



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

February 5, 1986

Marvin R. Kortum, P.E.
1605 Speakman Drive, NE
Albuquerque, New Mexico 87123

RE: DRAINAGE & GRADING PLAN FOR TIMOTED CHAVEZ ADDITION
BLOCK O, LOTS A & B RECEIVED JANUARY 15, 1986 FOR FINAL
PLAN & BUILDING PERMIT APPROVAL (H-17/D40)

Dear Marvin:

The above referenced submittal is approved for Final Plat. Final Plat can be signed-off by City Engineer provided the Subdivision Improvements Agreement for proposed infrastructures has been executed through the City Engineer's office.

Prior to Building Permit approval, the following items must be addressed:

1. Provide existing and proposed contours per the DPM.
2. Provide a typical cross section detail of the proposed berm and swale between Lot A and B.
3. Provide a typical cross section detail of swale and wall along east side of Lot B.
4. Report text calculates capacity of the concrete drainage channel using a slope of 0.005 ft/ft but the drawings show a proposed slope of only 0.2 ft in 60 ft.

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

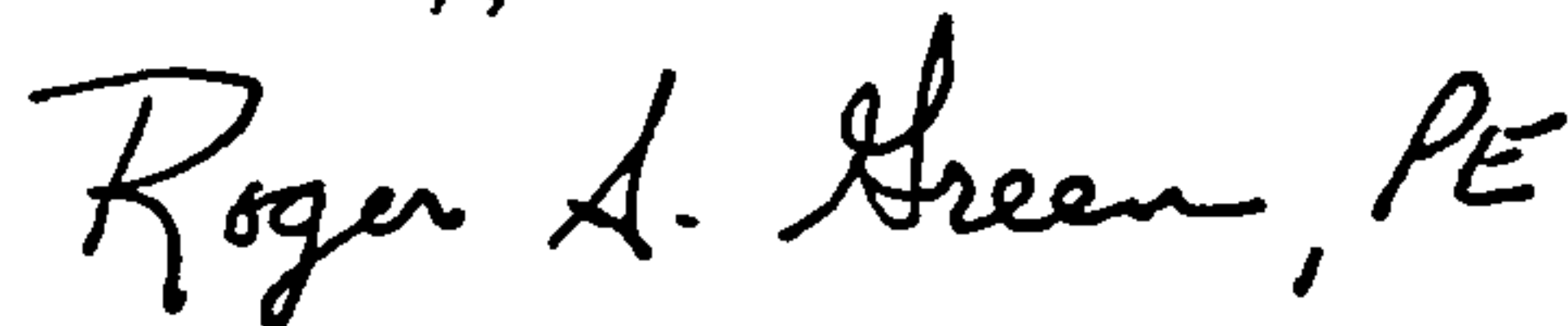
Marvin R. Kortum, P.E.
February 5, 1986
Page two of two

5. Sidewalk culverts must be designed to pass the Q_{100} peak runoff rate. Provide calculations and required sizes for sidewalk culverts from Cutler Avenue into concrete drainage channel.

My comments concerning the street and drainage channel drawings have been forwarded to the DRC chairman, since you said changes were being made from previous City comments.

If you have any questions, call me at 766-7644.

Cordially,



Roger A. Green, P.E.
C.E./Design Hydrology

cc: Robert McLaughlin
3628 Florida, NE 87110

RAG/bsj

DRAINAGE INFORMATION SHEET

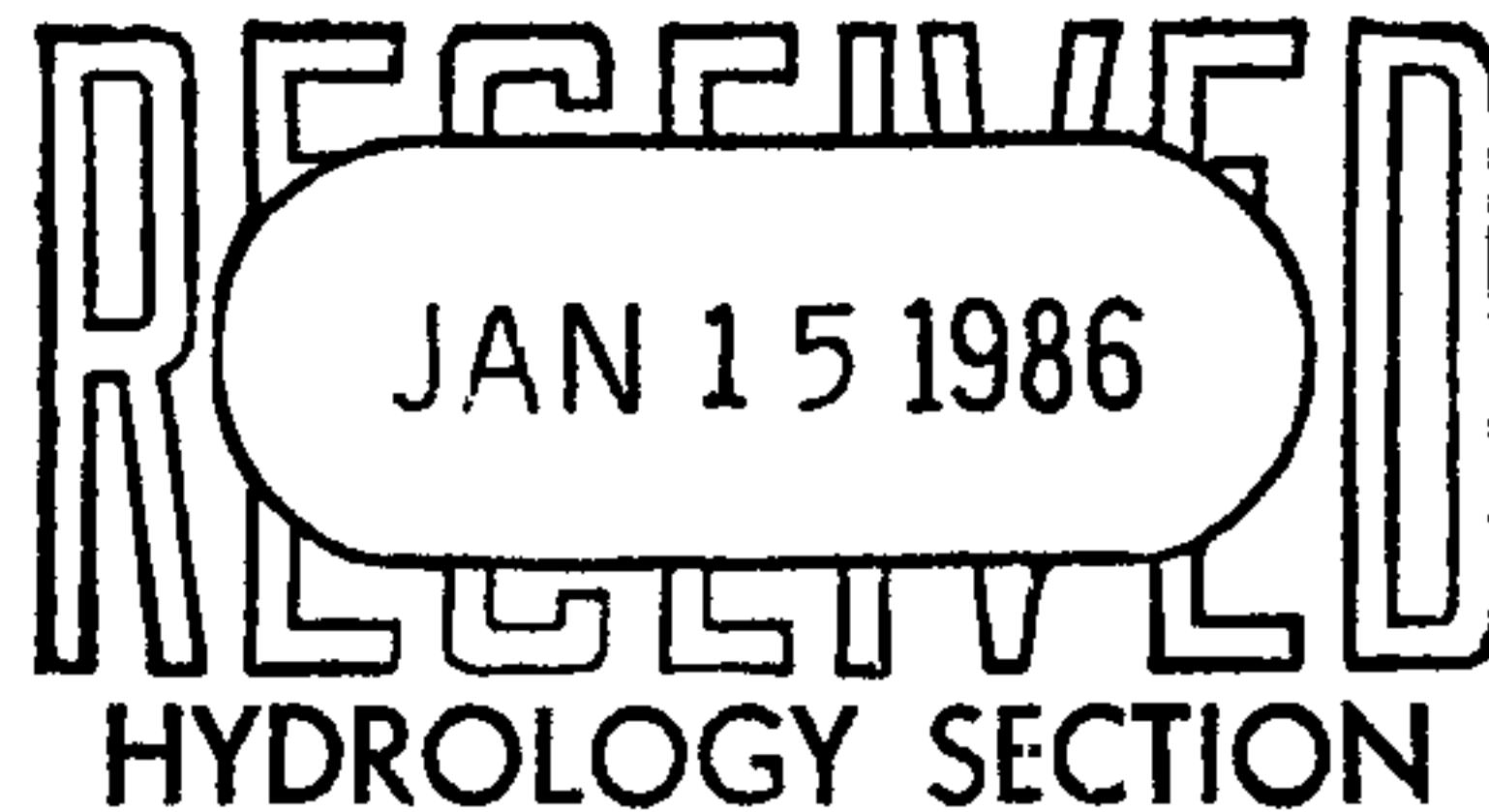
PROJECT TITLE: Lots A & B, Block O
TIMOTEO CHAVEZ ADDITION **ZONE ATLAS/DRNG. FILE #:** H-17 / D40
LEGAL DESCRIPTION: Lots A & B, Block O, TIMOTEO CHAVEZ ADD. a replat
CITY ADDRESS: Cutler Ave NE
ENGINEERING FIRM: Marvin R Kortum **CONTACT:** Marvin R Kortum
ADDRESS: 1605 Speakman Dr. NE **PHONE:** (505) 299-0774
Albuquerque NM 87123
OWNER: Robert McLaughlin **CONTACT:**
3628 Florida, NE
ADDRESS: Albuquerque, NM 87110 **PHONE:** (505) 888-5830
ARCHITECT: Custer and Associates **CONTACT:**
500 Marquette NW
ADDRESS: PO Box 25146 **PHONE:** (505) 765-1020
Albuquerque NM, 87125
SURVEYOR: Southwest Surveying Co. Inc **CONTACT:** Dan Graney
333 Lomas Blvd. NE
ADDRESS: Albuquerque NM 87102 **PHONE:** (505) 247-4444
CONTRACTOR: **CONTACT:**
ADDRESS: **PHONE:**

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE RECAP SHEET PROVIDED



DRB NO. 85-633-1

EPC NO.

PROJ. NO. 2683

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☒ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☒ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER (SPECIFY)

DATE SUBMITTED: Jan 15, 1986

BY: Marvin R Kortum

MRT

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

CONFERENCE RECAP

DRAINAGE FILE/ZONE ATLAS PAGE NO.: H-17 DATE: 10/14/85 @ 4:15
PLANNING DIVISION NOS: EPC: _____ DRB: _____
SUBJECT: _____
STREET ADDRESS (IF KNOWN): _____
SUBDIVISION NAME: Timberline

APPROVAL REQUESTED:

_____ PRELIMINARY PLAT	<u>X</u> FINAL PLAT
<u>X</u> SITE DEVELOPMENT PLAN	<u>X</u> BUILDING PERMIT
_____ OTHER	_____ ROUGH GRADING

	WHO	REPRESENTING
ATTENDANCE:	<u>Marvin Kortum</u>	<u>Self</u>
	<u>Billy Goolsby</u>	<u>City/Design Hydrology</u>

FINDINGS:

- ① City approved street grades required for Cutler Ave. for building permit sign-off.
- ② One paved access required, per the Drainage Ordinance.
- ③ Discharge to the Embudo rundown is acceptable. Any necessary work required to be performed within the easement/R/W with required the appropriate documentation and permits.
- ④ An erosion control plan is required for building permit sign-off. This is required to ensure that sediment are contained on-site during construction.
- ⑤ Minimum requirement for SDD sign-off is an approved conceptual drainage plan.

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: <u>Billy G. Goolsby</u>	SIGNED: <u>[Signature]</u>
TITLE: <u>CE/Design Hydrology</u>	TITLE: <u>CONSULTANT</u>
DATE: <u>10/14/85</u>	DATE: <u>10/14/85</u>

NOTE PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

CITY OF ALBUQUERQUE



January 30, 2013

Christopher Gunning, R.A.
Dekker/Perich/Sabatini Ltd.
760 Jefferson NE, Suite 100
Albuquerque, NM 87109

Re: Keshet Center for the Arts, 4121 Cutler NE, Traffic Circulation Layout
Architect's Stamp dated 01-15-13 (H17-D040)

Dear Mr. Gunning,

The TCL submittal received 01-16-13 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Cynthia K. Beck
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

January 30, 2013

Traffic Engineer
City of Albuquerque
Transportation Development Coordination
600 2nd Street NW
Albuquerque, New Mexico 87102

RE: Keshet Center for the Arts
4121 Cutler NE
Total Acreage – 1.5433
Zone – C-3
Submittal - TCL for Building Permit

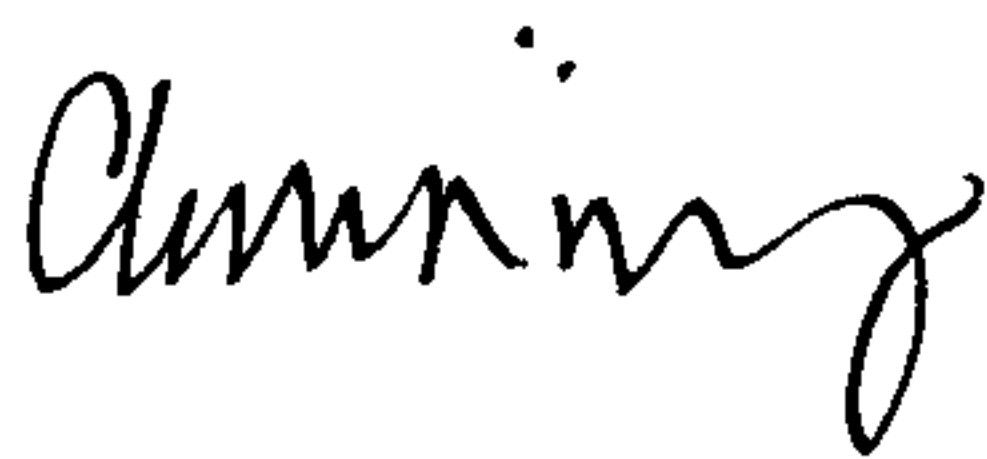
To Whom It May Concern:

I, Christopher R. Gunning, NMRA no. 3203 of the firm Dekker/Perich/Sabatini, respectfully request Gail Granot to make the following revisions to sheets AS-101 and AS-501 for approval of the Traffic Circulation Plan dated November 30, 2012 Revision 1 dated January 10, 2013 for Building Permit. The corrections include adding keynote 40 to the site plan AS-101 and correcting site detail call outs to E3 and E4 on AS-501 and AS-101.

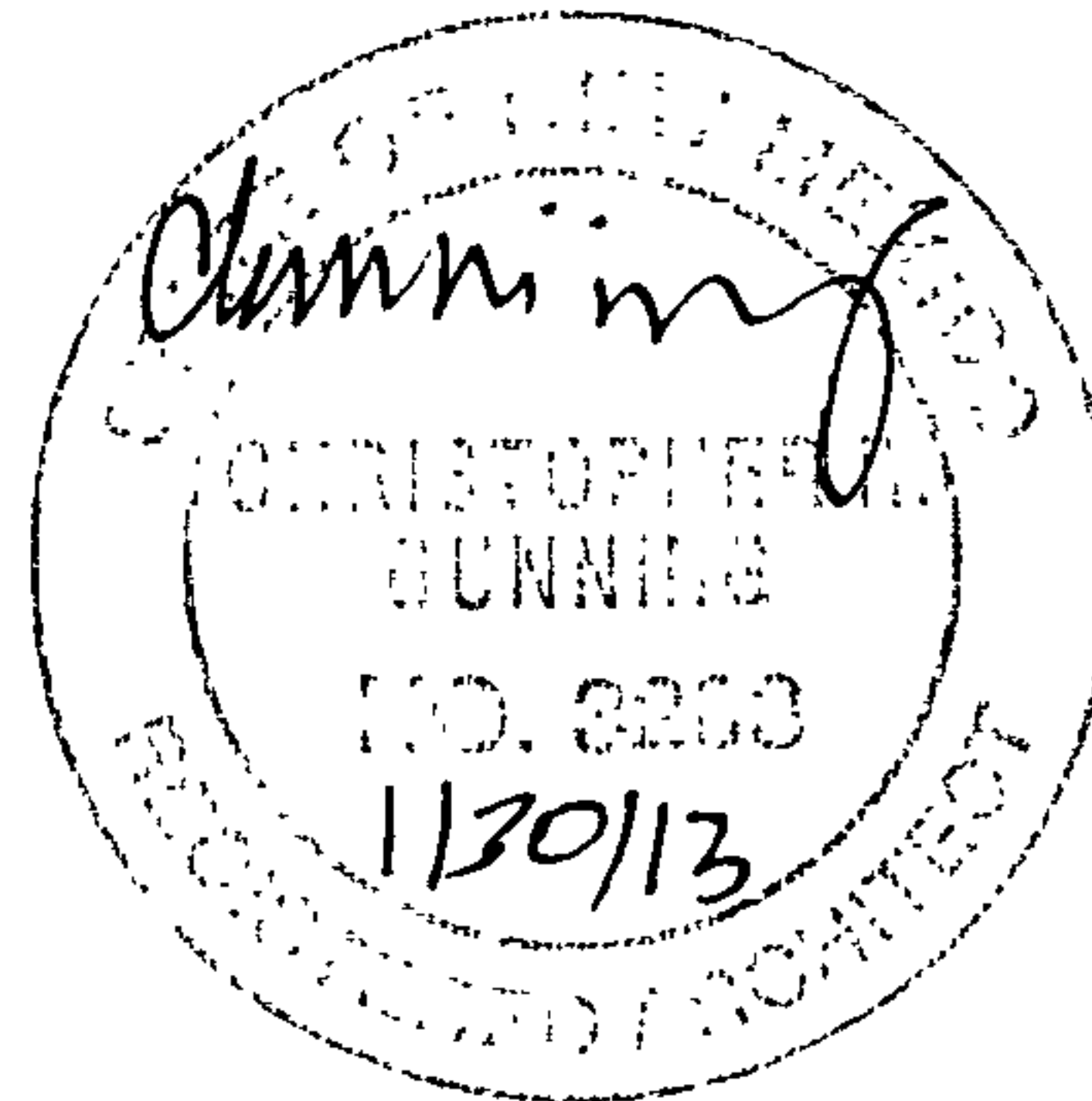
If you have any questions, please feel free to contact me at 761-9700, thank you.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Christopher R. Gunning AIA, LEED AP
Principal



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: KESKET CENTER FOR THE ARTS ZONE MAP: H-17-Z 0040
 DRB#: NA EPC#: NA WORK ORDER#: _____

LEGAL DESCRIPTION: PORTION OF TRACT "A" TIMETEO CHAVEZ ADDITION
PORTION OF VACATED MORNINGSIDES COURT NE
 CITY ADDRESS: 4121 CUTLER NE, ABQ. NM 87110

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: AMMUSUNG INVESTMENTS, LLC CONTACT: IVAN BRUTSKE
 ADDRESS: P.O. BOX 2046 PHONE: 204.1374
 CITY, STATE: SANTA FE, NM ZIP CODE: 87504

ARCHITECT: DEKKER / PERICH / SABATINI CONTACT: GAIL GRANOS
 ADDRESS: 1601 JEFFERSON NR, SUITE 100 PHONE: 761.9700
 CITY, STATE: ABQ., NM ZIP CODE: 87109
 email: gailg@dpsdesign.org

SURVEYOR: ALPHA PROFESSIONAL SURVEYING, INC. CONTACT: GARY GRITSKO
 ADDRESS: P.O. BOX 46316 PHONE: 872.1076
 CITY, STATE: RIO RANCHO, NM ZIP CODE: 87174

CONTRACTOR: JAYNES CORP CONTACT: SAM HATHELL
 ADDRESS: 2906 BROADWAY NE PHONE: 345.8591
 CITY, STATE: ABQ., NM ZIP CODE: 87125

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

RECEIVED
JAN 16 2013

DATE SUBMITTED: 1/11/2013 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

January 28, 2013

Christopher Gunning, R.A.
Dekker/Perich/Sabatini Ltd.
760 Jefferson NE, Suite 100
Albuquerque, NM 87109

Client Could
hand correct
deficiencies.
Need Two Copies.

**Re: Keshet Center for the Arts, 4121 Cutler NE, Traffic Circulation Layout
Architect's Stamp dated 1-15-13 (H17-D040)**

Dear Mr. Gunning,

Based upon the information provided in your submittal received 01-16-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The "Sheet Keyed Notes 40 Wheelchair ramps and curb cuts will remain on Cutler" referenced in the submittal letter was not included on the resubmitted TCL site plan.
2. Please correct mislabeled site details E3 and E4 on the detail sheet and site plan.
3. Please include two copies of the traffic circulation layout at the next submittal.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

* Called Client w/ These Comments.
Emily Tallent - called
left message to hand correct
for approval.
1/29/13
CKR

* Gail Granat called back
1/30/2013. She will
come in today to hand correct
w/ letter of authority from
Signed R.A. Gunning.
CKR
1/30/13

January 11, 2013

Traffic Engineer
City of Albuquerque
Transportation Development Coordination
600 2nd Street NW
Albuquerque, New Mexico 87102

RE: Keshet Center for the Arts
4121 Cutler NE
Total Acreage – 1.5433
Zone – C-3
Submittal - TCL for Building Permit

To Whom It May Concern:

I, Christopher R. Gunning, NMRA no. 3203 of the firm Dekker/Perich/Sabatini, respectfully request approval of the attached Traffic Circulation Plan dated November 30, 2012 Revision 1 dated January 10, 2013 for Building Permit. This submittal addresses your comments from your letter dated December 14, 2012. The comments are as follows:

- 1) Please provide a North arrow on the TCL.
A North arrow has been added to the drawing title.
- 2) Details for the ADA parking stalls, including the ramps and accessible pathway, must be provided. Details E3 and E4 as referenced on the site plan must be included with the submittal.
The Site Details sheet AS-501 has been attached and includes details referenced on the Site Plan.
- 3) Provide a legend, defining all hatching.
A Legend has been added to the site plan sheet.
- 4) Define the width of all the existing sidewalk sections abutting the building.
Dimensions have been added to all sidewalks abutting the building.
- 5) The 6-foot wide pedestrian connection from the public sidewalk to the building must be ADA accessible. Please provide additional detail demonstrating how accessibility is achieved. Show all ramps.
All sidewalks are flush with the parking lot pavement and has been noted on General Sheet Notes, E. No curb exists at the sidewalks therefore no ramps are required.
- 6) Per the DPM, all landscaped areas must be delineated with curbing. The TCL references portions of the existing curb to be demolished leaving the landscaping open to the proposed pedestrian pathway connection. Please revise and provide details for new curbing.
A curb has been added at the eastern edge of the new sidewalk to contain landscaping within the parking island. Curb details are referenced on Site Details sheet AS-501.
- 7) Please provide existing details for the frontage infrastructures on Cutler (width of sidewalk, wheelchair ramps located at curb cuts.)
Wheelchair ramps and curb cuts will remain on Cutler have been noted on the site plan, Sheet Key Notes 40.

JAN 13 2013

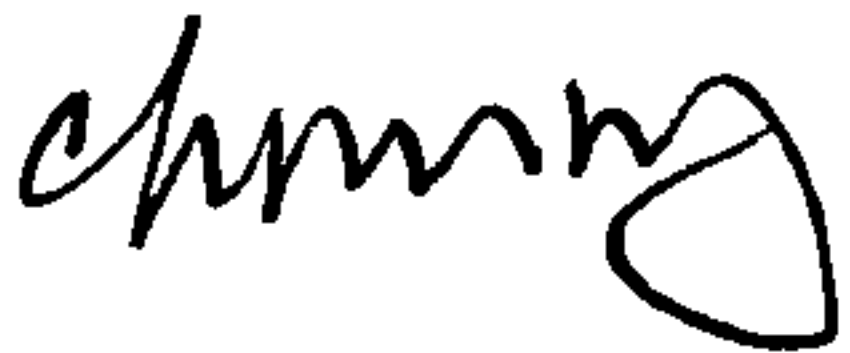
- 8) List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
All radii have been shown for existing islands and end islands and noted with an (E) for existing. Not all existing radii comply with the 15 feet radius requirement.
- 9) Label the compact parking spaces by placing the words "compact" on the pavement of each space.
The word "compact" has been added to compact spaces.
- 10) The chain link fence bordering the western edge of the property appears to be located outside of the property line. Please confirm. If fence is within the COA ROW then a revocable permit will be required.
The fence location shown is based off a recent survey. Per Zone Atlas Map H-17-Z and COA GIS, ownership of the land west of the site is shown as, " Parcel B-1 A.M.A.F.C.A. North Diversion Channel Embudo Channel Drainage Right of Way" and does not appear to belong to the City of Albuquerque.

The information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

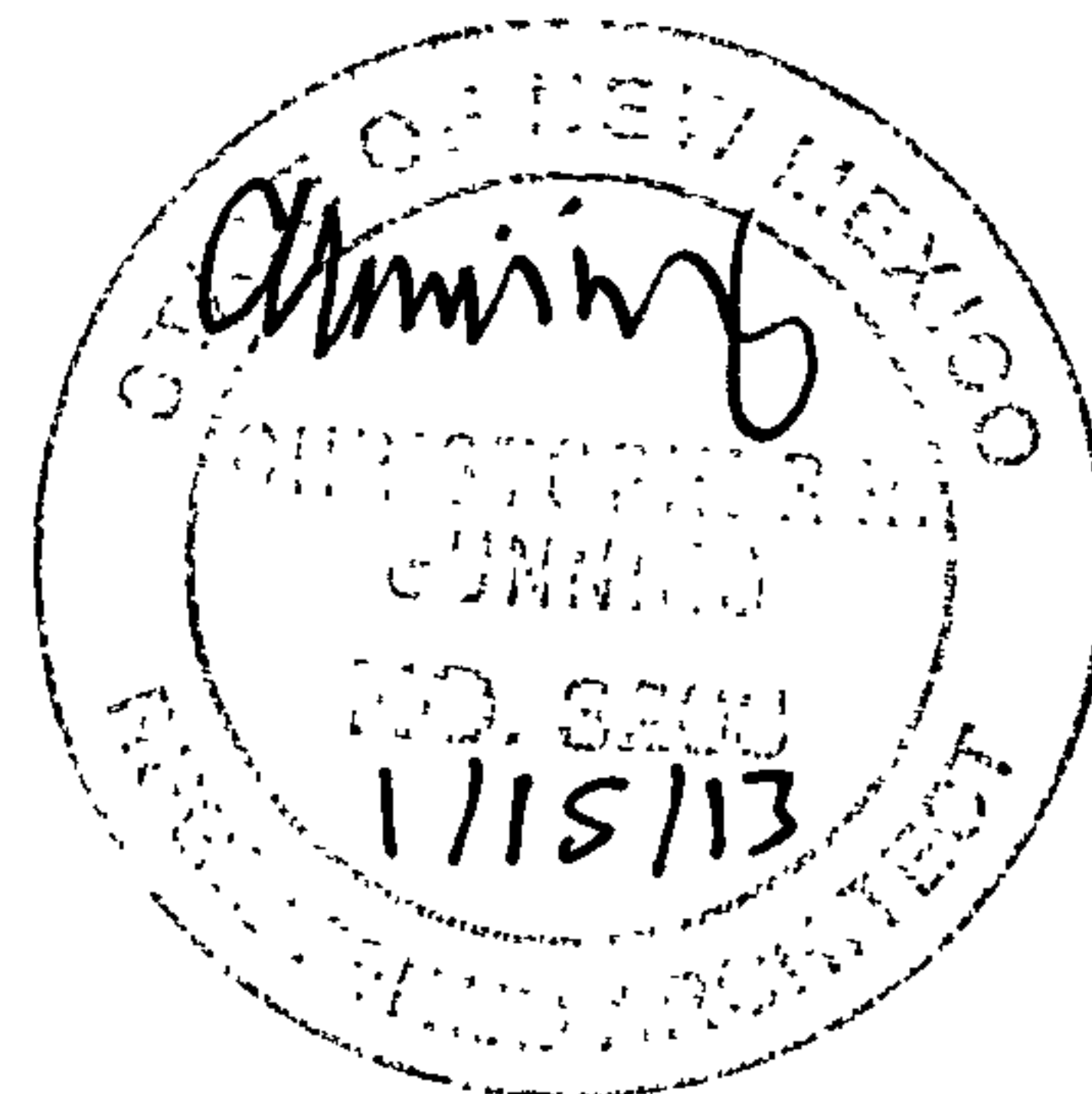
If you have any questions, please feel free to contact myself or Gail Granot at 761-9700, thank you.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Christopher R. Gunning AIA, LEED AP
Principal



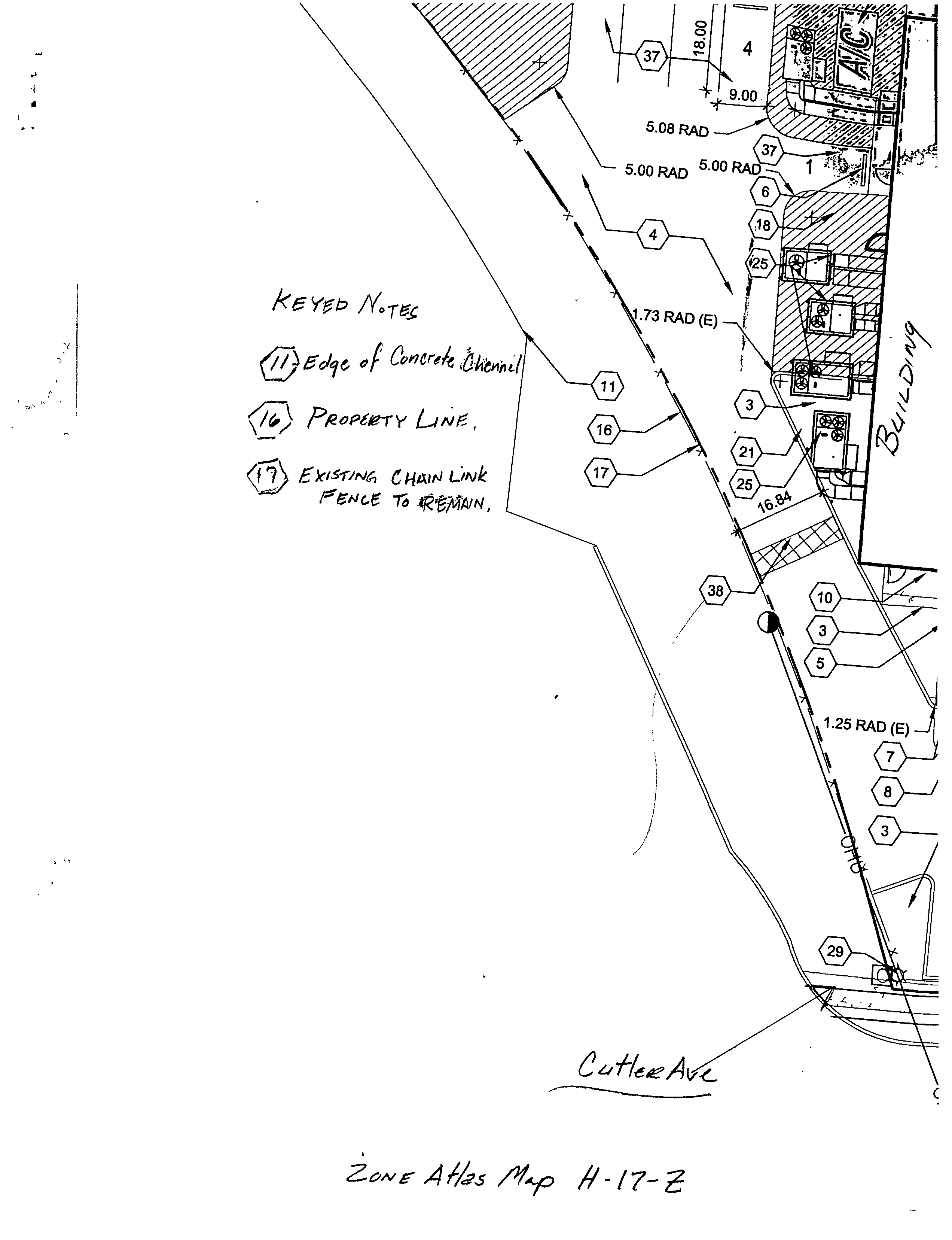
RECEIVED
JAN 16 2013

7601 Jefferson NE
Suite 100
Albuquerque NM
87109
505.761.9700
fax 761.4222
www.dpsdesign.org

- KEYED NOTES
- 11 Edge of Concrete Channel
 - 16 PROPERTY LINE.
 - 17 EXISTING CHAIN LINK FENCE TO REMAIN.

Cutler Ave

ZONE Atlas Map H-17-Z



Beck, Cynthia K.

From: Mazur, Lynn [lmazur@amafca.org]
Sent: Monday, January 28, 2013 10:39 AM
To: Beck, Cynthia K.
Subject: RE: Fence Encroachment @ 4121 Cutler NE

Cynthia,

The AMAFCA Real Estate Manager, Jeff Willis, checked the fence encroachment. It is a minor encroachment, and we will not require an encroachment permit. I approve the City's release of building permit and approval of the TCP.

**Albuquerque Metropolitan Arroyo
Flood Control Authority**

Lynn M. Mazur, P.E., C.F.M.
Development Review Engineer
Office: (505) 884-2215
Mobile: (505) 362-1273
Web: www.amafca.org

From: Beck, Cynthia K. [mailto:cbeck@cabq.gov]
Sent: Monday, January 28, 2013 9:38 AM
To: Mazur, Lynn
Subject: Fence Encroachment @ 4121 Cutler NE

Hi Lynn,

First I need to confirm that you received the information I scanned / e-mailed to you on 1/24/13 regarding a fence that falls within AMAFCA, North Diversion Channel Embudo Channel Drainage ROW. I am prepared to issue an approval on applicant's Traffic Circulation Plan but I am holding off incase your department wants the process detained. Please let me know if you need COA's Planning Department's co-operation.

Thanks,

Cynthia Beck
Associate Engineer
Transportation Development
924-3924

1/28/2013



CITY OF ALBUQUERQUE

Cynthia Beck
Associate Engineer
Transportation Development

t 505-924-3924
f 505-924-3864
v/tty 800-659-8331
CBeck@cabq.gov

Planning Department
Development & Building Services Division
600 2nd St. NW, Suite 201
Albuquerque, NM 87102
www.cabq.gov

EMAILED

Lynn Mazur

© AMAFCA

LMAZUR@AMAFCA.ORG

Jan 24, 2013

Hi Lynn

FYI

Check out Comment #10.

Enclosed: Cover plus 4 pages.

- ① - Application TCL / BP
- ②③ - Response Letter from Architect
- ④ - Copy Site Plan w/ Fence in question

Thanks Cynthia

* Sent Email to Lynn 1/28/13 9:45 AM
Any Response from AMAFCA??

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: KESHET CENTER FOR THE ARTS ZONE MAP: H-17-Z 0040
DRB#: NA EPC#: NA WORK ORDER#: _____

LEGAL DESCRIPTION: PORTION OF TRACT # 0 "TIMETED CHAVEZ ADDITION"
CITY ADDRESS: PORTION OF VACATED MORNINGSIDING COURT NE
4121 CUTNER NE, ABQ. NM 87110

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: AMUSUNG INVESTMENTS, LLC CONTACT: IVAN BRUTSKE
ADDRESS: P.O. BOX 2046 PHONE: 204.1374
CITY, STATE: SANTA FE, NM ZIP CODE: 87504

ARCHITECT: DEKKER / PERICH / SABATINI CONTACT: GAIL GRANOS
ADDRESS: 7601 JEFFERSON NE, SUITE 100 PHONE: 761.9700
CITY, STATE: ABQ., NM ZIP CODE: 87109
email: gailg@dpsdesign.org

SURVEYOR: ALPHA PROFESSIONAL SURVEYING, INC. CONTACT: GARY GRITSKO
ADDRESS: P.O. BOX 46316 PHONE: 872.1076
CITY, STATE: RIO RANCHO, NM ZIP CODE: 87174

CONTRACTOR: JAYNES CORP CONTACT: SAM HATCHEL
ADDRESS: 2906 BROADWAY NE PHONE: 345.8591
CITY, STATE: ABQ., NM ZIP CODE: 87125

TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
<input type="checkbox"/> DRAINAGE REPORT	<input type="checkbox"/> SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/> DRAINAGE PLAN 1 st SUBMITTAL	<input type="checkbox"/> PRELIMINARY PLAT APPROVAL
<input type="checkbox"/> DRAINAGE PLAN RESUBMITTAL	<input type="checkbox"/> S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/> CONCEPTUAL G & D PLAN	<input type="checkbox"/> S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/> GRADING PLAN	<input type="checkbox"/> SECTOR PLAN APPROVAL
<input type="checkbox"/> EROSION CONTROL PLAN	<input type="checkbox"/> FINAL PLAT APPROVAL
<input type="checkbox"/> ENGINEER'S CERT (HYDROLOGY)	<input type="checkbox"/> FOUNDATION PERMIT APPROVAL
<input type="checkbox"/> CLOMR/LOMR	<input checked="" type="checkbox"/> BUILDING PERMIT APPROVAL
<input checked="" type="checkbox"/> TRAFFIC CIRCULATION LAYOUT	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (PERM)
<input type="checkbox"/> ENGINEER'S CERT (TCL)	<input type="checkbox"/> CERTIFICATE OF OCCUPANCY (TEMP)
<input type="checkbox"/> ENGINEER'S CERT (DRB SITE PLAN)	<input type="checkbox"/> GRADING PERMIT APPROVAL
<input type="checkbox"/> OTHER (SPECIFY)	<input type="checkbox"/> PAVING PERMIT APPROVAL
	<input type="checkbox"/> WORK ORDER APPROVAL
	<input type="checkbox"/> OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED

RECEIVED
JAN 16 2013

DATE SUBMITTED: 1/11/2013 BY: [Signature]

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January 11, 2013

Traffic Engineer
City of Albuquerque
Transportation Development Coordination
600 2nd Street NW
Albuquerque, New Mexico 87102

RE: Keshet Center for the Arts
4121 Cutler NE
Total Acreage – 1.5433
Zone – C-3
Submittal - TCL for Building Permit

To Whom It May Concern:

I, Christopher R. Gunning, NMRA no. 3203 of the firm Dekker/Perich/Sabatini, respectfully request approval of the attached Traffic Circulation Plan dated November 30, 2012 Revision 1 dated January 10, 2013 for Building Permit. This submittal addresses your comments from your letter dated December 14, 2012. The comments are as follows:

- 1) Please provide a North arrow on the TCL.
A North arrow has been added to the drawing title.
- 2) Details for the ADA parking stalls, including the ramps and accessible pathway, must be provided. Details E3 and E4 as referenced on the site plan must be included with the submittal.
The Site Details sheet AS-501 has been attached and includes details referenced on the Site Plan.
- 3) Provide a legend, defining all hatching.
A Legend has been added to the site plan sheet.
- 4) Define the width of all the existing sidewalk sections abutting the building.
Dimensions have been added to all sidewalks abutting the building.
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Wheelchair ramps and curb cuts will remain on Cutler have been noted on the site plan, Sheet Key Notes 40.

Not
include

JAN 16 2013

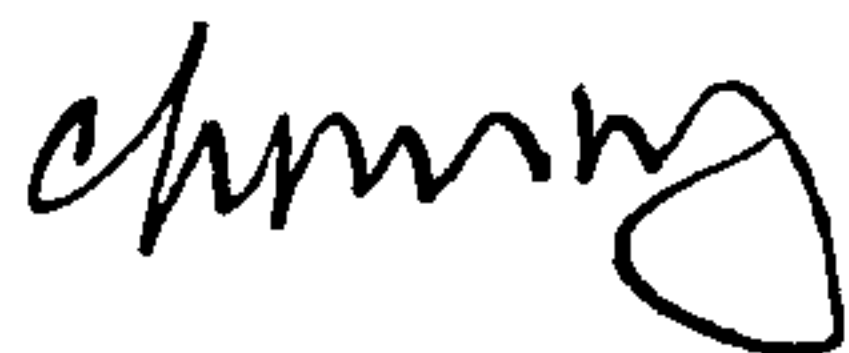
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- 9) Label the compact parking spaces by placing the words "compact" on the pavement of each space.
The word "compact" has been added to compact spaces.
- 10) The chain link fence bordering the western edge of the property appears to be located outside of the property line. Please confirm. If fence is within the COA ROW then a revocable permit will be required.
The fence location shown is based off a recent survey. Per Zone Atlas Map H-17-Z and COA GIS, ownership of the land west of the site is shown as, " Parcel B-1 A.M.A.F.C.A. North Diversion Channel Embudo Channel Drainage Right of Way" and does not appear to belong to the City of Albuquerque.

The information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

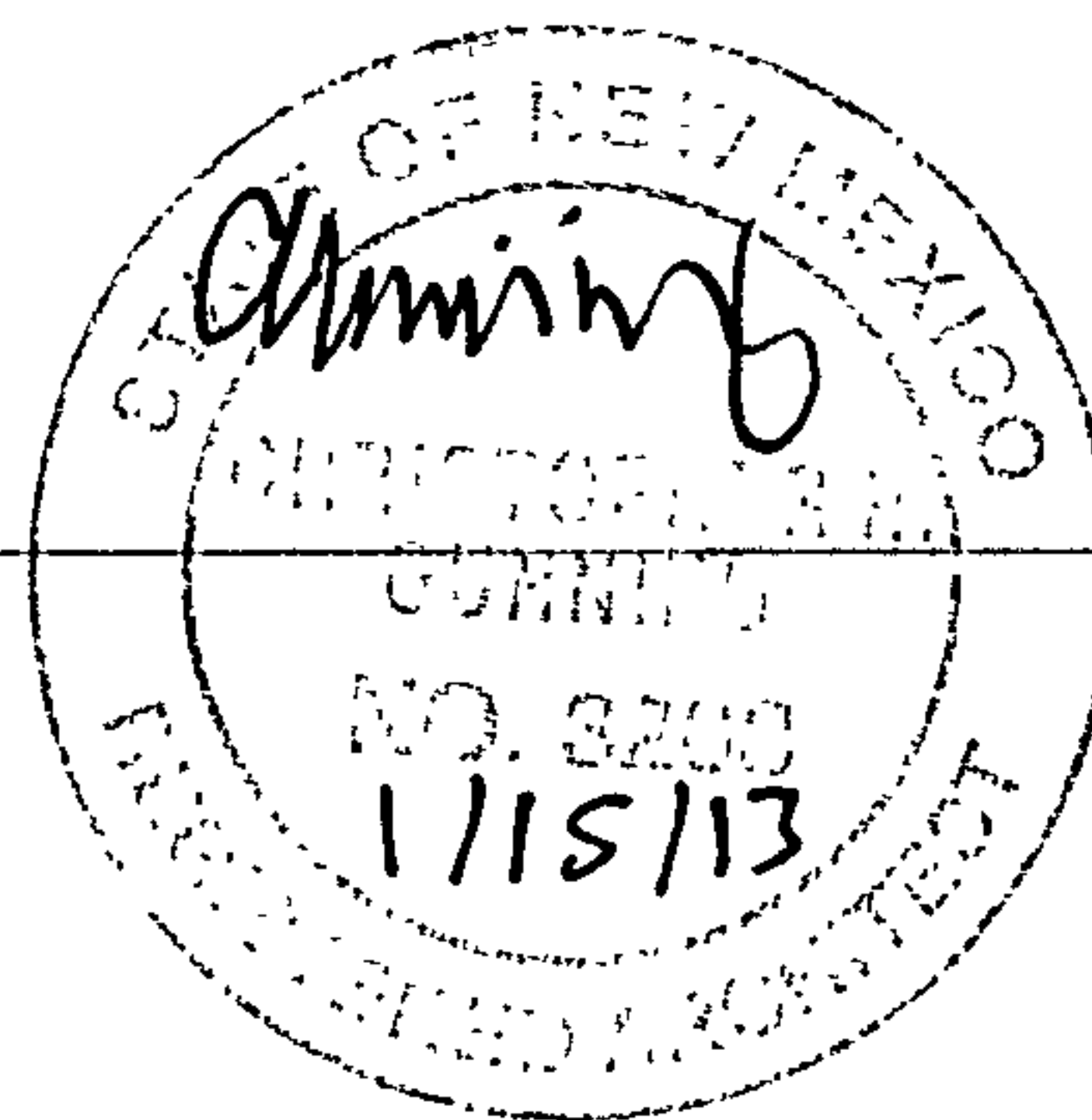
If you have any questions, please feel free to contact myself or Gail Granot at 761-9700, thank you.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Christopher R. Gunning AIA, LEED AP
Principal



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JAN 16 2013

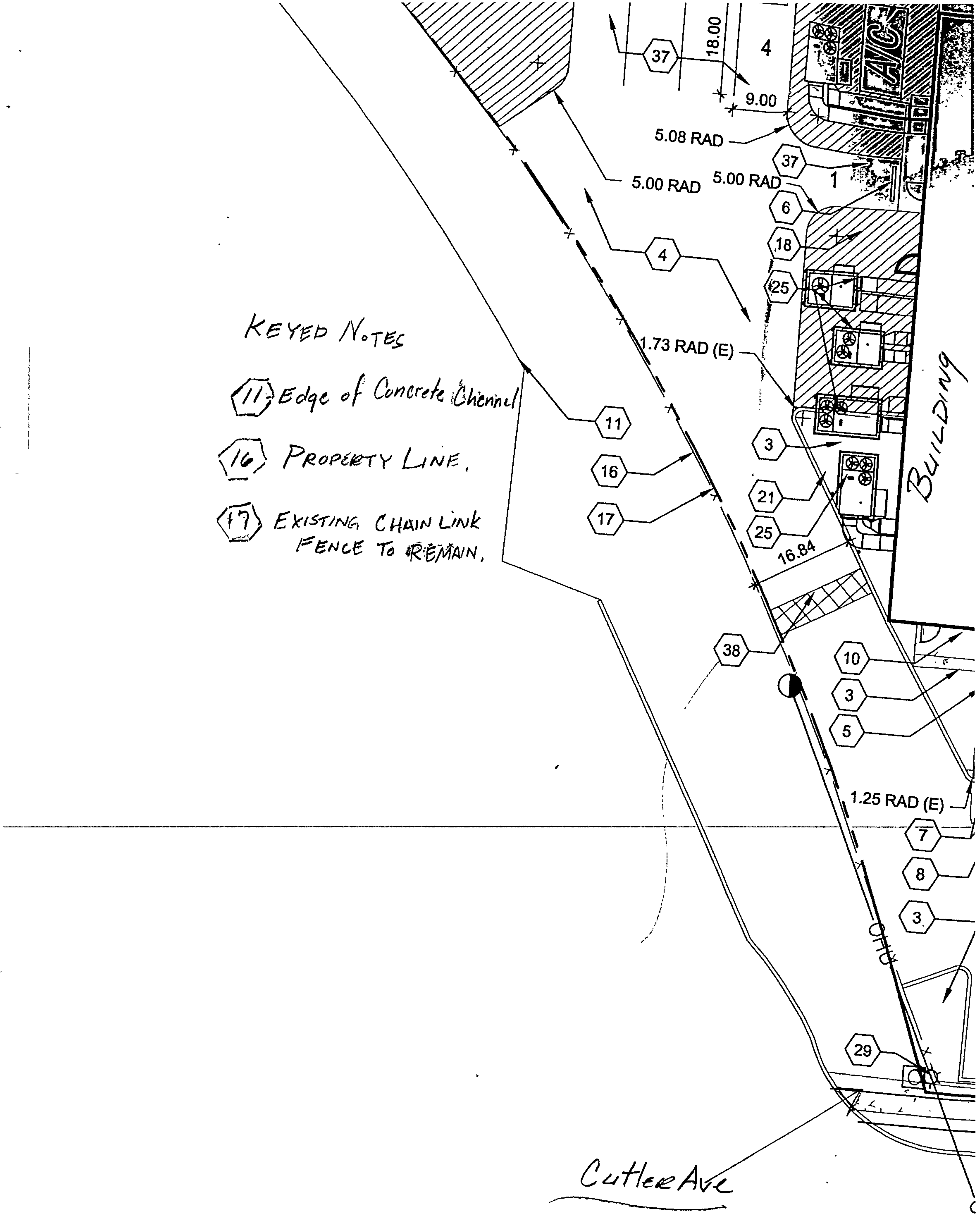
7601 Jefferson NE
Suite 100
Albuquerque NM
87109
505.761.9700
fax 761.4222
www.dpsdesign.org

KEYED NOTES

11 Edge of Concrete Channel

16 PROPERTY LINE.

17 EXISTING CHAIN LINK FENCE TO REMAIN.



ZONE Atlas Map H-17-Z

[illegible]

CITY OF ALBUQUERQUE



December 14, 2012

Christopher R. Gunning, R.A.
Dekker/Perich/Sabatini Ltd.
7601 Jefferson NE, Suite 100
Albuquerque, NM 87109

**Re: Keshet Center for the Arts, 4121 Cutler NE, Traffic Circulation Layout
Architect's Stamp dated 12-03-12 (H17-D040)**

Dear Mr. Gunning,

Based upon the information provided in your submittal received 12-04-12, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please provide a North arrow on the TCL.
2. Details for the ADA parking stalls, including the ramps and accessible pathway, must be provided. Details E3 and E4 as referenced on the site plan must be included with the submittal.
3. Provide a legend, defining all hatching.
4. Define the width of all the existing sidewalk sections abutting the building.
5. The 6-foot wide pedestrian connection from the public sidewalk to the building must be ADA accessible. Please provide additional detail demonstrating how accessibility is achieved. Show all ramps.
6. Per the *DPM*, all landscaped areas must be delineated with curbing. The TCL references portions of existing curb to be demolished leaving the landscaping open to the proposed pedestrian pathway connection. Please revise and provide details for new curbing.
7. Please provide existing details of the frontage infrastructures on Cutler (width of sidewalk, wheelchair ramps located at curb cuts.)
8. List radii for all curves shown; for passenger vehicles, the minimum end island radius is 15 feet.
9. Label the compact parking spaces by placing the words "compact" on the pavement of each space.
10. The chain link fence bordering the western edge of the property appears to be located outside of the property line. Please confirm. If fence is within the COA ROW then a revocable permit will be required.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services
C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2012)

PROJECT TITLE: KESKET CENTER FOR THE ARTS ZONE MAP: H-17-#0040
 DRB#: NA EPC#: NA WORK ORDER#: _____

LEGAL DESCRIPTION: Portion of Tract "O" Timoteo Chavez Addition, a portion of vacated morningside
 CITY ADDRESS: 4121 Cutler NE, ABQ, NM 87110 court NE.

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____
 EMAIL: _____

OWNER: Amusing Investments LLC, T CONTACT: Ivan Brutsche
 ADDRESS: PO BOX 2046 PHONE: 204-1374
 CITY, STATE: Santa Fe, NM ZIP CODE: 87504

ARCHITECT: DEKKER/PERICO/SABATINI CONTACT: GAIL GRANOT
 ADDRESS: 7601 JEFFERSON NE PHONE: 761-9700
 CITY, STATE: ABQ, NM ZIP CODE: 87113
 EMAIL: gailg@dpsdesign.org

SURVEYOR: Alpha Professional Surveying Inc. CONTACT: Gery Gritsko
 ADDRESS: PO BOX 46316 PHONE: 892-1076
 CITY, STATE: Rio Rancho, NM ZIP CODE: 87114

CONTRACTOR: Jaynes Corp. CONTACT: Sam Hatchell
 ADDRESS: 2906 BROADWAY NE PHONE: 345-8591
 CITY, STATE: ABQ, NM ZIP CODE: 87125

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ OTHER (SPECIFY) SO-19 _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

RECEIVED
DEC - 4 2012

DATE SUBMITTED: 12.4.2012 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following.

- 1 **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report.** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more



4121 CUTLER NE.

KESHET CENTER

H17-D040

December 3, 2012

Traffic Engineer
City of Albuquerque
Transportation Development Coordination
600 2nd Street NW
Albuquerque, New Mexico 87102

RE: Keshet Center for the Arts
4121 Cutler NE
Total Acreage – 1.5433
Zone – C-3
Submittal - TCL for Building Permit

To Whom It May Concern:

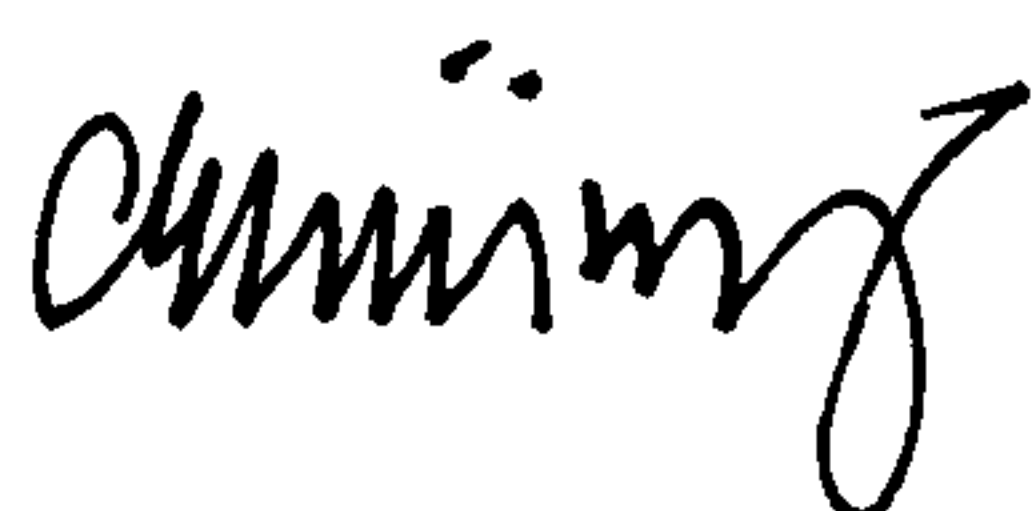
I Christopher R. Gunning, NMRA no. 3203 of the firm Dekker/Perich/Sabatini, respectfully request approval of the attached Traffic Circulation Plan dated November 30, 2012 for Building Permit. Attached is a copy of the site plan that will be inserted into the Building Permit sets for review by the City of Albuquerque. Also attached is a copy of the site plan that was marked up during the pre-design meeting that took place on November 15, 2012 for your reference.

The information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

If you have any questions, please feel free to contact myself or Gail Granot at 761-9700, thank you.

Very truly yours,

Dekker/Perich/Sabatini Ltd.



Christopher R. Gunning AIA, LEED
Principal



RECEIVED
DEC - 4 2012

x-tra



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION
123 Central NW, Albuquerque, NM 87102
(505) 766-7644

February 5, 1986

Marvin R. Kortum, P.E.
1605 Speakman Drive, NE
Albuquerque, New Mexico 87123

RE: DRAINAGE & GRADING PLAN FOR TIMOTEO CHAVEZ ADDITION
BLOCK O, LOTS A & B RECEIVED JANUARY 15, 1986 FOR FINAL
PLAN & BUILDING PERMIT APPROVAL (H-17/D40)

Dear Marvin:

The above referenced submittal is approved for Final Plat. Final Plat can be signed-off by City Engineer provided the Subdivision Improvements Agreement for proposed infrastructures has been executed through the City Engineer's office.

Prior to Building Permit approval, the following items must be addressed:

1. Provide existing and proposed contours per the DPM.
2. Provide a typical cross section detail of the proposed berm and swale between Lot A and B.
3. Provide a typical cross section detail of swale and wall along east side of Lot B.
4. Report text calculates capacity of the concrete drainage channel using a slope of 0.005 ft/ft but the drawings show a proposed slope of only 0.2 ft in 60 ft.

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

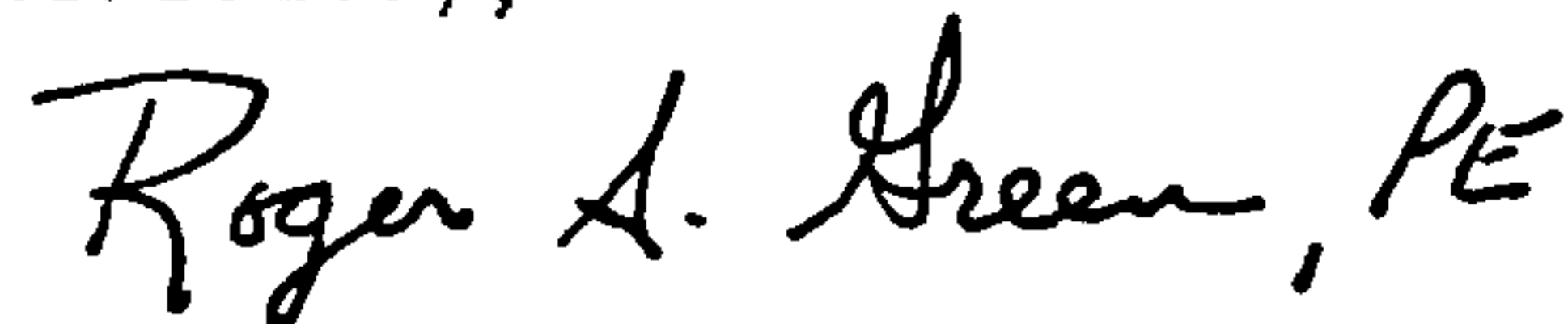
Marvin R. Kortum, P.E.
February 5, 1986
Page two of two

5. Sidewalk culverts must be designed to pass the Q_{100} peak runoff rate. Provide calculations and required sizes for sidewalk culverts from Cutler Avenue into concrete drainage channel.

My comments concerning the street and drainage channel drawings have been forwarded to the DRC chairman, since you said changes were being made from previous City comments.

If you have any questions, call me at 766-7644.

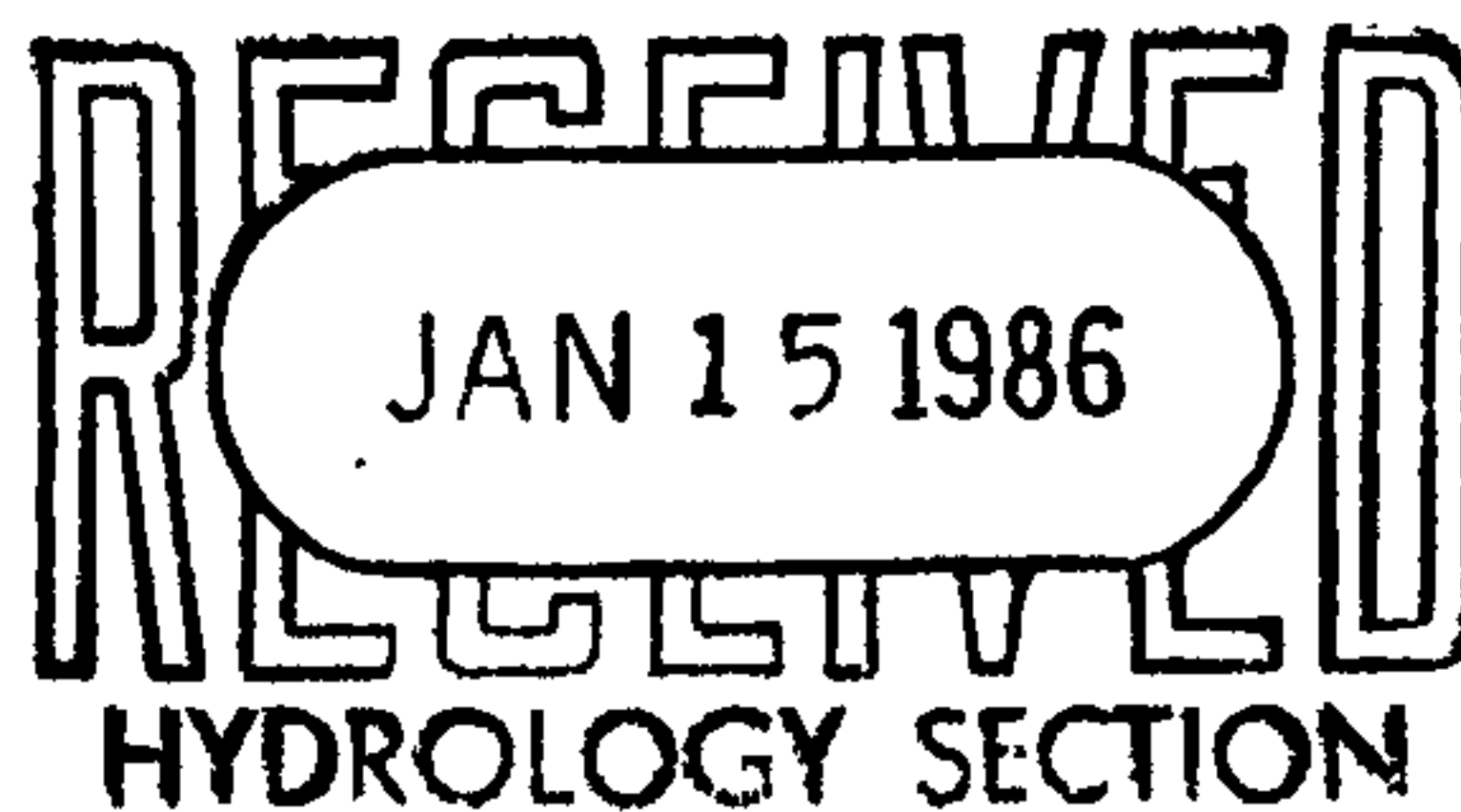
Cordially,



Roger A. Green, P.E.
C.E./Design Hydrology

cc: Robert McLaughlin
3628 Florida, NE 87110

RAG/bsj



PROJECT TITLE: Grading and Drainage Plan
Lots A and B, Block O
TIMOTEO CHAVEZ ADDITION

ZONE ATLAS: H-17

ADDRESS: Cutler Avenue NE

LEGAL DESCRIPTION: Attached

ENGINEERING FIRM: Marvin R. Kortum
1605 Speakman Drive SE
Albuquerque, New Mexico 87123
(505) 299-0774

OWNER:

ARCHITECT: Custer and Associates
500 Marquette NW, Suite 301/P.O. Box 25146
Albuquerque, New Mexico 87102/ 87125

SURVEYOR: Southwest Surveying Co., Inc.
333 Lomas Blvd. NE
Albuquerque, New Mexico 87102

CONTRACTOR:

DATE SUBMITTED: January 10, 1986

Marvin R. Kortum
SEALCD
N.M. PG. 6519
JAN 15 1986
MARVIN R. KORTUM

GRADING & DRAINAGE PLAN
Lots A & B, Block O
Timoteo Chavez Addition

I. On-Site Conditions

A. Site Characteristics:

Lots A and B, Block O consist of a generally trapezoidal tract, 423.80 feet along the north boundary, 320.43 feet along the south boundary, and 175.04 feet North to South. The tract is bounded on the North by the Embudo Diversion Channel, and on the West by a branch channel of this diversion channel. The south boundary is the Cutler Avenue NE right-of-way, and the east boundary is common with private property, Lots 17, 18, and 19 of Block F, TIMOTEO CHAVEZ ADDITION. It is proposed to divide Lots A and B into two separate tracts, Lot B, the eastern lot, to consist of a rectangular section 170.90 feet East to West, and 175.04 feet North to South, containing .6867 acres, and Lot A, the western lot to contain the remainder, .7796 acres. Lot A is currently fully developed, consisting of a 160-foot by 100-foot industrial building in the northeast portion of the lot, and the remainder of the lot being surfaced with asphalt surfacing and used for parking and material storage. There is a six-foot (6') wide by seventy-foot (70') long landscape planter with seven (7) deciduous trees along the proposed property line between A and B. Lot B is presently used for storage and hardstand, with one small 24-foot by 36-foot building in the southeast corner. The proposed subdivision of Lots A and B will include vacated portions of Morningside Court; previously the east property line of the tract.

B. Soils:

The soils, as identified on the Bernalillo County Soils Survey by the S.C.S., U.S.D.A., are Cut and Fill (CU). The site itself is located in what was a major natural flow channel of the Embudo Arroyo. The natural soils have been greatly altered by the construction of the major diversion channels immediately adjacent to the properties. Imported soils and land fill are evident in the immediate vicinity. The surface of Lot A is presently asphalt surfaced. The surface of Lot B is a sandy loam, with considerable coarse gravel. Due to unknown past soil disturbances, and that the original soils were unconsolidated alluvial fill, subsurface conditions for building foundations should be thoroughly investigated. Infiltration or subsurface flow of water should be avoided. Presently there is no evidence of major water or wind erosion. In part, this may be due to lack of concentration and significant storm runoff.

C. Undeveloped Runoff:

Lot A is presently developed, so runoff is discussed ^ebelow under the appropriate heading. Lot B runoff is computed below.

D. Direct Runoff Volume, Undeveloped Land:

The six-hour, 100-year frequency rainfall for Lot B is 2.3 inches, per 1973 N.O.A.A. Atlas 2, Volume IV (Plate 22.2, D-1). The present surface is typical of a gravel street, and considering a Hydrological Soil Group B, would provide a CN of 85. (Plate 22.2, C-2). From Plate 22.2 C-4, read direct runoff as 1.05 inches. Direct runoff would be $(175.04' \times 170.90' \times 1.05") 2600 \text{ ft}^3$. Presently, this runoff flows down the developed swale and across the paved area of Lot A.

E. Peak Runoff, Undeveloped Land:

Peak runoff can be estimated by use of the rational formula, $Q = CIA$, where C is a factor which incorporates surface characteristics of the drainage basin, I is the intensity of rainfall for a storm which is determined to give the maximum runoff for the drainage basin, the basin characteristics being expressed as a time of concentration, T_c . A is the area in acres.

From Kirpich, $T_c = .0078 \frac{L^{0.77}}{S^{0.385}}$. For Lot B, $L = 200'$ and $S = \frac{2}{200}$, for

which $T_c = 2.7$ minutes. Using the rainfall intensity factor of 2.15 for 10 minutes (Plate 22.2, D-2) and a $C = .6$, the peak runoff is

$$Q = (.6) (2.15) (2.3) (.7) = 2 \text{ ft.}^3 \text{ per sec. (CFS).}$$

This peak flow presently crosses the Lot A paved area at a depth of a few inches, and presents no threat to existing structures.

F. Developed Runoff

In the developed state, Lot B will be similar to Lot A, asphalt surfaced hardstand and a large commercial building. There will be minor landscaping, consisting of deciduous trees which will provide fairly large canopy cover, and low dispersed plantings. It is proposed that Lot B runoff be directed to the Cutler Avenue NE right-of-way. The Lot A runoff will continue essentially unchanged.

G. Direct Runoff Volumes for Developed Property:

For both Lots A and B, consider a CN = 88 typical of an industrial development on Type B soil. Direct runoff would be 1.6 inches for the 2.3 inches rainstorm (Plate 22.2 C-2, C-4, and D-1). For Lot A,

$$V = 4500 \text{ ft.}^3, \text{ and for Lot B, } V = 4000 \text{ ft.}^3.$$

H. Peak Runoff for Developed Property:

Peak runoff for both Lots A and B can be estimated as discussed above, with a C factor of .8 to account for the essentially impervious surfaces (Plate 22.2, C-1). Peak flows are

$$Q_B = (.8) (2.15) (2.3) (.7) = 2.8 \text{ CFS, and } Q_A = (.8) (2.15) (2.3) (.8) = 3.2 \text{ CFS.}$$

Disposition of runoff is discussed in detail below, in connection with disposition of off-site flows.

II. Off-Site Flows

A. Major Terrain Features:

Lots A and B, Block O, TIMOTEO CHAVEZ ADDITION, are in a natural flow path of the Embudo Arroyo, a major drainage feature draining a basin of several sections (square miles) of land from the west face of the Sandia Mountains. Presently, the flow of Embudo Arroyo is mostly controlled by upstream municipal development and major diversion channels. The major diversion channels are designed, constructed, and maintained under the direction of the Albuquerque Metropolitan Area Flood Control Agency (A.M.A.F.C.A.). The adequacy of these major flood control structures is neither questioned nor evaluated in this report. It would seem that possible damage to Lot A and B property could occur if there were a catastrophic failure of the major channels near or adjacent to Lots A and B. Severe undermining and break-up of the portland cement concrete lining or blockage and overflow of the channel under heavy flow situations would be examples of such catastrophic failure.

B. Local Terrain Features:

Lots A and B, Block O, TIMOTEO CHAVEZ ADDITION, are within an essentially undeveloped local drainage basin. This basin is definable by the Embudo Diversion Channel on the North, generally parallel to Cutler Avenue, and by the Interstate Highway 40 berm on the South. The east boundary is Washington Street, and the west boundary the I-40 exit ramp and Carlisle Blvd. The basin contains about 27 acres. Provision has been made for surface runoff from this basin, such runoff to enter the Embudo Diversion Channel by means of a spillway located immediately west of Lot A. Presently, the only evidence of runoff passing over this spillway is that from the paved surfaces and swale of Lot A. The present undeveloped area, with ungraded and uncompacted landfill, is not conducive to the development of runoff and erosion channels.

C. Minor and Nuisance Flows:

Very minor local flow onto Lots A and B will come from the adjacent A.M.A.F.C.A. property to the North of the lot lines. There is a 25-foot to 30-foot-wide strip of gravel surface which slopes south from the concrete lip of the lined diversion channel. Runoff from this strip flows onto and across Lots A and B, and presents little threat as long as the swales indicated on the grading plan are constructed and maintained to prevent undermining of structures or paving. Contributed volumes from this strip can be estimated as above, with volumes as follows:

	<u>Direct</u>	<u>Peak</u>
Lot A	660	.5 CFS
Lot B	450	.4 CFS

D. Developed State, Off-Site Flows:

The consequences of runoff from the 27-acre basin in the undeveloped state and its effects on Lots A and B, Block O, are minor. In the fully-developed state, the flows can affect the grading and drainage of Lots A and B, in particular the flow along Cutler Avenue in front of the lots. The general features of the 27-acre basin are such that Cutler Avenue is the natural channel for surface drainage for properties both north and south of the right-of-way. It is probable that 75% of the area east and uphill from Lots A and B will drain into Cutler Avenue with the flow passing A and B enroute to the existing spillway. The area south and west will probably drain into the spillway also, with some minor flows directly to the channel.

E. Direct Runoff, Developed State Offsite Flows:

Using the same estimating procedure as above, the total volume of runoff for the basin would be as shown below. Use a CN of 88 as descriptive of the developed state for the prpoerty which is presently zoned C-3. The direct runoff, in inches, would be 1.6 inches, for a total volume of $(27 \times 43,560 \times \frac{1.6}{12})$ 160,000 ft³. The estimated runoff would enter the Embudo Diversion²Channel.

F. Peak Runoff, Developed State, Off-Site Flows:

The time of concentration is estimated using an average slope of 1% (.01 ft/ft) and a flow path of 1,500 feet.

$$T_c = .0078 \frac{L^{.77}}{S^{.385}} = 13 \text{ minutes. From Plate 22.2 D-2, obtain a factor of}$$

1.85. For C, consider .65 for 80% impervious surface on type A soil,

$$Q = CIA = (.65) (1.85) (2.3) (27) = 75 \text{ CFS (Plate 22-2, C-1).}$$

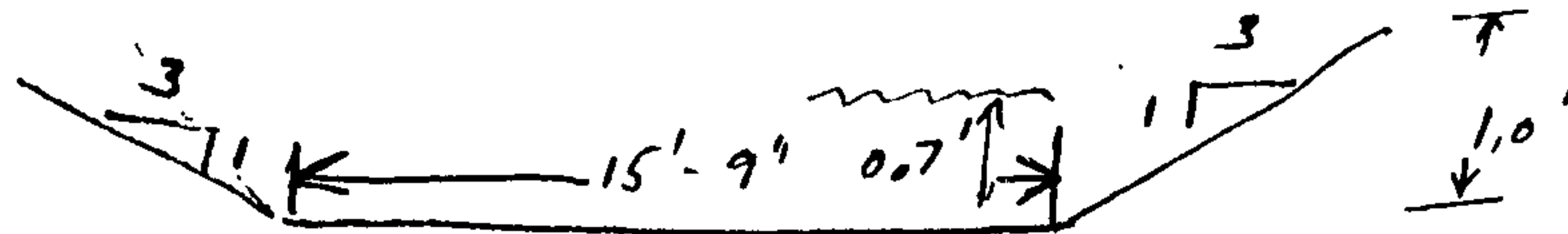
Consider that 75% of the flow will be in the Cutler Avenue street. At an average slope of 1%, the depth of flow in a 40-foot street would be about .67 ft. (28 CFS per half street, Plate 22.3 D-2). The actual street slope will vary, but it is probable that even at less steep slopes, the height of runoff will not top the standard sidewalk and drive pad elevation (one foot above gutter flow line). For example, at a slope of .33% (.0033 ft/ft) and 28 CFS, the depth is .85 feet. Damage to permanent structures on Lots A and B can be prevented by placing the floor elevations above the maximum street flow elevation, easily done since the predominate slope for both lots is uphill away from the Cutler Avenue right-of-way.

G. Cutler Avenue Street Design:

The street elevation of Cutler Avenue as it passes Lots A and B should be as low as possible to prevent possible diversion of runoff waters from the street onto Lots A and B. The lowest elevation for placing the street is partially dictated by the existing elevation of the spillway (5131.68). A street elevation lower than the spillway would require a sub-surface drain and a new entrance or spillway into the diversion channel, or other means of disposing of the runoff. The attached grading plan and street design indicate that the proposed surface runoff into the existing spillway is possible, and is achievable without requiring extensive fill of lands adjacent to the Cutler Avenue right-of-way.

H. Drain Channel, Cutler Avenue to Spillway:

Consider a wide and shallow channel, with a minimum slope in order to keep the street elevation low, but still above the spillway. Consider a cross-section as follows:



At a depth of flow of 0.7 feet, the channel capacity will be:

Mannings equation $V = \frac{1.486}{m} R^{2/3} S^{1/2}$

where $m = \text{roughness coefficient} = .013$ (flood finish)

$R = \text{hydraulic radius} = \frac{\text{area}}{\text{wetted perimeter}} = \frac{12.495}{20.177} = .62 \text{ ft}$

$S = \frac{.30}{60} = .005 \text{ ft/ft}$

$\therefore V = 5.87 \text{ feet per sec}$

and $Q = 73.4 \text{ CFS}$

The suggested channel will be adequate for the estimated flow of 75 CFS. The spillway itself is 11 feet wide by 2 feet high, with a clear drop of 9.45 to the channel bottom. At the proposed sidewalk culvert, there will be some back-up and overflow due to the support constrictions.

III. Conclusions:

A. Lots A and B, Block O, TIMOTEO CHAVEZ ADDITION, are not within current flood plains.

B. Runoff from Lots A and B can be discharged freely without danger to downstream structures.

C. Street elevations passing Lots A and B should be set essentially as shown and will provide for safe passage of estimated upstream runoff.

D. The finished floor elevation which exists for the Lot A building is satisfactory. The finished floor for the building on Lot B should be established at or above 5136 feet.