

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 13, 2022

Doug Heller, RA
Mullen Heller Architecture
1718 Central Ave. SW, Suite D
Albuquerque, NM 87104

Re: Pima Medical Institute/ New Classroom Building
4400 Cutler Ave. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 04-26-22 (H17-D054B)
Certification dated 10-12-22

Dear Mr. Heller,

Based upon the information provided in your submittal received 11-18-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Keynote 9: per site visit the running slope for the ADA ramp was 9.5%. Per ADA requirements the running slope should not exceed 8.3% (7% preferred slope).
- Keynote 11: Please provide Motorcycle parking spaces per approved plan.
- Keynote 39: Per approved TCL, please provide 6 ft. wide crosswalk.
- Prior to final Certification of Occupancy, please provide City sidewalk easement.

Once these corrections are complete, email pictures to malnajira@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

Ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Pima Medical Institute New Classroom Building **Building Permit #:** BP-2022-20745 **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: LOT # SP-96-23E, TRACT 1A, UPC#101705929110840209

City Address: 4400 CUTLER AVE. N.E.

Applicant: MULLEN HELLER ARCHITECTURE, PC **Contact:** DOUG HELLER

Address: 1718 CENTRAL AVENUE SW, SUITE D, ALBUQUERQUE, NM 87104

Phone#: 505-268-4144 **Fax#:** 505-268-4244 **E-mail:** DOUG@MULLENHELLER.COM

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 10/12/22 **By:** DOUG HELLER 

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

October 12, 2022

Jeanne Wolfenbarger, P.E., Transportation Development
Planning Department
Development and Building Services Division
City of Albuquerque
600 2nd Street NW.
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for
Pima Medical Institute New Classroom Building
4400 Cutler Ave NE
Albuquerque, NM 87110**

Dear Ms. Wolfenbarger:

I, Doug Heller, NMRA with Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the approved Traffic Circulation Layout (Permit #BP-2022-20745). The attached As-Built Traffic Circulation Layout shows "redlined" revisions made to the site plan per construction coordination.

I further certify that I have personally visited the project site on October 12, 2022, and have determined by visual inspection that the information provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The construction of the sitework matches the approved permit drawings with a few minor exceptions, which include:

- Handicap ramp (keyed note 5, TCL003) was shifted east to accommodate the new ADA-accessible classroom building ramp landing.
- Designated crosswalk striping (keyed note 21, TCL003) was moved east to accommodate the new handicap ramp.

This certification is submitted in support for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,
Mullen Heller Architecture, PC



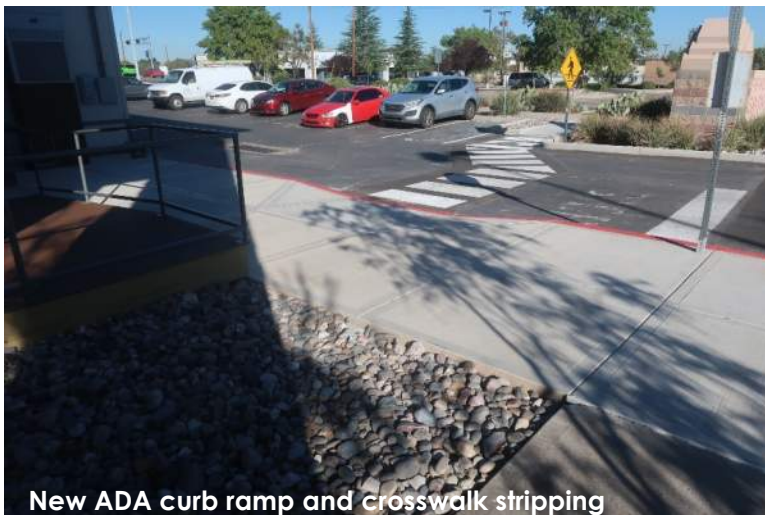
Douglas Heller, AIA



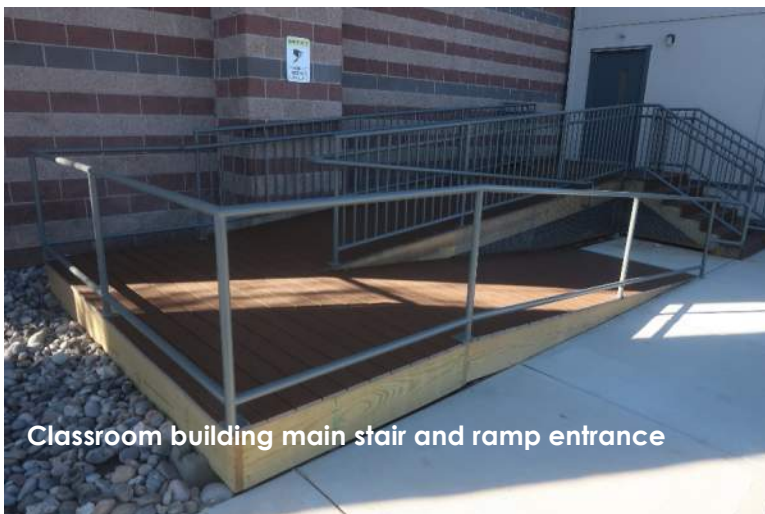
Attachments: Site Photographs from Visits Conducted on 10/12/22
Approved TCL dated 4/28/22
Approved TCL with as-built redlines dated 10/12/22



New ADA curb ramp and crosswalk stripping



New ADA curb ramp and crosswalk stripping



Classroom building main stair and ramp entrance

PARKING CALCULATIONS

PER IDO SECTION 5-5(C)(1)(a) OFF-STREET PARKING CALCULATION:

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PER TABLE 5-5-1, OFF-STREET PARKING REQUIREMENTS:

VOCATIONAL SCHOOL: 3 SPACES / 1,000 SQ FT

EXISTING BUILDING: 44,877 SF / 1,000 = 44.88
PROPOSED CLASSROOM BUILDING: 2,000 SF / 1,000 = 2.00
46.88

TOTAL PARKING REQUIRED:

TOTAL REQUIRED SPACES: 46 x 3 = 138

PROVIDED PARKING:

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NEW MOTORCYCLE SPACES = 5
EXISTING ADA SPACES = 12
TOTAL PROVIDED = 269

REQUIRED ADA ACCESSIBLE PARKING SPACES:

PER IDO 5-5-(C)(8)(a): WITHIN THE OFF-STREET PARKING REQUIREMENTS OF TABLE 5-5-1 AND AS ADJUSTED BY SECTION 14-16-5-5(C)(5), 3 - (PARKING REDUCTIONS) - AND NOT IN ADDITION TO THOSE REQUIREMENTS - ACCESSIBLE PARKING SHALL BE PROVIDED FOR ALL MULTI-FAMILY AND NON-RESIDENTIAL USES AS REQUIRED BY THE FEDERAL AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAAG) AND NEW MEXICO STATUTES ANNOTATED, AS AMENDED.

PER ADAAG:

TOTAL PARKING IN PROJECT LOT: 201-300, 7 ADA ACCESSIBLE PARKING SPACES SHALL BE PROVIDED.

PROVIDED: 12 ADA ACCESSIBLE PARKING SPACES.

REQUIRED MOTORCYCLE SPACES:

PER IDO 5-5(D)(1) IN ADDITION TO PARKING SPACES REQUIRED BY TABLE 5-5-1, AT LEAST THE MINIMUM NUMBER OF OFF-STREET PARKING SPACES FOR MOTORCYCLES, MOPEDS, AND MOTOR SCOOTERS LISTED IN TABLE 5-5-4 SHALL BE PROVIDED ON THE SITE FOR ALL USES EXCEPT RESIDENTIAL USES. THE MINIMUM NUMBER OF REQUIRED OFF-STREET PARKING BETWEEN 151-300 SPACES, 5 MOTORCYCLE SPACES SHALL BE PROVIDED.

MOTORCYCLE SPACES PROVIDED: 5 SPACES

REQUIRED BICYCLE SPACES:

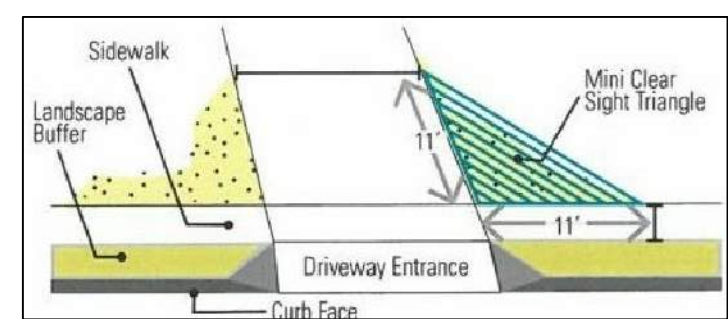
PER IDO 5-5(E)(1) AND TABLE 5-5-5, UNLESS SPECIFIED OTHERWISE IN THE IDO, ALL DEVELOPMENT SHALL PROVIDE ON-SITE PARKING SPACES FOR BICYCLES. WHERE THE MINIMUM BICYCLE PARKING IS BASED ON THE TOTAL NUMBER OF OFF-SITE STREET PARKING SPACES PROVIDED ON SITE, REGARDLESS OF THE MINIMUM REQUIREMENT FOR OFF-STREET PARKING.

USE: VOCATIONAL SCHOOL 3 SPACES / 1,000 SQ. FT. GFA
REQUIRED BICYCLE SPACES: 2,000 SF PROPOSED BUILDING

6 SPACES REQUIRED AND PROVIDED

CLEAR SIGHT TRIANGLE:

LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE WITHIN THE CLEAR SIGHT TRIANGLE.



PROJECT DESCRIPTION:

THIS PROJECT IS NEW CONSTRUCTION OF A 2,000 SF NEW CLASSROOM BUILDING, ASSOCIATED SITE WORK AND LANDSCAPING, AND AN ADA ACCESSIBLE RAMP AND STAIRS. THE PROPOSED BUILDING WILL BE LOCATED NORTH OF AND ADJACENT TO AN EXISTING VOCATIONAL SCHOOL AND IS PART OF THE SCHOOL CAMPUS.

13 PARKING SPACES WILL BE REMOVED FOR THE ADDITION OF THE NEW BUILDING. THERE IS NO MODIFICATION TO THE EXISTING SITE OTHER THAN THE WORK ASSOCIATED WITH THE NEW CLASSROOM.

THE CAMPUS IS SITUATED IN THE PAVILIONS AT SAN MATEO, AN EXISTING RETAIL SHOPPING DISTRICT WITH A MIX OF RETAIL, RESTAURANT AND SERVICE TENANTS. EXISTING INFRASTRUCTURE INCLUDES STANDARD, COMPACT AND HC PARKING, EXISTING FIRE HYDRANTS, SIDEWALKS, BICYCLE SPACES, LOADING DOCK AND SOLID WASTE DUMPSTER.

BUBBLED AREA INDICATES NEW WORK.

BUILDING ADDRESS: 4400 CUTLER AVE NE
ALBUQUERQUE, NM 87110
LEGAL DESCRIPTION: TR 1A REVISED PLAT OF PAVILIONS
AT SAN MATEO CONT 4.2761 ACM/L
OR 186,267 SF M/L

OCCUPANCY GROUP: B

IDO ZONING INFORMATION: NR-C: COMMERCIAL ZONE DISTRICTS

SITE ACREAGE: 4.28 ACRES

BUILDING GROSS SQUARE FOOTAGE: EXISTING BUILDING: 44,877 GSF
PROPOSED CLASSROOM BUILDING: 2,000 GSF
TOTAL BUILDINGS: 46,877 GSF

PROJECT PHASING: THE PROPOSED CLASSROOM BUILDING SHALL BE COMPLETED UNDER ONE PHASE.

EXISTING RADIUS INFORMATION: NEW RADIUS INFORMATION:

① = 25'-0" ③ = 21'-6" ⑤ = 3'-0"
② = 23'-6" ④ = 3'-0"

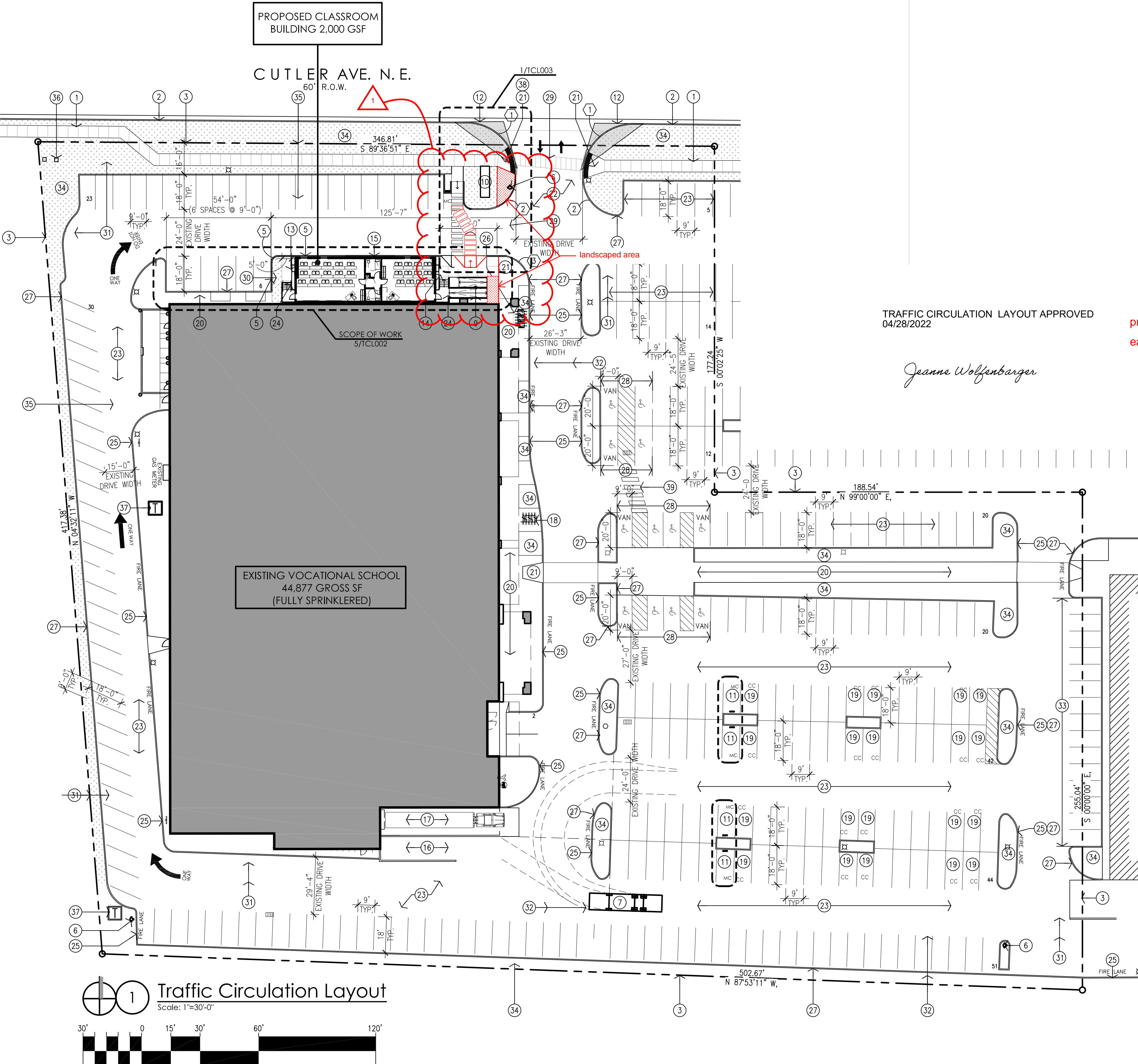
prior to Certificate of Occupancy, please have the city sidewalk easement in place as requested by Mr. Salgado.

GENERAL NOTES:

- [A] THE PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
[B] LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
[C] ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
[D] ALL CURBS SURROUNDING LANDSCAPING, SHALL PROVIDE WATER RUNOFF OPENINGS TO ALLOW SURFACE DRAINAGE INTO THE LANDSCAPED AREAS (WATER HARVESTING).
[E] ALL SIGNAGE AND FENCES WILL BE DONE UNDER SEPARATE PERMIT.
[F] ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON A PUBLIC WORK ORDER.
[G] SIDEWALK AREAS TO BE SHADED ALONG THE PRIMARY FACADE OF BUILDING.
[H] ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED IN A PUBLIC WORK ORDER.
[I] BUILDING ELEVATIONS FOR NEW CLASSROOM BUILDING WILL BE REQUIRED TO BE APPROVED VIA ADMINISTRATIVE AMENDMENT AND COMPLY WITH THE DESIGN REGULATIONS AND AESTHETICS CREATED BY THE TWO BUILDINGS IN THIS SUBMITTAL.
[J] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
[K] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
[L] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
[M] ALL SITE LIGHTING IS EXISTING TO REMAIN 'AS IS'.

KEYED NOTES:

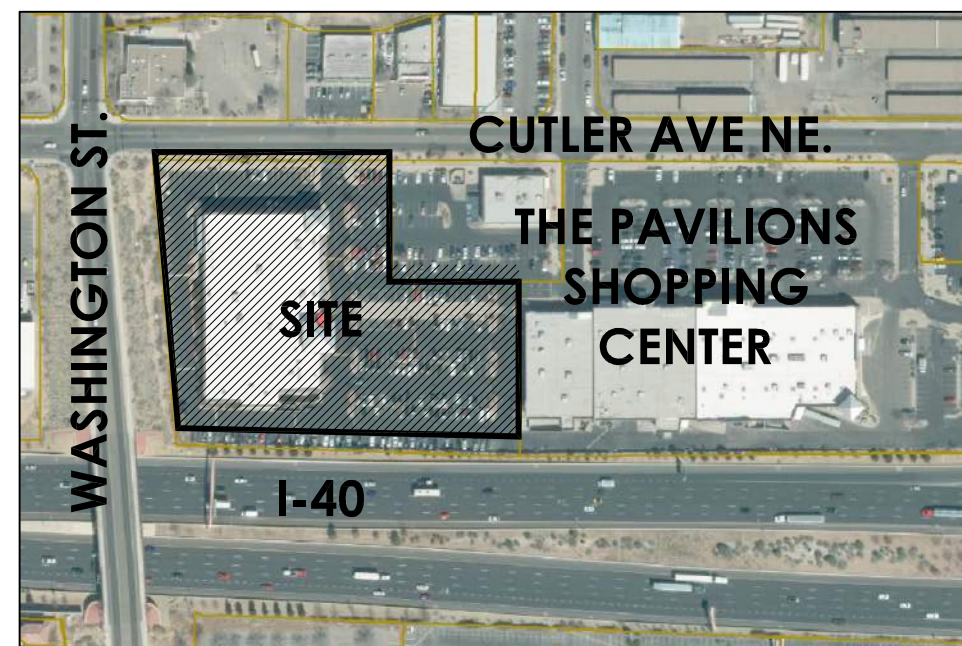
- [1] EXISTING CITY SIDEWALK TO REMAIN.
[2] EXISTING CITY CURB AND GUTTER TO REMAIN.
[3] EXISTING PROPERTY LINE.
[4] NOT USED.
[5] PROPOSED HEADER CURB.
[6] EXISTING FIRE HYDRANT TO REMAIN.
[7] CITY REFUSE TRUCK AND TURNING RADIUS, FOR REFERENCE ONLY.
[8] NOT USED.
[9] PROPOSED ADA ACCESSIBLE RAMP.
[10] EXISTING SIGNAGE TO REMAIN.
[11] PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE. SEE DETAIL 4/TCL002.
[12] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
[13] PROPOSED CONCRETE SIDEWALK 4' WIDE MINIMUM WITH CONTROL JOINTS EVERY 5'-0" WITH EXPANSION JOINTS EVERY 20'-0".
[14] PROPOSED FIRE DEPARTMENT KNOX BOX.
[15] PROPOSED PAINTED CURB 'FIRE LANE'.
[16] EXISTING TRASH COMPACTOR TO REMAIN.
[17] EXISTING LOADING DOCK TO REMAIN.
[18] EXISTING BICYCLE PARKING TO REMAIN.
[19] EXISTING COMPACT PARKING SPACE TO REMAIN.
[20] EXISTING SIDEWALK TO REMAIN.
[21] EXISTING SIDEWALK RAMP TO REMAIN.
[22] EXISTING ENTRY DRIVE TO REMAIN.
[23] EXISTING ASPHALT PARKING LOT TO REMAIN.
[24] PROPOSED STAIR AND LANDING.
[25] EXISTING PAINTED FIRE LANE TO REMAIN.
[26] PROPOSED BIKE RACK WITH 6 SPACES. SEE DETAIL 1/TCL002.
[27] EXISTING CURB TO REMAIN.
[28] EXISTING HC PARKING AND ACCESS AISLE TO REMAIN.
[29] EXISTING DESIGNATED CROSSWALK TO REMAIN.
[30] PROPOSED LANDSCAPE AREA.
[31] EXISTING 10' UTILITY EASEMENT.
[32] EXISTING 20' WATERLINE EASEMENT.
[33] THESE SPACES NOT COUNTED IN PARKING CALCULATIONS AS THEY ARE OVER THE PROPERTY LINE.
[34] EXISTING LANDSCAPE TO REMAIN.
[35] EXISTING BUILDING SETBACK.
[36] EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
[37] EXISTING TRANSFORMER TO REMAIN.
[38] INSTALL TRUNCATED DOMES ON EXISTING CURB RAMPS PER COA STANDARD DETAIL #2446.
[39] NEW 6' WIDE DESIGNATED CROSSWALK.



TRAFFIC CIRCULATION LAYOUT APPROVED
04/28/2022

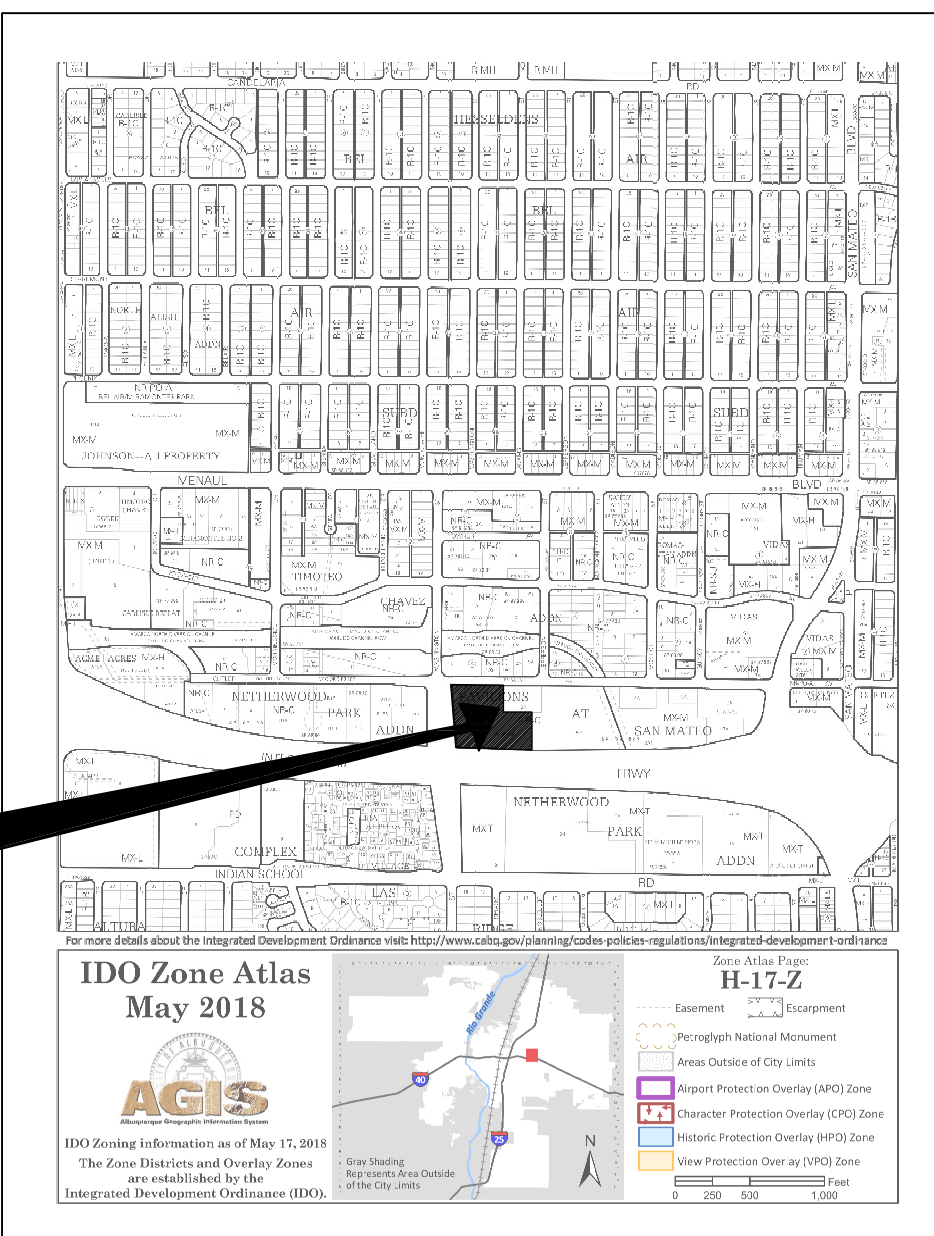
Jeanne Wolfenbarger

VICINITY MAP



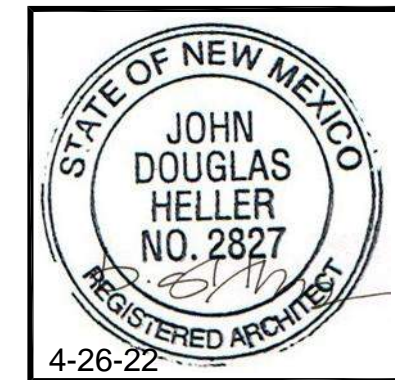
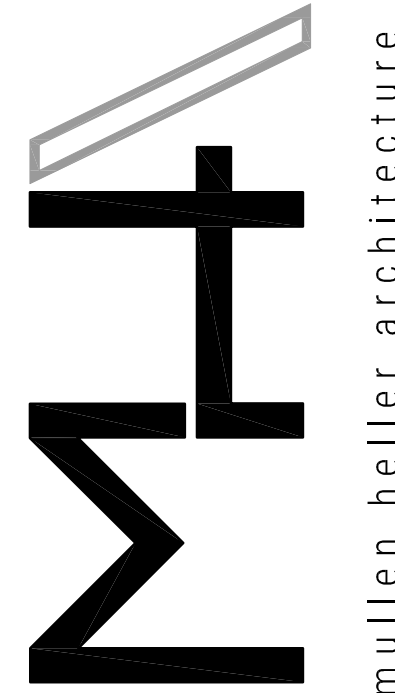
ZONING MAP

ZONE ATLAS PAGE H-17-Z



As-Built Traffic Circulation Layout
10/12/2022

REV	DATE	BY	DESCRIPTION
1	10/12/2022	AG	Site Certification



MULLEN HELLER ARCHITECTURE
1718 CENTRAL AVE SW | STE D
ALBUQUERQUE, NM 87109
P | 505.268.4144
F | 505.268.4244
www.mullenheller.com

JOB NUMBER 20-08

DRAWN BY AG/MP

PROJECT MGR JDH

DATE 04-26-22

PHASE CD

PROJECT
Pima Medical Institute New Classroom Building
4400 Cutler Ave. NE
Albuquerque, NM 87110
TITLE
Traffic Circulation Layout

SHEET

TCL001

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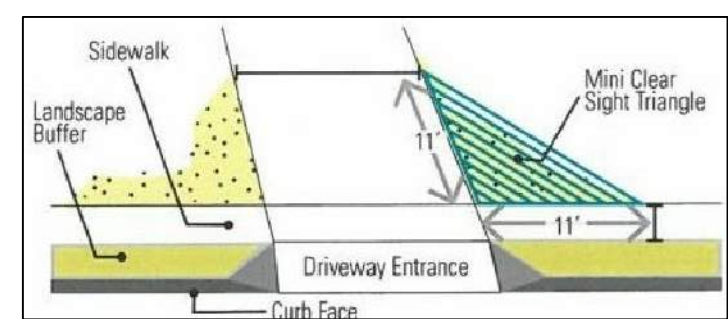
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4.28 ACRES

BUILDING GROSS

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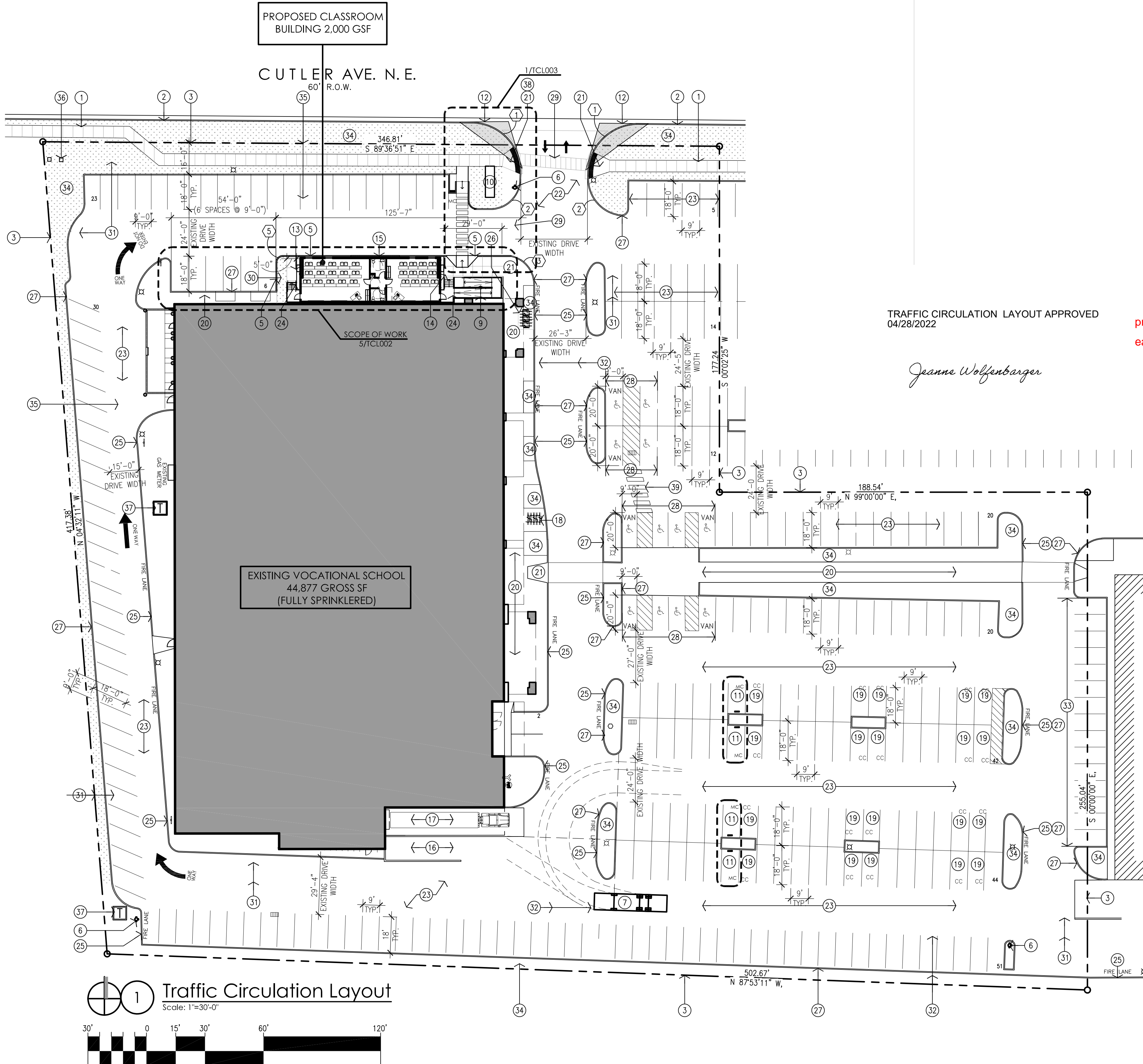
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[J] CONTRACTOR TO REFERENCE COA STANDARD DETAILS 2430 AND 2415 FOR ALL NEW SIDEWALKS AND CURB AND GUTTER, RESPECTIVELY.
[K] ALL BROKEN OR CRACKED SIDEWALKS MUST BE REPAIRED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARD DETAILS 2430 AND 2415, RESPECTIVELY.
[L] GROUND-MOUNTED EQUIPMENT SCREENING WILL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS ARE TO ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES.
[M] ALL SITE LIGHTING IS EXISTING TO REMAIN 'AS IS'.

KEYED NOTES:

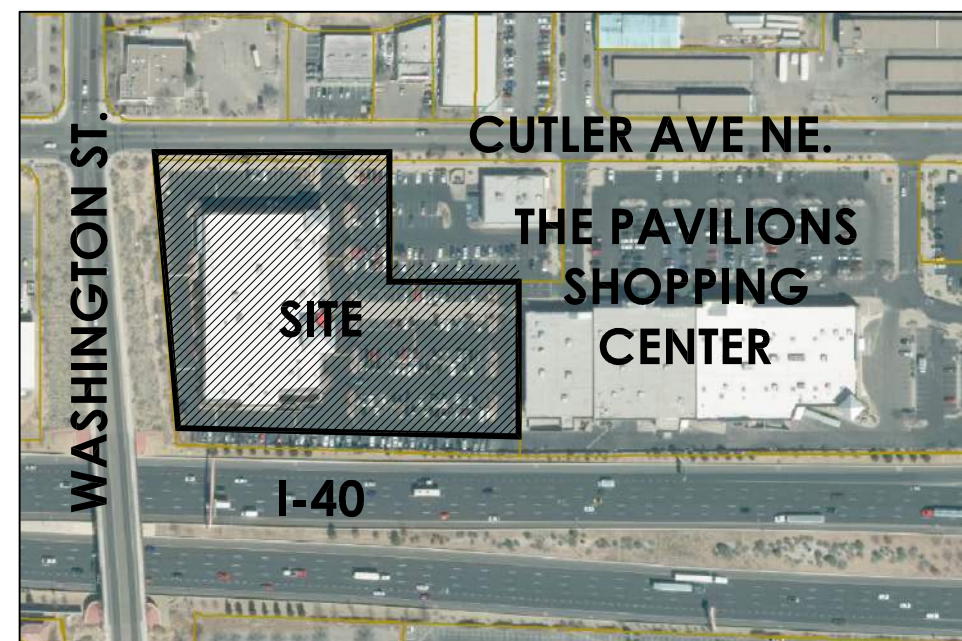
- [1] EXISTING CITY SIDEWALK TO REMAIN.
[2] EXISTING CITY CURB AND GUTTER TO REMAIN.
[3] EXISTING PROPERTY LINE.
[4] NOT USED.
[5] PROPOSED HEADER CURB.
[6] EXISTING FIRE HYDRANT TO REMAIN.
[7] CITY REFUSE TRUCK AND TURNING RADIUS, FOR REFERENCE ONLY.
[8] NOT USED.
[9] PROPOSED ADA ACCESSIBLE RAMP.
[10] EXISTING SIGNAGE TO REMAIN.
[11] PROPOSED MOTORCYCLE SPACES WITH SIGNAGE AT EACH SPACE, WITH 12" HIGH PAVEMENT TEXT "MC" AND SIGNAGE. SEE DETAIL 4/TCL002.
[12] CLEAR SIGHT TRIANGLE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
[13] PROPOSED CONCRETE SIDEWALK 4' WIDE MINIMUM WITH CONTROL JOINTS EVERY 5'-0" WITH EXPANSION JOINTS EVERY 20'-0".
[14] PROPOSED FIRE DEPARTMENT KNOX BOX.
[15] PROPOSED PAINTED CURB 'FIRE LANE'.
[16] EXISTING TRASH COMPACTOR TO REMAIN.
[17] EXISTING LOADING DOCK TO REMAIN.
[18] EXISTING BICYCLE PARKING TO REMAIN.
[19] EXISTING COMPACT PARKING SPACE TO REMAIN.
[20] EXISTING SIDEWALK TO REMAIN.
[21] EXISTING SIDEWALK RAMP TO REMAIN.
[22] EXISTING ENTRY DRIVE TO REMAIN.
[23] EXISTING ASPHALT PARKING LOT TO REMAIN.
[24] PROPOSED STAIR AND LANDING.
[25] EXISTING PAINTED FIRE LANE TO REMAIN.
[26] PROPOSED BIKE RACK WITH 6 SPACES. SEE DETAIL 1/TCL002.
[27] EXISTING CURB TO REMAIN.
[28] EXISTING HC PARKING AND ACCESS AISLE TO REMAIN.
[29] EXISTING DESIGNATED CROSSWALK TO REMAIN.
[30] PROPOSED LANDSCAPE AREA.
[31] EXISTING 10' UTILITY EASEMENT.
[32] EXISTING 20' WATERLINE EASEMENT.
[33] THESE SPACES NOT COUNTED IN PARKING CALCULATIONS AS THEY ARE OVER THE PROPERTY LINE.
[34] EXISTING LANDSCAPE TO REMAIN.
[35] EXISTING BUILDING SETBACK.
[36] EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
[37] EXISTING TRANSFORMER TO REMAIN.
[38] INSTALL TRUNCATED DOMES ON EXISTING CURB RAMPS PER COA STANDARD DETAIL #2446.
[39] NEW 6' WIDE DESIGNATED CROSSWALK.



TRAFFIC CIRCULATION LAYOUT APPROVED
04/28/2022

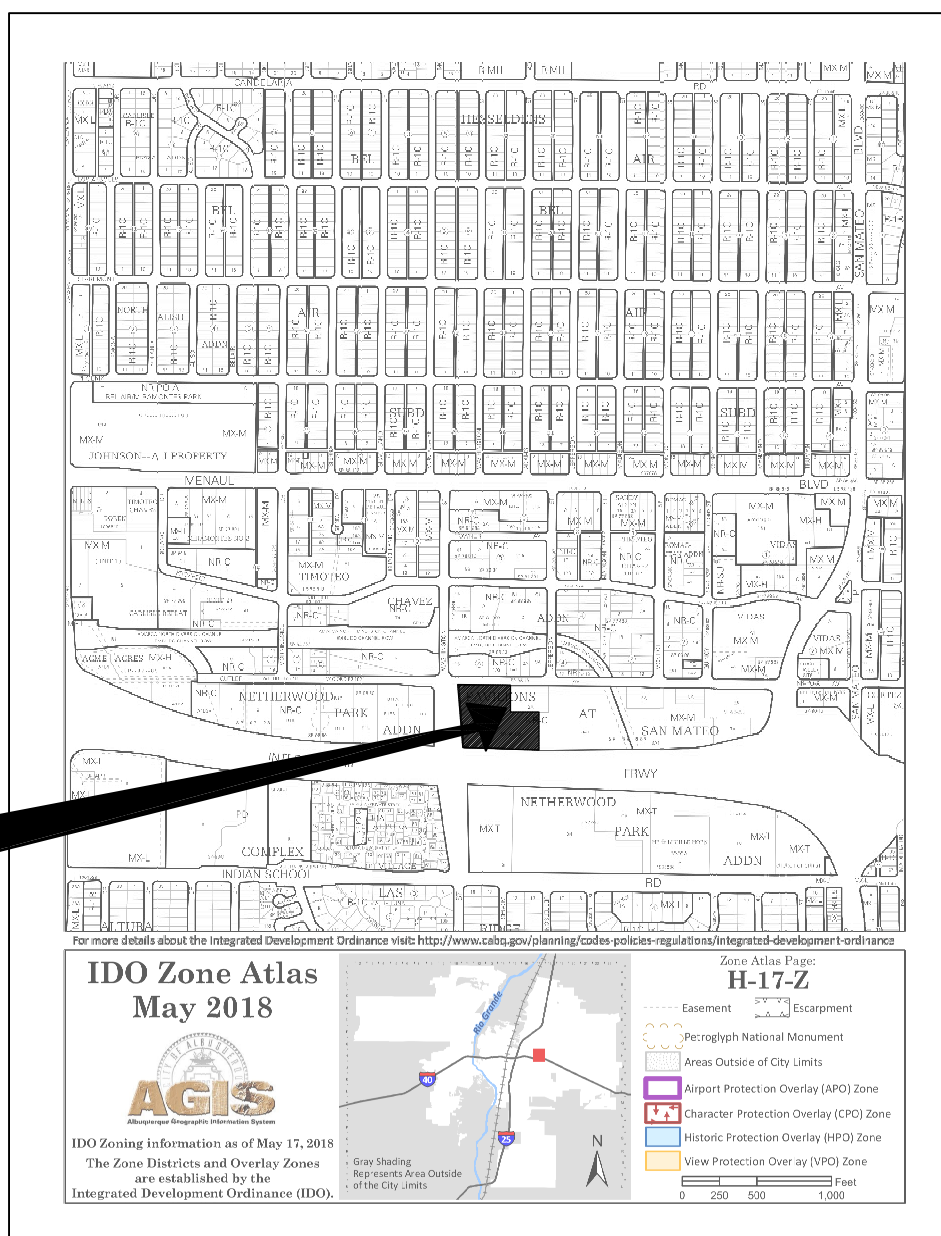
Jeanne Wolfenbarger

VICINITY MAP



ZONING MAP

ZONE ATLAS PAGE H-17-Z



PROJECT
Pima Medical Institute New Classroom Building
4400 Cutler Ave. NE
Albuquerque, NM 87110

TITLE
Traffic Circulation Layout

SHEET
TCL001