

July 24,1998

Chris Weiss
C.L. Weiss Engineering
P.O Box 97
Sandia Park, New Mexico 87047

RE: ENGINEER CERTIFICATION FOR TRMI @ 2401 SAN MATEO (H17-D91)
CERTIFICATION STATEMENT DATED 6/30/98

Dear Mr. Weiss:

Based on the information provided on your July 2,1998 submittal, Engineer Certification for the above referenced site is acceptable.

Please be advised that the final CO will not be issued until we receive the green tag for the SO19.

If I can be of further assistance, please feel free to contact me at 924-3986.

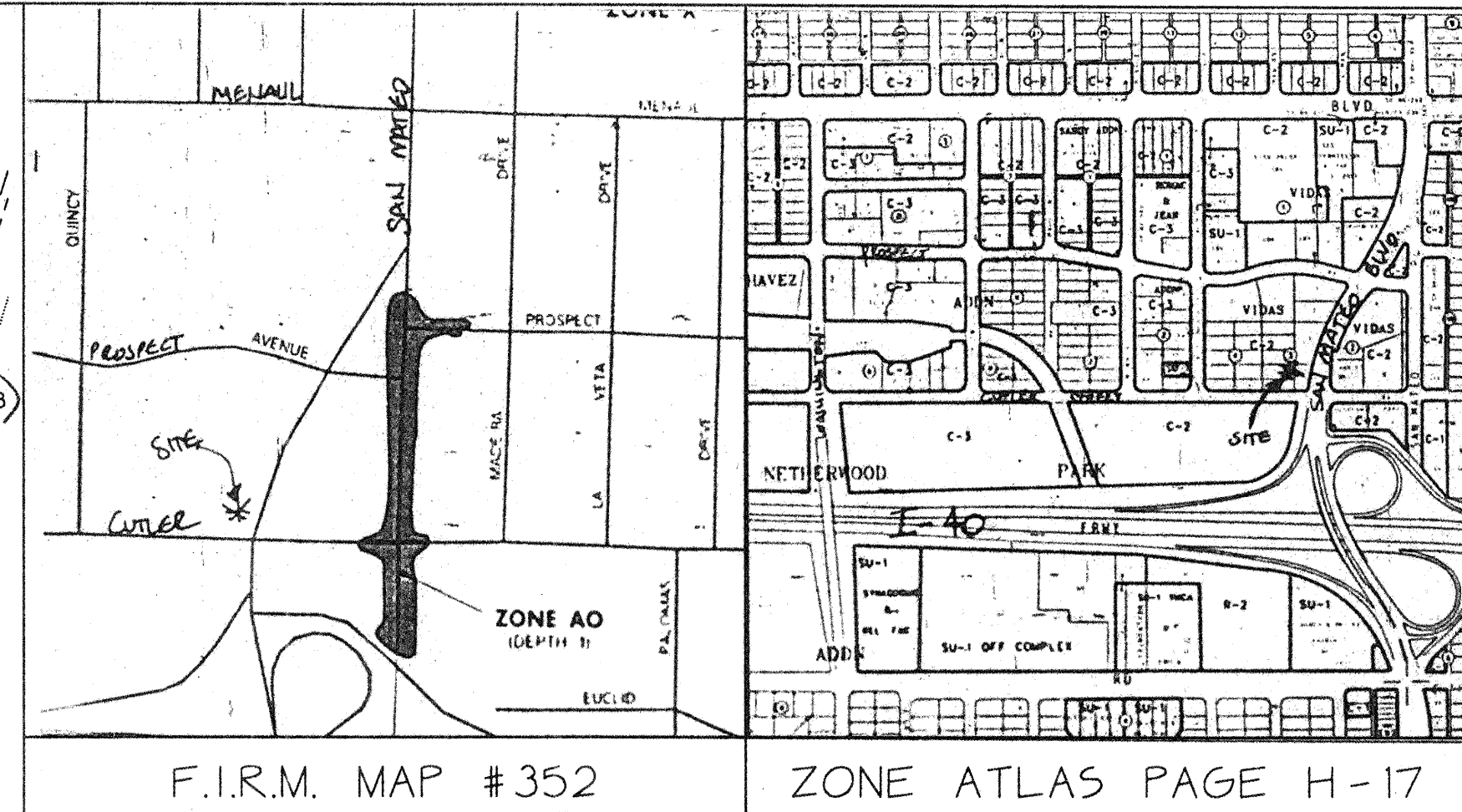
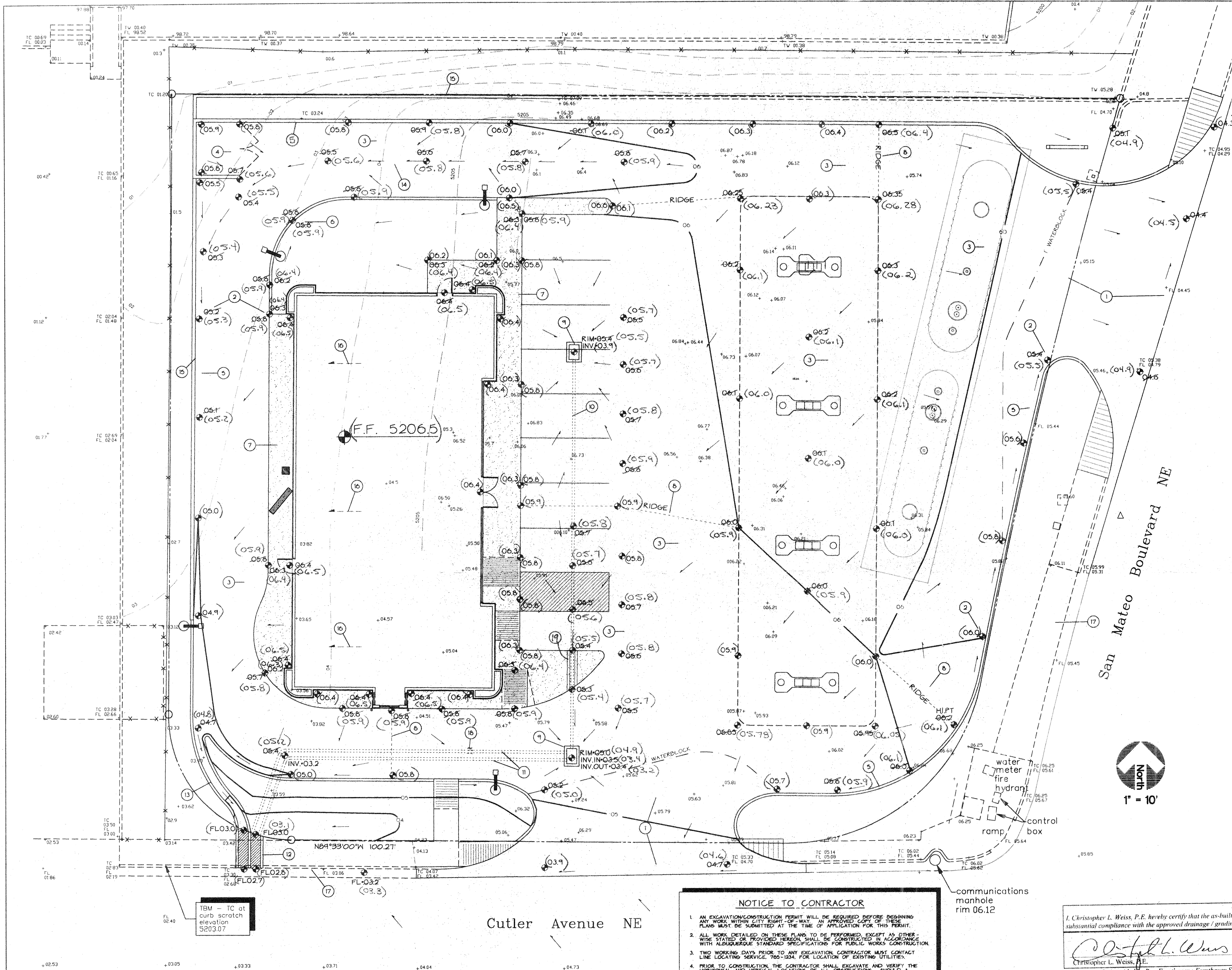
C: Andrew Garcia
File ✓

Sincerely

Bernie J. Montoya
Bernie J. Montoya CE
Associate Engineer

Good for You, Albuquerque!





RECEIVED
JUL 2 1998
HYDROLOGY SECTION

KEYED NOTES

GENERAL INFO.

SCOPE

The proposed improvements include removing an existing gas station / parking lot and constructing a new building, a new parking lot, and associated walks and landscaped areas.

The present site is a developed commercial property. Cutler Ave. NE borders the property to the south, San Mateo Blvd. NE borders the property to the east, developed commercial property borders the property to the north and west.

DRAINAGE PLAN CONCEPT

The site is divided into five sub-basins. The flows from the sub-basins will discharge to Cutler Ave. NE (2.3 cfs) or San Mateo Blvd. NE (0.4 cfs). See calculations / flowline map for additional information. The increase in discharge from the existing to the proposed development is 0.2 cfs.

Reference: "The Pavilions of San Mateo", prepared by Bohannon-Huston (H-17 054). Flows from the Texaco site are collected by existing street curb and gutter and transferred to four 10' x 12' A.M.A.F.C.A. box culverts via Cutler Avenue storm inlets.

Reference: Bohannon-Huston Inc. report - "Adequate capacity exists for major City and A.M.A.F.C.A. drainage facilities to accept free discharge of developed flows from contributing basins."

The intent of this plan is to show:

- Grading relationships between the existing ground elevations and proposed finished elevations in order to facilitate positive drainage to designated discharge points.
- The extent of proposed site improvements, including buildings, walks and pavement.
- The flow rate/volume of rainfall runoff across or around these improvements and methods of handling these flows to meet City of Albuquerque requirements for drainage management.
- The relationship of on-site improvements with existing neighboring property to insure an orderly transition between proposed and surrounding grades.

GENERAL NOTES

LEGAL: Lots 6 and 7 and Portions of Lots 4, 5, and 8 and the southerly 150' of a vacant public alley, Block 3, Vidas Subdivision, Albuquerque, New Mexico

SURVEYOR: Forsbauer Surveying Co. - 1100 Alvarado Dr. NE, Albuquerque, NM 87110 - 268-2112

B.M. Benchmark: City of Albuquerque 1-40-9. A NMSHC brass cap located in the southwest quadrant of the intersection of southbound San Mateo Boulevard NE and the west access ramp to I-40. Elevation: 5210.89 (M.S.L.D.)

FLOOD HAZARD: Per the Bernalillo County F.I.R.M. Map Panel 352 of 825, the site is not located within a 100-year flood zone.

OFF-SITE DRAINAGE: No off-site flows affect this property.

EROSION CONTROL: The contractor is responsible for retaining on-site all sediment generated during construction by means of temporary earth berms or silt fences at the low points on the west and north property lines.

LEGEND

SIDEWALK, CURB AND GUTTER (EXISTING, PROPOSED)

PROPOSED PAVED DRIVE

BUILDING (EXISTING, PROPOSED)

PROPERTY LINE

EXISTING SPOT ELEVATION

EXISTING CONTOUR

PROPOSED SPOT ELEVATION

PROPOSED CONTOUR

SURFACE FLOW DIRECTION (EXISTING, PROPOSED, ROOF)

LA LANDSCAPED AREA

TGW TOP OF GRADE WALL (< 18" HIGH)

TRW TOP OF RETAINING WALL (> 18" HIGH)

TA TOP OF ASPHALT

TC TOP OF CURB

FL FLOW LINE

FF FINISHED FLOOR

R/W RIGHT OF WAY

PL PROPERTY LINE

PP POWER POLE

ENTRY / EXIT LOCATION

EPA SIGN-OFF

SIGNATURE

DATE

NAME

Cutler Avenue NE

NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.

2. ALL WORK DESIGNED ON THESE PLANS TO BE PERFORMED EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STD. DWG. 2236 FOR PUBLIC WORKS CONSTRUCTION.

3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 705-1934, FOR LOCATION OF EXISTING UTILITIES.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.

5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.

6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

7. CONTRACTOR IS RESPONSIBLE FOR OBTAINING EXCAVATION PERMIT FOR SIDEWALK CULVERTS.

8. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY

DESIGN APPROVAL: _____ DATE _____

INSPECTION APPROVAL: _____ DATE _____

ACCEPTANCE: _____ DATE _____

communications manhole rim 06.12

I, Christopher L. Weiss, P.E. hereby certify that the as-built information shown, is in substantial compliance with the approved drainage / grading plan.

Christopher L. Weiss 6-30-98
Date

Survey info. provided by Ron Forsbauer • Forsbauer Surveying Co. • June 1998

C.L. WEISS ENGINEERING, INC.

POST OFFICE BOX 97 • SANDIA PARK, NM • 87047 • (505) 281-1800

100 ALVARADO DR. NE • ALBUQUERQUE, NM • 87110 • (505) 268-3444

Wickham Jarvi & Warman

ARCHITECTS AND ASSOCIATES

1828 Swift Avenue Suite 201

North Kansas City, MO 64116

(816) 474-2233

(816) 474-1051 fax

REVISION RECORD

DATE	BY	DESCRIPTION

TRMI

TRACCO TRADING & MARKETING INC.

MARKETING ENGINEERING

2401 San Mateo Blvd. NE

Albuquerque, NM

SCALE: 1"=10'-0"

DATE: OCT 21, 1997

SHEET NUMBER

2529-97

JOB NUMBER

2529-97

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