

WAL-MART PLAZA SHOPPING CENTER EXPANSION
GRADING & DRAINAGE PLAN

SCALE: 1" = 50'

NOTE:
THIS PARCEL IS CURRENTLY 100% DEVELOPED AS A STRIP SHOPPING CENTER.
THE PROPOSED DEVELOPMENT WILL NOT IMPACT THE EXISTING DRAINAGE SIGNIFICANTLY.
WHEREVER POSSIBLE, PARKING LOT DRAINAGE WILL BE ROUTED THROUGH LANDSCAPED AREAS
TO PROVIDE A DEGREE OF RUNOFF FREQUENCY MITIGATION.

PROPOSED FINISHED FLOOR ELEVATIONS

1	5148.00
2	5151.00
3	5153.00
4	5155.00
5	5161.50

LEGAL: TRACT C-1 OF THE A.J. JOHNSON PROPERTY WITH IN THE NORTHWEST QUATER OF SECTION 11, TOWNSHIP 10 NORTH, RANGE 3 EAST.

BENCHMARK: A.C.S. MONUMENT "1-H16" LOCATED AT THE INTERSECTION OF MENAUL BLVD. & CARLISLE AVE. IN THE SOUTHEAST CORNER OF THE PARKING LOT OF AMERICAN FURNITURE CO.

TEXT:

THIS PARCEL IS CURRENTLY 100% DEVELOPED AS A STRIP SHOPPING CENTER. ALL DRAINAGE IS DRAINED ONTO CARLISLE BLVD. AND SUBSEQUENTLY INTO A STORM SEWER ON MENAUL BLVD. (SEE SHEET 2 OF 2).

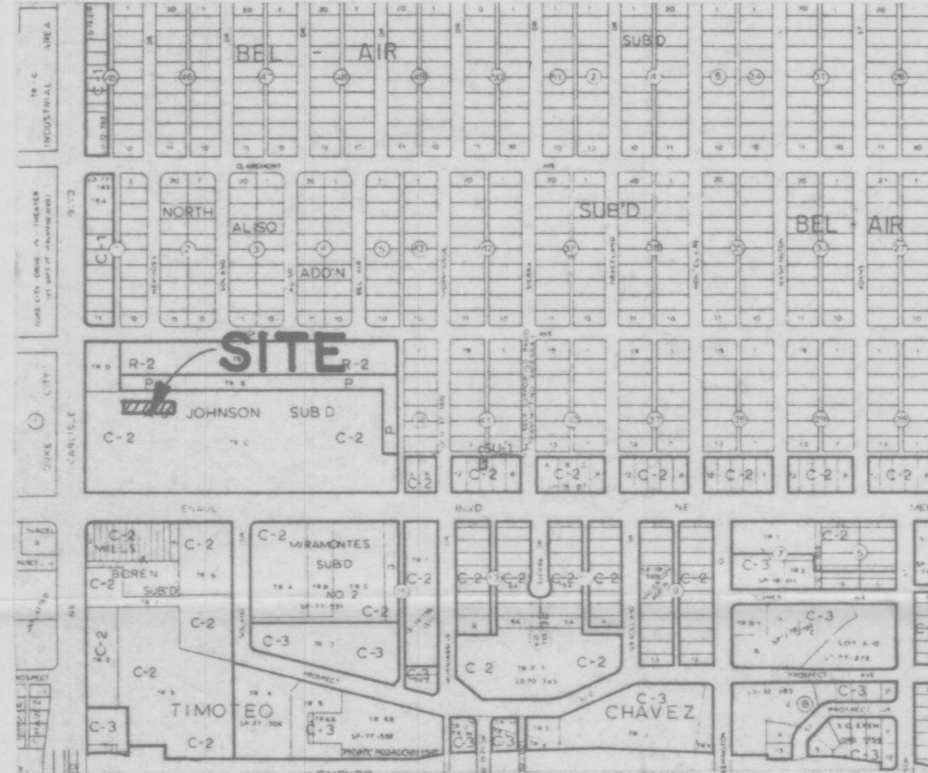
ALL FUTURE DRAINAGE WILL BE ROUTED THROUGH LANDSCAPED AREAS WHEREVER POSSIBLE AND ONTO CARLISLE BLVD.

EROSION CONTROL:

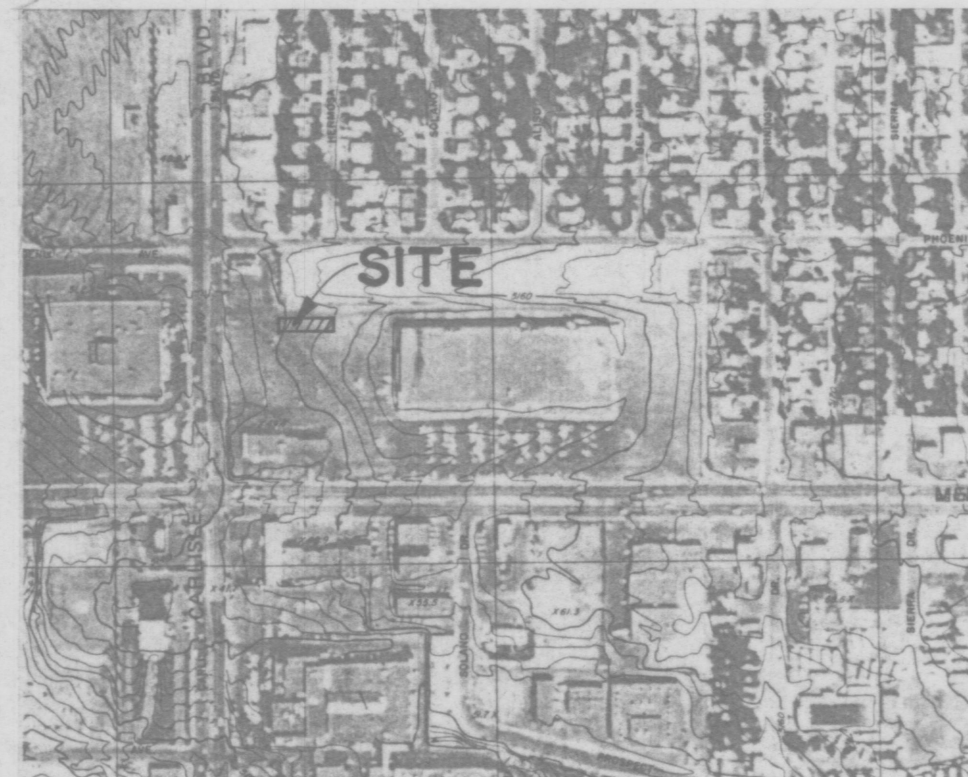
THE SITE WILL BE FULLY DEVELOPED IMMEDIATELY. EROSION PROBLEMS GENERATED BY PHASED DEVELOPMENT WILL NOT, THEREFORE, BE A PROBLEM.

CONSTRUCTION PHASE: THE CONTRACTOR SHALL EXERCISE REASONABLE CARE DURING CONSTRUCTION TO PREVENT THE MOVEMENT OF SEDIMENT FROM THE SITE INTO THE STREET. LOOSE SOIL STOCKPILED IN THE STREET DURING UTILITY CONNECTION ACTIVITIES SHALL BE PROTECTED FROM BEING CARRIED DOWNSTREAM BY FLOWING WATER IN THE STREET.

VICINITY MAP ZONE ATLAS MAP H-17



FLOOD HAZARD MAP & OFFSITE FLOWS FROM F.E.M.A. MAP NO. 23

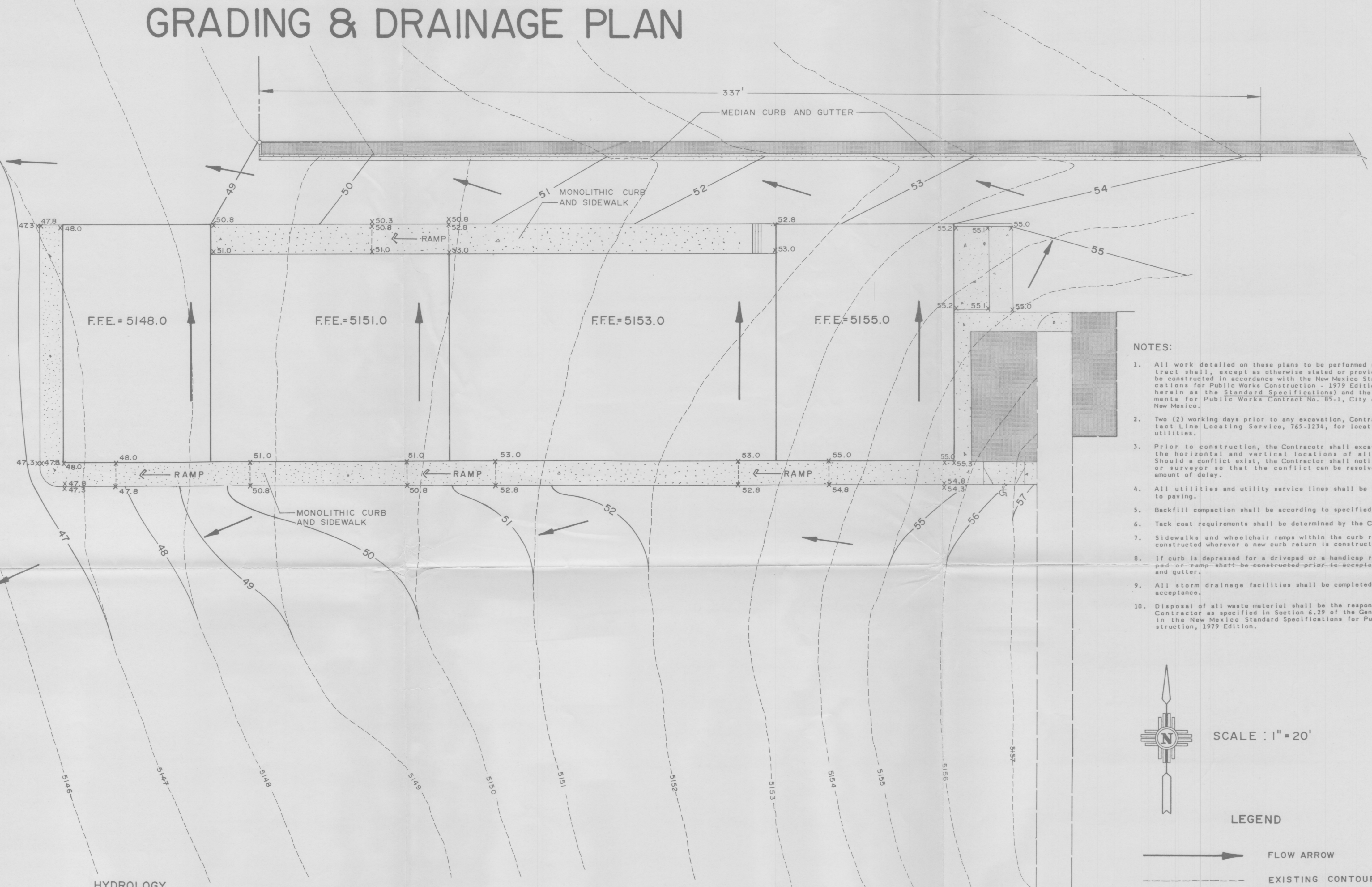


SOILS MAP FROM SOILS SURVEY, BERN. CO. — U.S.D.A., S.C.S.



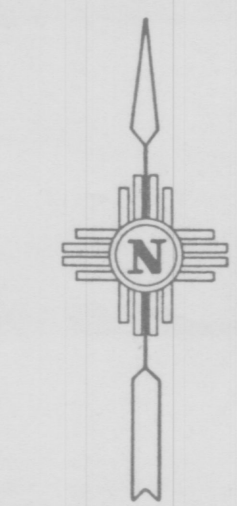
CARLISLE BLVD. N.E.

WAL-MART PLAZA SHOPPING CENTER EXPANSION GRADING & DRAINAGE PLAN



NOTES:

- All work detailed on these plans to be performed under this Contract shall, except as otherwise stated or provided for herein, be constructed in accordance with the New Mexico Standard Specifications for Public Works Construction - 1979 Edition (referred to herein as the Standard Specifications) and the Contract Documents for Public Works Contract No. 85-1, City of Albuquerque, New Mexico.
- Two (2) working days prior to any excavation, Contractor must contact Line Locating Service, 765-1234, for locating of existing utilities.
- Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer or surveyor so that the conflict can be resolved with minimum amount of delay.
- All utilities and utility service lines shall be installed prior to paving.
- Backfill compaction shall be according to specified street use.
- Tack coat requirements shall be determined by the City Engineer.
- Sidewalks and wheelchair ramps within the curb returns shall be constructed wherever a new curb return is constructed.
- If curb is depressed for a driveway or a handicap ramp, the depressed or ramp shall be constructed prior to acceptance of the curb and gutter.
- All storm drainage facilities shall be completed prior to final acceptance.
- Disposal of all waste material shall be the responsibility of the Contractor as specified in Section 6.29 of the General Conditions in the New Mexico Standard Specifications for Public Works Construction, 1979 Edition.



SCALE: 1" = 20'

LEGEND

- FLOW ARROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ELEV.
- PROPOSED SPOT ELEV.
- LANDSCAPING

HYDROLOGY

A.P. #	D.A. AC	H. FT.	S. FT/FT	L. FT.	Tc MIN.	SOIL TYPE	% IMP.	C.N.	C.	P ₂ IN.	P ₁₀ IN.	P ₁₀₀ IN.	I ₂ IN/HR.	I ₁₀ IN/HR.	I ₁₀₀ IN/HR.	VOL-2 C.F.	VOL-10 C.F.	VOL-100 C.F.	Q ₂ C.F.S.	Q ₁₀ C.F.S.	Q ₁₀₀ C.F.S.
1	.682	8	.0250	320	2.7	A	100	98	1.0	.98	1.45	2.2	2.1	3.2	4.8	1,801	2,804	4,491	1.3	2.0	3.0
1	.682	8	.0250	320	2.7	A	100	98	1.0	.98	1.45	2.2	2.1	3.2	4.8	1,801	2,804	4,491	1.3	2.0	3.0

EXISTING
DEVELOPED

CONSTRUCTION SAFETY:

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE CONTRACTOR'S RESPONSIBILITY.

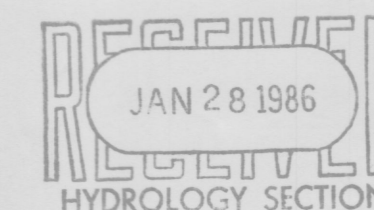
SOILS INFORMATION

SOIL SERIES AND MAP SYMBOLS	DEGREE AND KIND OF LIMITATIONS FOR						SUITABILITY AS SOURCE OF —				SOIL FEATURES AFFECTING —		HYDROLOGIC SOIL GROUP
	SEPTIC TANK ABSORPTION FIELDS	SEWAGE LAGOONS	SHALLOW EXCAVATIONS	DWELLINGS WITHOUT BASEMENTS	SANITARY LANDFILL (TRENCH TYPE)	LOCAL ROAD AND STREETS	ROAD FILL	SAND	GRAVEL	TOPSOIL	POND RESERVOIR AREAS	DIKES, LEVES, AND OTHER EMBANKMENTS	
Cut and fill land: Cu.....	Slight if slope is 1 to 8 percent, moderate if 8 to 15, severe if more than 15.	Severe: seepage.	Moderate: cutbanks cave; slope.	Slight if slope is 1 to 8 percent, moderate if 8 to 15, severe if more than 15.	Severe: seepage.	Slight if slope is 1 to 8 percent, moderate if 8 to 15, severe if more than 15.	Good if slope is less than 15 percent, fair if more than 15.	Fair: excess fines.	Unsuited.....	Poor: small stones.	Seepage.....	Hard to pack; seepage.	A

SOILS INFORMATION

Cut and Fill Land

Cu—Cut and fill land consists of sandy loam and very gravelly sand that has been mixed by filling for residential, industrial, and business developments. It is on high terrace breaks of the Rio Grande Valley mainly in the city of Albuquerque. It is nearly level to moderately steep; slopes are 1 to 25 percent. Elevations range from 4,900 to 5,000 feet. The mean annual precipitation is 7 to 10 inches, the mean annual air temperature is 58° to 60° F, and the frost-free season is 165 to 195 days. Included in this unit in mapping are a few areas of Bluepoint, Kokan, and Wink soils. Runoff is slow to very rapid, and the hazard of erosion is slight to severe. Cut and fill land is used for community development and watershed. Dryland capability subclass VIIc.



1	F.F.E., Backstairs Changes, Proposed Contours	DLS	1/27/86
NO.	REVISIONS	BY	DATE
WAL-MART SHOPPING CENTER EXPANSION 3821 MENAUL BLVD. N.E. GRADING & DRAINAGE PLAN			
EASTERLING & ASSOCIATES, INC. CONSULTING ENGINEERS 5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114			
Designed: C.M.E.	Drawn: L.S.N./D.L.S.	Checked: D.L.S.	Sheet 1
Job No: 505701	Date: 11-6-85		of 2

LEGAL: TRACT C-1 OF THE A.J. JOHNSON PROPERTY WITH IN THE NORTHWEST QUATER OF SECTION 11, TOWNSHIP 10 NORTH, RANGE 3 EAST.

BENCHMARK: A.C.S. MONUMENT "1-H16" LOCATED AT THE INTERSECTION OF MENAUL BLVD. & CARLISLE AVE. IN THE SOUTHEAST CORNER OF THE PARKING LOT OF AMERICAN FURNITURE CO..

TEXT:

THIS PARCEL IS CURRENTLY 100% DEVELOPED AS A STRIP SHOPPING CENTER. ALL DRAINAGE IS DRAINED ONTO CARLISLE BLVD. AND SUBSEQUENTLY INTO A STORM SEWER ON MENAUL BLVD. (SEE SHEET 2 OF 2).

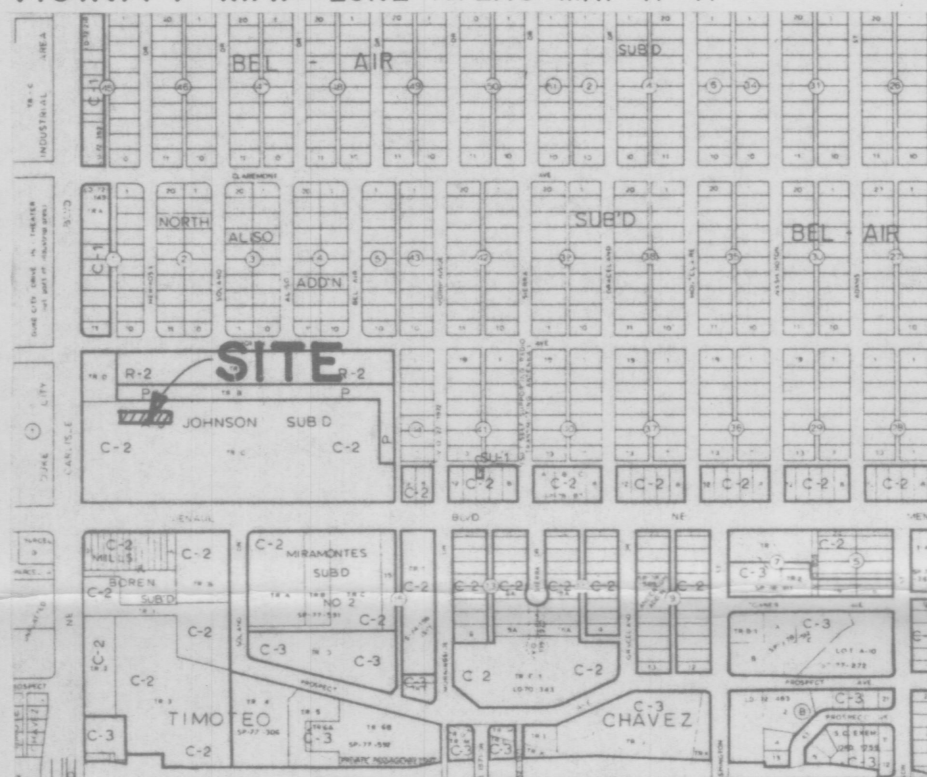
ALL FUTURE DRAINAGE WILL BE ROUTED THROUGH LANDSCAPED AREAS WHEREVER POSSIBLE AND ONTO CARLISLE BLVD.

EROSION CONTROL:

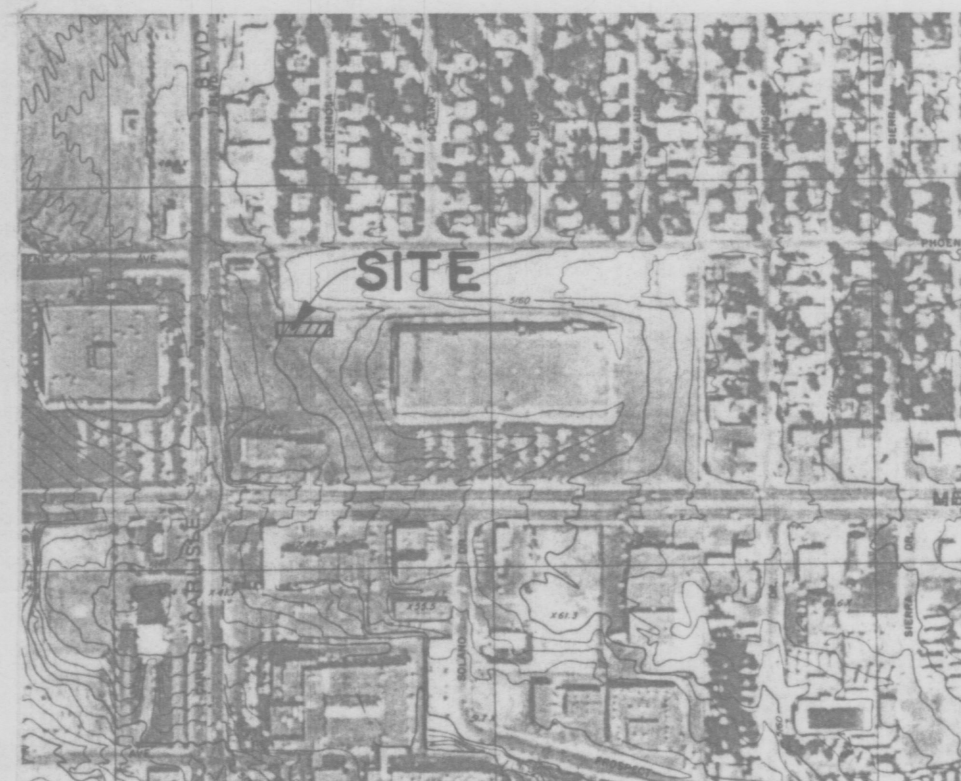
THE SITE WILL BE FULLY DEVELOPED IMMEDIATELY. EROSION PROBLEMS GENERATED BY PHASED DEVELOPMENT WILL NOT, THEREFORE, BE A PROBLEM.

CONSTRUCTION PHASE: THE CONTRACTOR SHALL EXERCISE REASONABLE CARE DURING CONSTRUCTION TO PREVENT THE MOVEMENT OF SEDIMENT FROM THE SITE INTO THE STREET. LOOSE SOIL STOCKPILED IN THE STREET DURING UTILITY CONNECTION ACTIVITIES SHALL BE PROTECTED FROM BEING CARRIED DOWNSTREAM BY FLOWING WATER IN THE STREET.

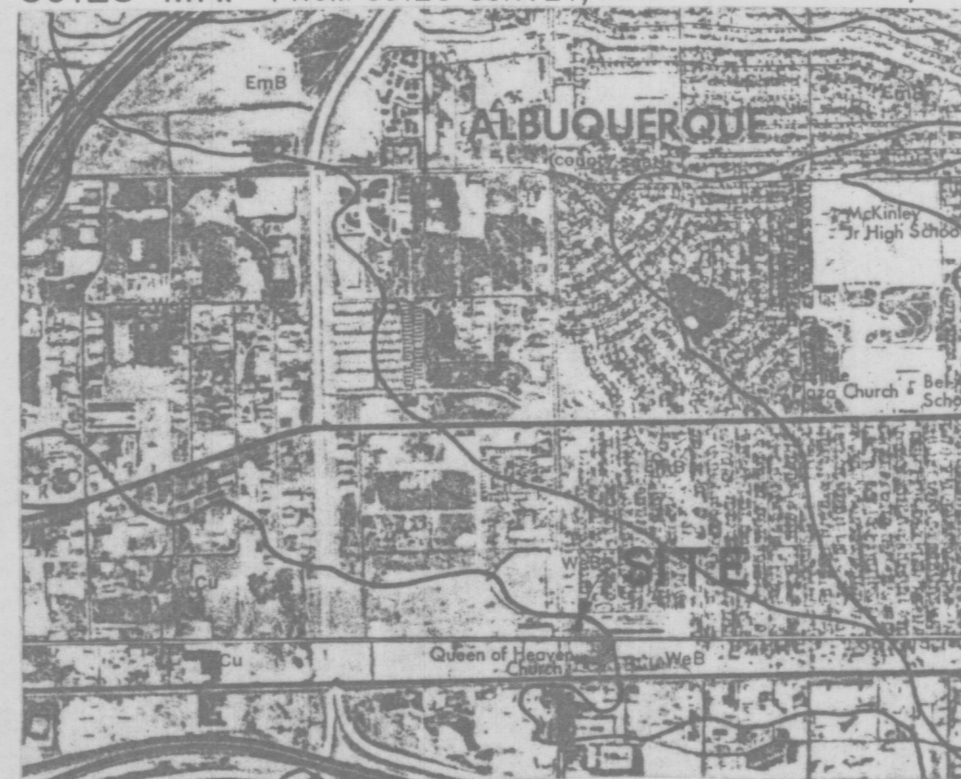
VICINITY MAP ZONE ATLAS MAP H-17



FLOOD HAZARD MAP & OFFSITE FLOWS FROM F.E.M.A. MAP NO. 23



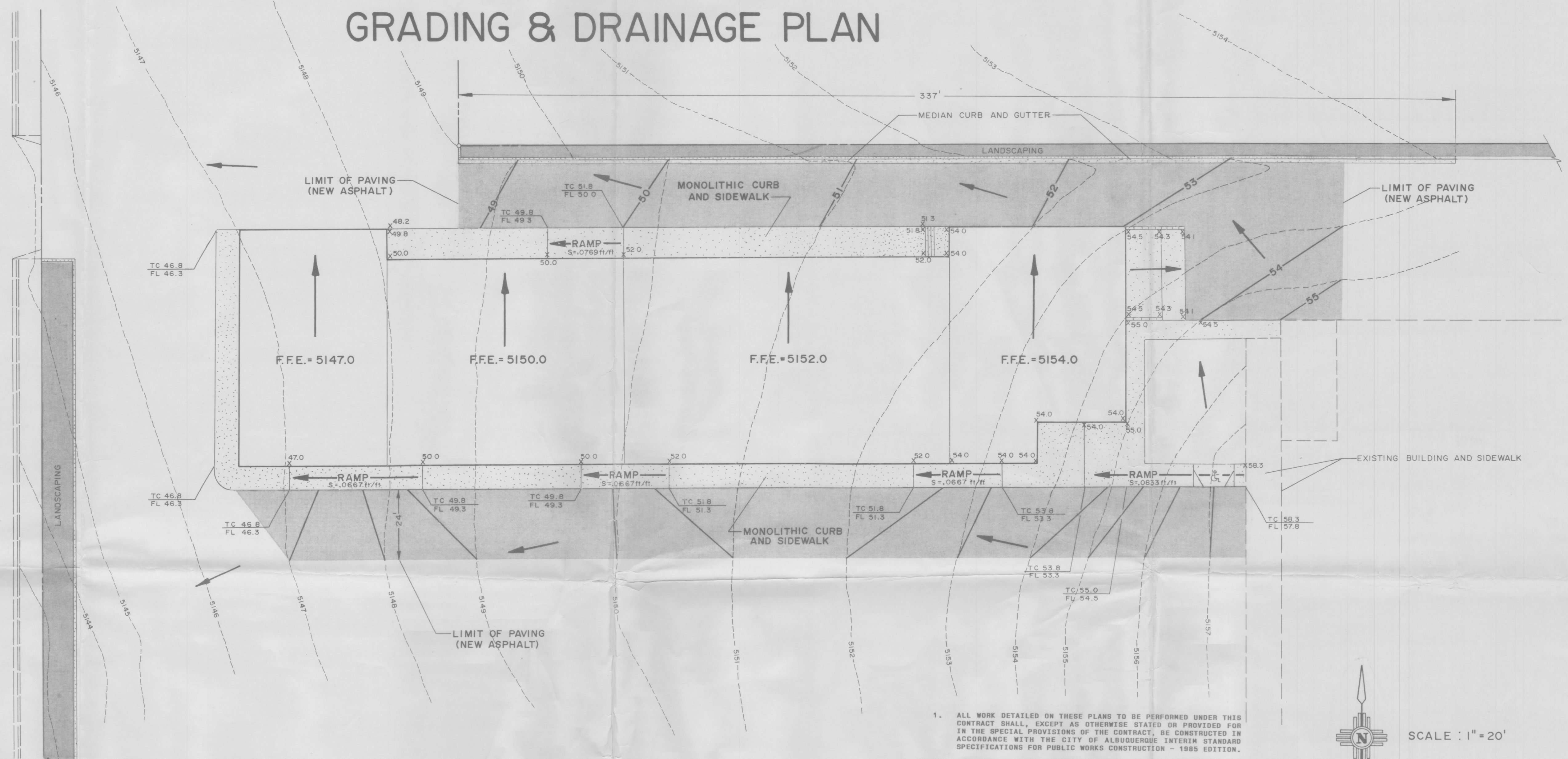
SOILS MAP FROM SOILS SURVEY, BERN. CO. — U.S.D.A., S.C.S.



WAL-MART PLAZA SHOPPING CENTER EXPANSION

GRADING & DRAINAGE PLAN

CARLISLE BLVD. N.E.



- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR IN THE SPECIAL PROVISIONS OF THE CONTRACT, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1985 EDITION.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATING OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- DISPOSAL OF ALL WASTE MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AS SPECIFIED IN SECTION 6.14 OF THE GENERAL CONDITIONS IN THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1985 EDITION.
- ALL CONCRETE DUMPSTER PADS SHALL BE SIX INCH REINFORCED CONCRETE (4" X 4", 10 GA. W.W.M.).
- THESE DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF EASTERLING & ASSOCIATES, INC.

CONSTRUCTION SAFETY:

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE CONTRACTOR'S RESPONSIBILITY.



SCALE: 1" = 20'

LEGEND

- FLOW ARROW
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED ELEV.
- PROPOSED SPOT ELEV.
- LANDSCAPING

HYDROLOGY

AP #	D.A.	H.	S.	L.	Tc	SOIL TYPE	% IMP.	C.N.	C.	P ₂	P ₁₀	P ₁₀₀	I ₂	I ₁₀	I ₁₀₀	VOL ₂	VOL ₁₀	VOL ₁₀₀	Q ₂	Q ₁₀	Q ₁₀₀
1	.682	8	.0250	320	2.7	A	100	98	1.0	.98	1.45	2.2	2.1	3.2	4.8	1,801	2,804	4,491	1.3	2.0	3.0
1	.682	8	.0250	320	2.7	A	100	98	1.0	.98	1.45	2.2	2.1	3.2	4.8	1,801	2,804	4,491	1.3	2.0	3.0

EXISTING
DEVELOPED

SOILS INFORMATION

SOIL SERIES AND MAP SYMBOLS	DEGREE AND KIND OF LIMITATIONS FOR						SUITABILITY AS SOURCE OF —				SOIL FEATURES AFFECTING —		HYDROLOGIC SOIL GROUP
	SEPTIC TANK ABSORPTION FIELDS	SEWAGE LAGOONS	SHALLOW EXCAVATIONS	DWELLINGS WITHOUT BASEMENTS	SANITARY LANDFILL (TRENCH TYPE)	LOCAL ROAD AND STREETS	ROAD FILL	SAND	GRAVEL	TOPSOIL	POND RESERVOIR AREAS	DIKES, LEVEES, AND OTHER EMBANKMENTS	
Cut and fill land: Cu-----	Slight if slope is 1 to 8 percent, moderate if 8 to 15, severe if more than 15.	Severe: seepage.	Moderate: cutbanks, cave; slope.	Slight if slope is 1 to 8 percent, moderate if 8 to 15, severe if more than 15.	Severe: seepage.	Slight if slope is 1 to 8 percent, moderate if 8 to 15, severe if more than 15.	Good if slope is less than 15 percent, fair if more than 15.	Fair: excess fines.	Unsuited-----	Poor: small stones.	Seepage-----	Hard to pack; seepage.	A

SOILS INFORMATION

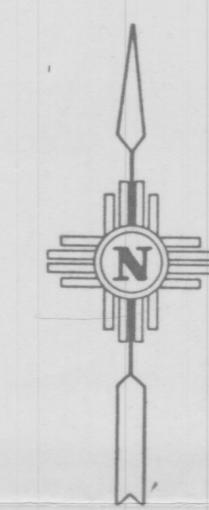
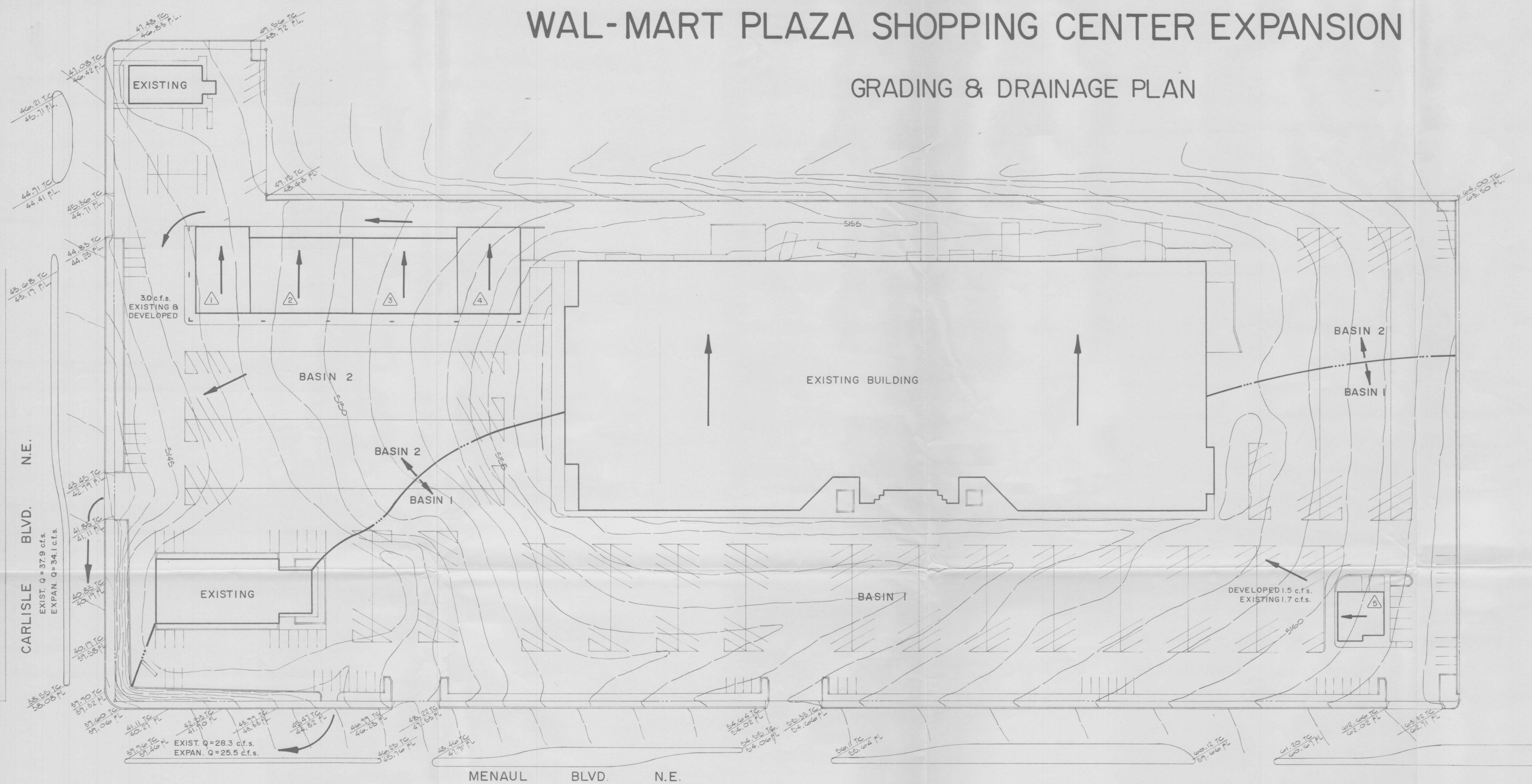
Cut and Fill Land

Cu—Cut and fill land consists of sandy loam and very gravelly sand that has been mixed by filling for residential, industrial, and business developments. It is on high terrace breaks of the Rio Grande Valley mainly in the city of Albuquerque. It is nearly level to moderately steep; slopes are 1 to 25 percent. Elevations range from 4,900 to 5,000 feet. The mean annual precipitation is 7 to 10 inches, the mean annual air temperature is 58° to 60° F, and the frost-free season is 165 to 195 days. Included in this unit in mapping are a few areas of Bluepoint, Kokan, and Wink soils. Runoff is slow to very rapid, and the hazard of erosion is slight to severe. Cut and fill land is used for community development and watershed. Dryland capability subclass VIIe.

1 F.F.E., Backstairs Changes, Proposed Contours		OLS	1/27/86
2 F.F.E., PROPOSED CONTOURS, BUILDING FOOTPRINT MAED WEST		DLS	5/22/86
NO.	REVISIONS	BY	DATE
WAL-MART SHOPPING CENTER EXPANSION 3821 MENAUL BLVD. N.E. GRADING & DRAINAGE PLAN			
EASTERLING & ASSOCIATES, INC. CONSULTING ENGINEERS 5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114			
Designed: C.M.E.	Drawn: L.S.N./D.L.S.	Checked: D.L.S.	Sheet 1
Job No: 505701	Date: 11-6-85	of 2	

WAL-MART PLAZA SHOPPING CENTER EXPANSION

GRADING & DRAINAGE PLAN



SCALE: 1" = 50'

NOTE:
THIS PARCEL IS CURRENTLY 100% DEVELOPED AS A STRIP SHOPPING CENTER.
THE PROPOSED DEVELOPMENT WILL NOT IMPACT THE EXISTING DRAINAGE SIGNIFICANTLY.
WHEREVER POSSIBLE, PARKING LOT DRAINAGE WILL BE ROUTED THROUGH LANDSCAPED AREAS
TO PROVIDE A DEGREE OF RUNOFF FREQUENCY MITIGATION.

- PROPOSED FINISHED FLOOR ELEVATIONS
- 1 5148.00
 - 2 5151.00
 - 3 5153.00
 - 4 5155.00
 - 5 5161.50

1-27-86
REV 11-7-85
CME

RECEIVED
JAN 28 1986
HYDROLOGY SECTION

EASTERLING & ASSOCIATES CONSULTING ENGINEERS ALBUQUERQUE, NEW MEXICO		WAL-MART SHOPPING CENTER EXPANSION 3821 MENAUL BLVD. N.E. GRADING & DRAINAGE PLAN		Sheet 2
JOB NO. 505801 / 505701	DESIGNED: C.M.E.	DRAWN: D.L.S./L.S.N.	CHECKED: D.L.S.	DATE: 10-17-85
				of 2

