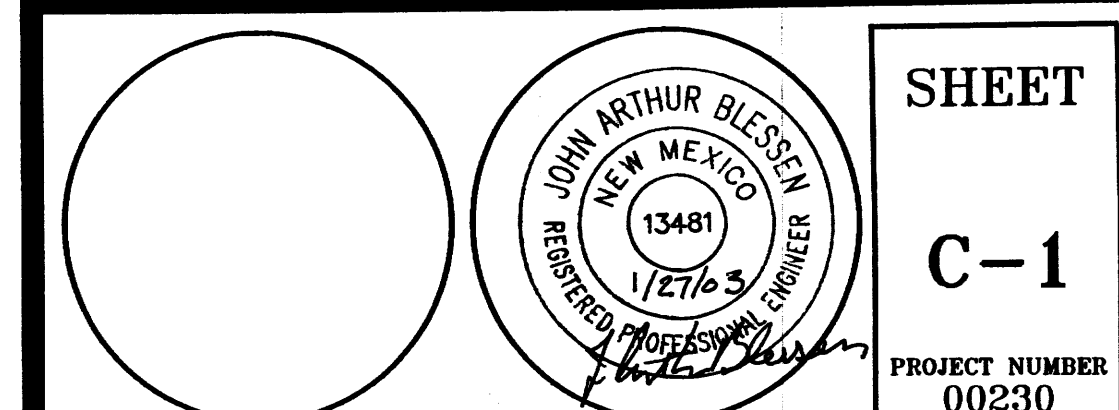
JANUARY 27, 2003 SCALE: 1"=20'



- LEGEND:
- EXISTING SPOT ELEVATION
  - NEW SPOT ELEVATION
  - EXISTING CONTOUR
  - NEW CONTOUR
  - SWALE
  - VERIFIED ELEVATION
  - AS BUILT ELEVATION
  - BASIN BOUNDARY
  - PROPERTY LINE
  - FL FLOW LINE
  - GND GROUND
  - INV INVERT
  - TA TOP OF ASPHALT
  - TC TOP OF CURB
  - TG TOP OF GRATE
  - TS TOP OF CONCRETE SLAB
  - TW TOP OF WALL
  - TBM TEMPORARY BENCH MARK
  - GRAVEL
  - NEW CONCRETE

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