

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT, RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL /LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXITING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.642 ACRES LOCATED ON THE SOUTHEAST CORNER OF MENAUL BOULEVARD, NE AND VALENCIA DRIVE, NE AS SEEN ON THE VICINITY MAP ON SHEET 2. THE SITE IS DEVELOPED AS A USED CAR SALES LOT AND IS 100 PERCENT IMPERVIOUS DUE TO ASPHALT PAVING WITHIN THE PARKING AREA, AN EXISTING 600 SQUARE FOOT SALES OFFICE, AND A 1045 SQUARE FOOT SERVICE SHOP. THE PROPOSED DEVELOPMENT WILL INCLUDE A 1295 SQUARE FOOT SALES OFFICE ATTACHED TO THE EXISTING SALES OFFICE.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0352 E, DATED NOVEMBER 19, 2003 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR, 6-HR AND 100-YR, 10 DAY DURATION STORM EVENTS WERE USED AS THE DESIGN STORMS FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR, 24-HOUR, AND 10-DAY PRECIPITATION VALUES, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

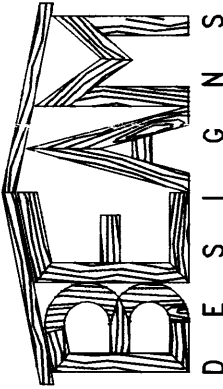
THE SITE IS DEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." MENAUL BOULEVARD IS A DEVELOPED STREET WITH CURB AND GUTTER AND A STORM DRAIN WITH INLETS ADJACENT TO THIS SITE TO THE NORTH. THE PROPERTY TO THE EAST IS DEVELOPED WITH A BUILDING ON THE PROPERTY LINE. THE BUILDING HAS GUTTERS THAT COLLECT THE ROOF RUNOFF AND DISCHARGE IT TO RUNDOWNS THAT CARRY THE RUNOFF NORTH TO MENAUL BOULEVARD AND SOUTH TO THE ALLEY. THE ALLEY, TO THE SOUTH, AND VALENCIA STREET, TO THE WEST ARE LOWER THAN THIS SITE. THEREFORE, THERE ARE NO OFFSITE DRAINAGE BASINS DRAINING TO THIS SITE. ONLY THE SITE ITSELF IS EVALUATED IN THIS STUDY. UNDER EXISTING CONDITIONS, THE SITE IS 100% IMPERVIOUS AND SURFACE DRAINS TO VALENCIA STREET AT THE SOUTHWEST CORNER OF THE SITE.

DEVELOPED CONDITION

THE PROPOSED DEVELOPMENT WILL REPLACE EXISTING ASPHALT WITH THE NEW BUILDING AND REMOVE SOME ASPHALT WITHIN THE LANDSCAPE AREAS TO MEET THE CITY'S LANDSCAPE REQUIREMENTS. THEREFORE, THE SITE IS ANALYZED AS 90% IMPERVIOUS UNDER DEVELOPED CONDITIONS. THIS WILL DECREASE THE SITE'S NET RUNOFF BY APPROXIMATELY 3% FROM 3.48-CFS TO 3.38 CFS. DRAINAGE PATTERNS WILL NOT BE ALTERED BY THIS DEVELOPMENT.

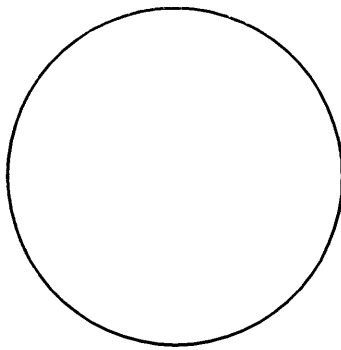
100-YEAR HYDROLOGIC CALCULATIONS											
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
SITE	0.6942	0.00	0.00	0.00	100.00	2.36	0.14	5.947	0.27	11.743	3.48
PROPOSED CONDITIONS											
SITE	0.6942	0.00	0.00	10.00	90.00	2.25	0.13	5.677	0.25	10.894	3.38
EXCESS PRECIP.		0.66	0.82	1.29	2.36	E (in)					
PEAK DISCHARGE		1.87	2.6	3.45	5.02	Q _{in} (cfs)					
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							ZONE = 3				
V _{6-hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{6-hr} (in.) = 2.60				
V _{10day} (acre-ft) = V _{6-hr} + (A ₀)(P _{10day} - P _{6-hr})/12							P _{24-hr} (in.) = 3.10				
Q (cfs) = (Q _{in})(A ₀) + (Q _{in})(A ₀) + (Q _{in})(A _c) + (Q _{in})(A ₀)							P _{10day} (in.) = 4.90				

855 POLARIS BLVD., SE
800 RANCHO, NM 87124
PHONE (505) 886-0391
FAX (505) 994-7852
beamedesign@quest.net



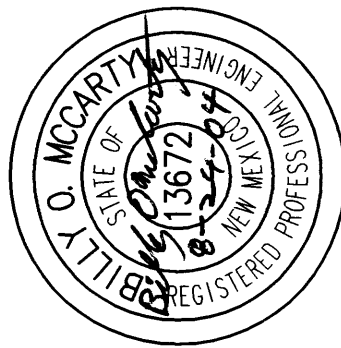
BUILDING
ENGINEERING
AND
MUNICIPAL
DESIGNS

D E S I G N S



ROBERT C. PONTO

a r c h i t e c t



PROJECT:

Car Lot Office
5700 Menaul Blvd NE

TITLE:

Civil General
Notes and
Drainage
Information

dNb

DRAWN BY:

B.O.M.

CHECKED BY:

August 24, 2004

DATE:

1" = 20'

SCALE:

JOB NUM.:

C-1

SHEET:

ABBREVIATIONS

A = AIR LINE

AD = AREA DRAIN

AIP = ABANDONED IN PLACE

BLDG = BUILDING

BM = BENCHMARK

CATV = CABLE TELEVISION LINE

CIP = CAST IRON PIPE

CMP = CORRUGATED METAL PIPE

CMPA = CORRUGATED METAL PIPE ARCH

CO = CLEANOUT

COA = CITY OF ALBUQUERQUE

CONC = CONCRETE

CL = CENTERLINE

DIA = DIAMETER

DIP = DUCTILE IRON PIPE

DTL = DETAIL

DWG = DRAWING

E = ELECTRIC LINE

ELEC. = ELECTRIC

ELEV = ELEVATION

EX = EXISTING

FF = FINISHED FLOOR ELEVATION

FG = FINISHED GRADE

FH = FIRE HYDRANT

FL = FLOW LINE

G = GAS PIPE

GM = GAS METER

GV = GATE VALVE

HI PT = HIGH POINT

INV = INVERT ELEVATION

LF = LINEAL FEET

LP = LIGHT POLE

L/S = LANDSCAPING

MH = MANHOLE

NG = NATURAL GROUND

OE = OVERHEAD ELECTRIC LINE

OT = OVERHEAD TELEPHONE LINE

PB = ELECTRICAL PULL BOX

PCC = PORTLAND CEMENT CONCRETE

PP = POWER POLE

PROP = PROPOSED

PVC = POLYVINYL CHLORIDE PIPE

RCP = REINFORCED CONCRETE PIPE

RD = ROOF DRAIN

R/W = RIGHT-OF-WAY

S = SLOPE

SAS = SANITARY SEWER

SD = STORM DRAIN

STA = STATION

STD = STANDARD

SW = SIDEWALK

T = TELEPHONE

TA = TOP OF ASPHALT PAVEMENT

TAC = TOP OF ASPHALT CURB

TC = TOP OF CONCRETE SLAB (PAVEMENT)

TCC = TOP OF CONCRETE CURB

TG = TOP OF GRATE

TS = TOP OF SIDEWALK

TW = TOP OF WALL

TYP = TYPICAL

TB = TELEPHONE BOX

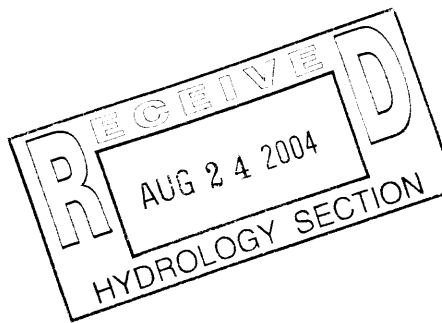
UE = UNDERGROUND ELECTRIC

UT = UNDERGROUND TELEPHONE

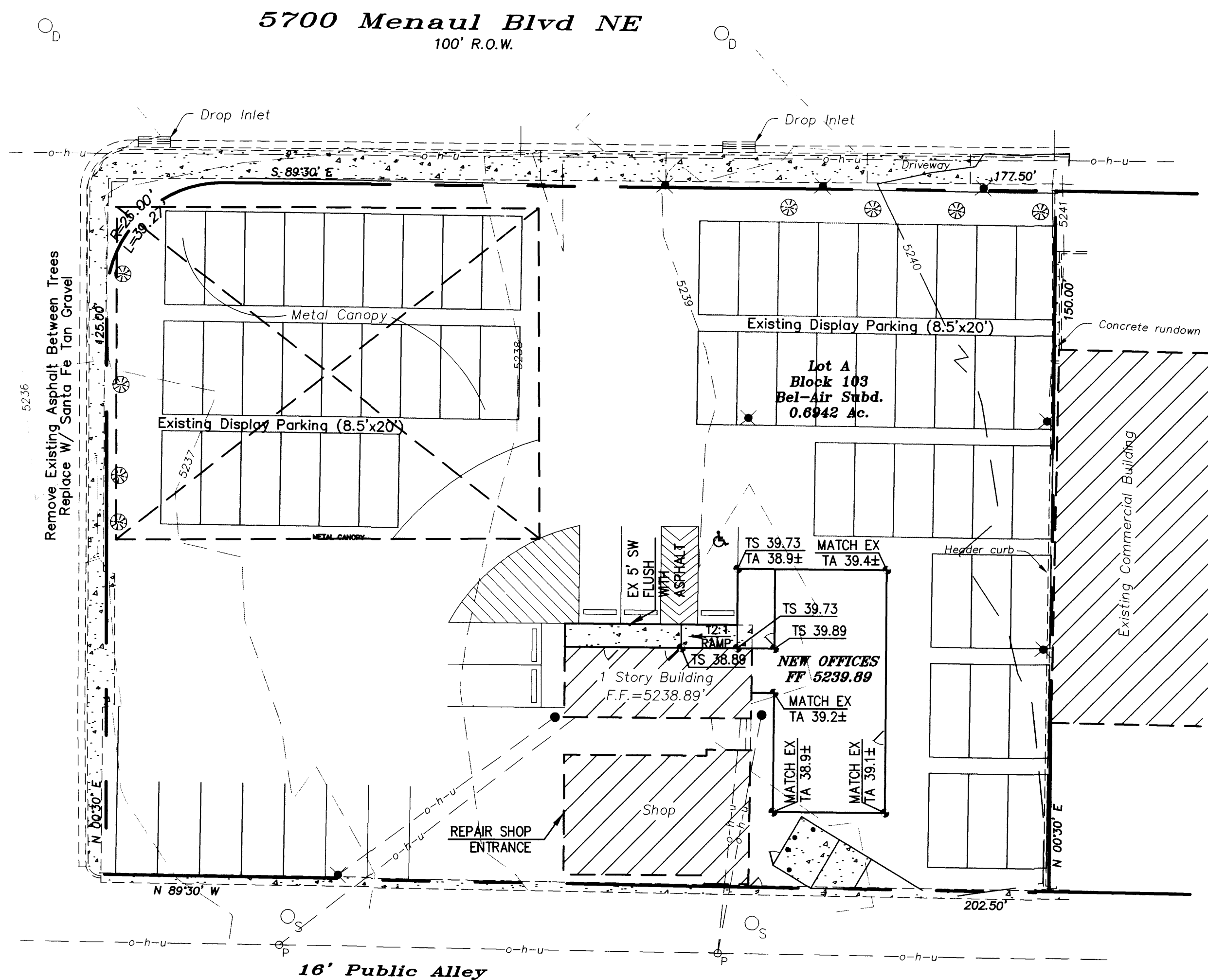
W = WATER

WM = WATER METER

WV = WATER VALVE



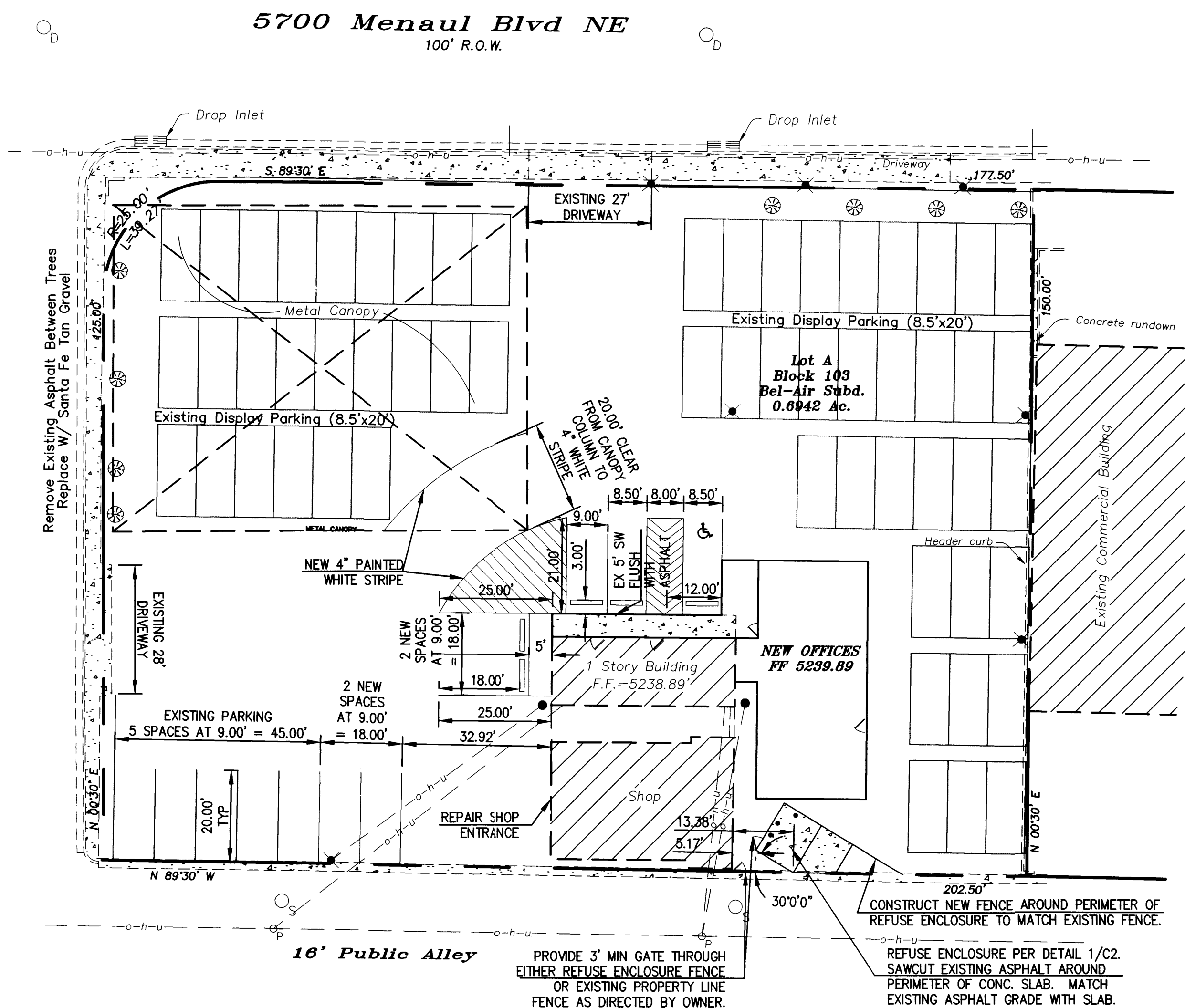
Valencia Drive NE
50' R.O.W.



Lot 'B', Block 103
Bel-Air Subdivision

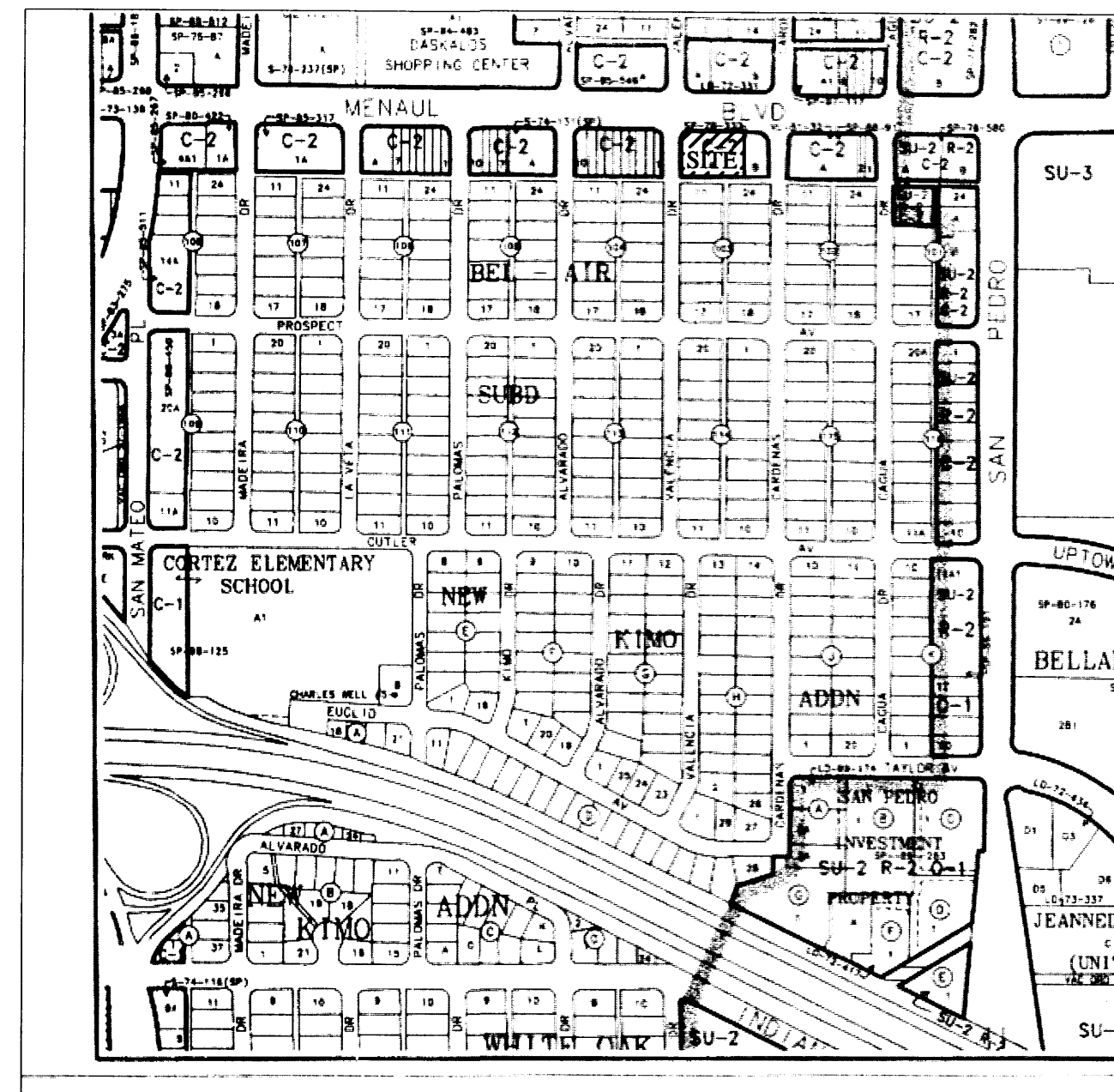
Grading Plan

Valencia Drive NE
50' R.O.W.



Lot 'B', Block 103
Bel-Air Subdivision

Traffic Circulation Layout



VICINITY MAP H-18

GENERAL NOTES

1) Bench mark data based on City of Albuquerque, Engineering Division, Station no. 18-H18, (NAD 1927) Elevation = 5230.111'

LEGAL DESCRIPTION

Lot lettered 'A', Block 103, Bel-Air Subdivision as the same is shown and designated on the Plat of Lot A and B, Block 103, Recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on June 1, 1978, in Vol. C13, folio 118.

Legend

- Street light
- Parking light
- Storm drain manhole
- Sanitary Sewer manhole
- Power pole
- Service pole

PARKING SPACES SCHEDULE

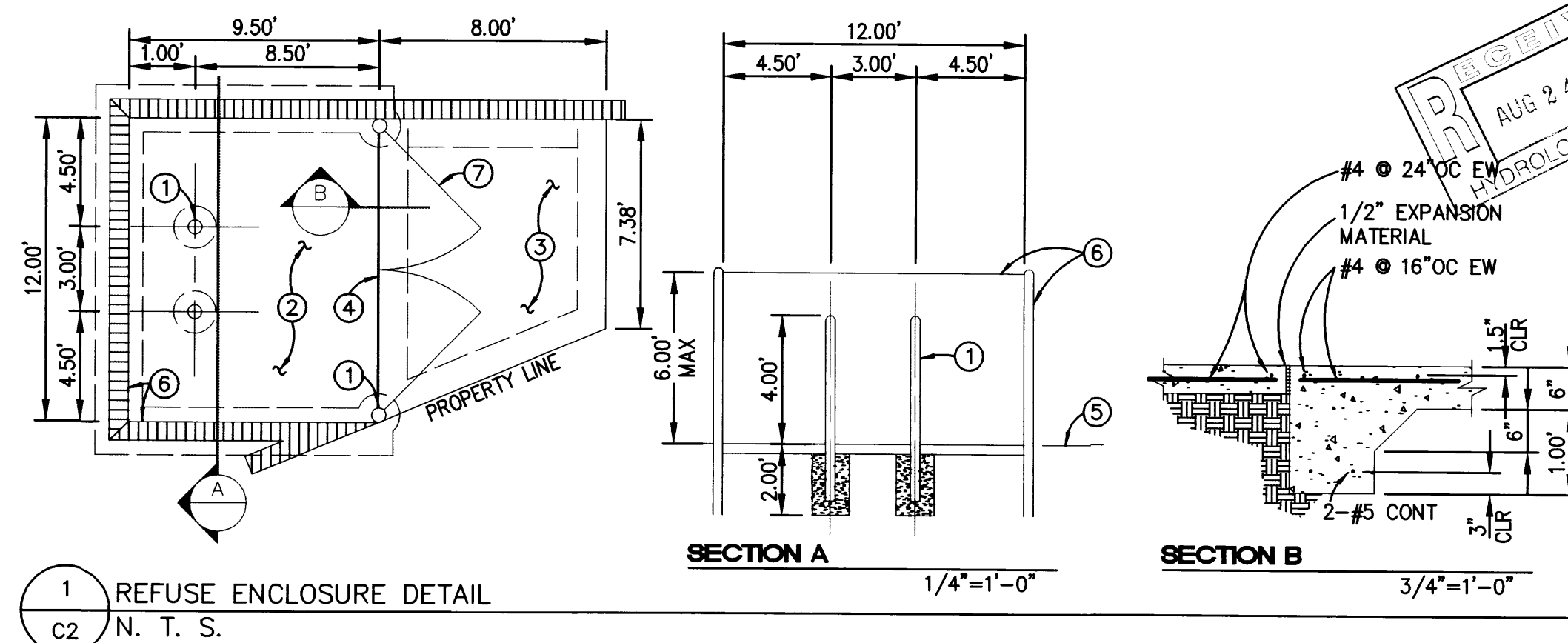
SPACES REQUIRED			SPACES PROVIDED		
REGULAR	ADA	TOTAL	REGULAR	ADA	TOTAL
9	1	10	11	1	12

CONSTRUCTION NOTES

- ALL CONCRETE SHALL BE 4000 PSI, AIR-ENTRAINED.
- ALL REINFORCING STEEL TO BE GRADE 60, GROUT ALL REINFORCED CELLS SOLID.
- GROUT ALL CELLS SOLID BELOW GRADE.
- CONSTRUCT ENCLOSURE WALLS TO MATCH EXISTING PERIMETER FENCE.

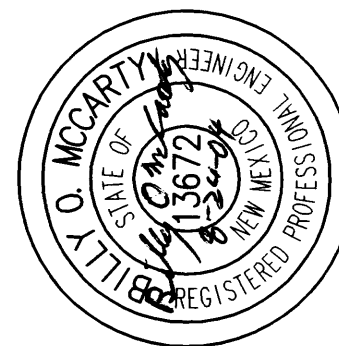
KEYED NOTES

- 6" OD CONCRETE FILLED PIPE ENCASED IN 12" CONCRETE ALL AROUND AND EMBEDDED 2'-0".
- CONCRETE SLAB: 6" THICK W/ #4 @ 16" OC EW, SLOPE TO DRAIN PER GRADING PLAN.
- CONCRETE APRON: 6" THICK W/ #4 @ 16" OC EW.
- 1/2" EXPANSION MATERIAL W/ SEALANT.
- FINISH GRADE, SEE GRADING PLAN.
- FENCE TO MATCH EXISTING PERIMETER FENCE.
- 6' HIGH GATES: STEEL FRAME W/ 6" CEDAR PICKETS (NO SPACE BETWEEN PICKETS).



885 POLARIS BLVD., SE
RIO RANCHO, NM 87124
PHONE (505) 886-0391
FAX (505) 884-3852
beamdesign@aol.com

BEAM
BUILDING
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ARCHITECTURE
MUNICIPAL
DESIGNS



PROJECT:

Car Lot Office
5700 Menaul Blvd NE

TITLE:

Grading Plan
and Traffic
Circulation

dNb

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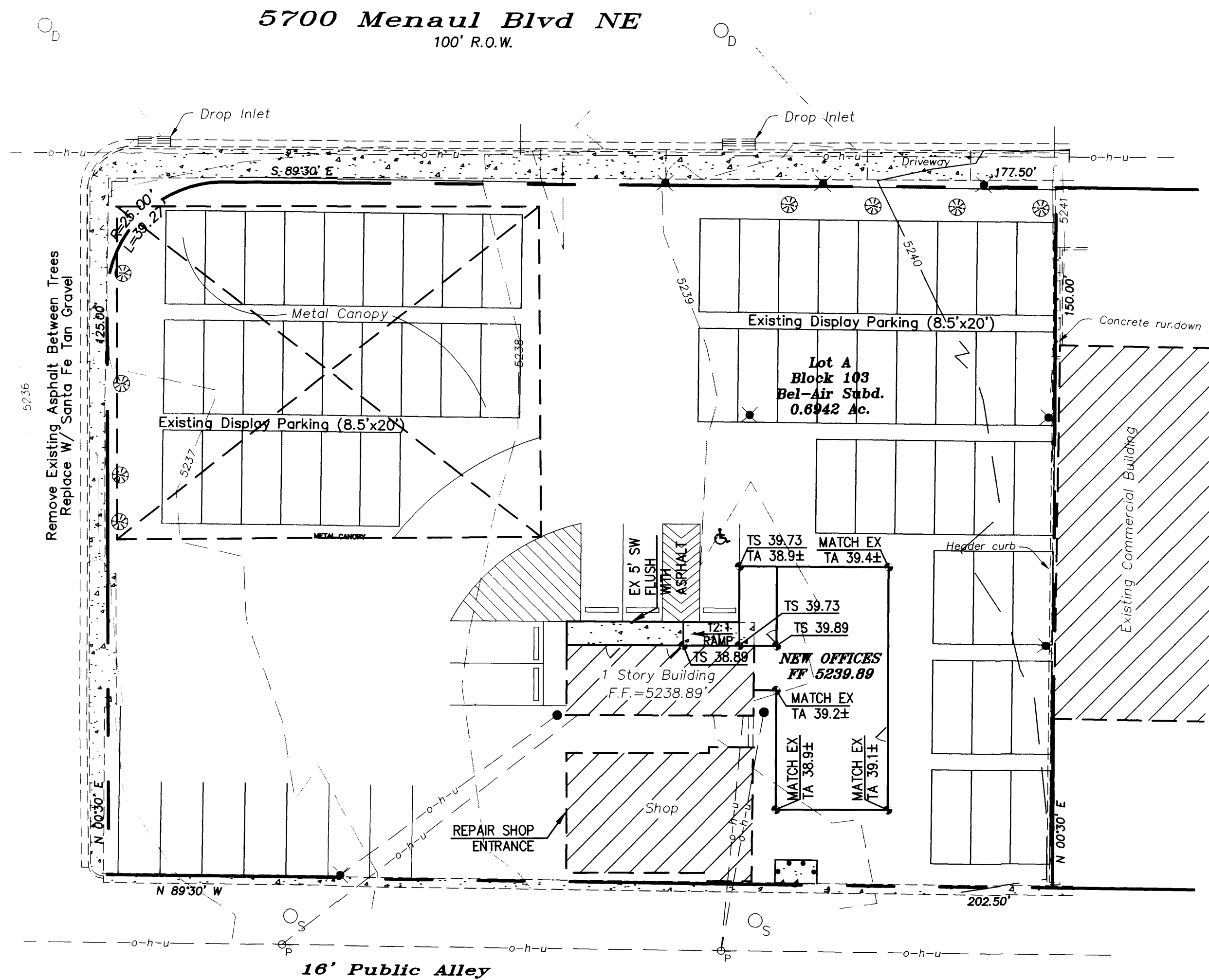
SCALE:

JOB NUM.:

C-2

SHEET:

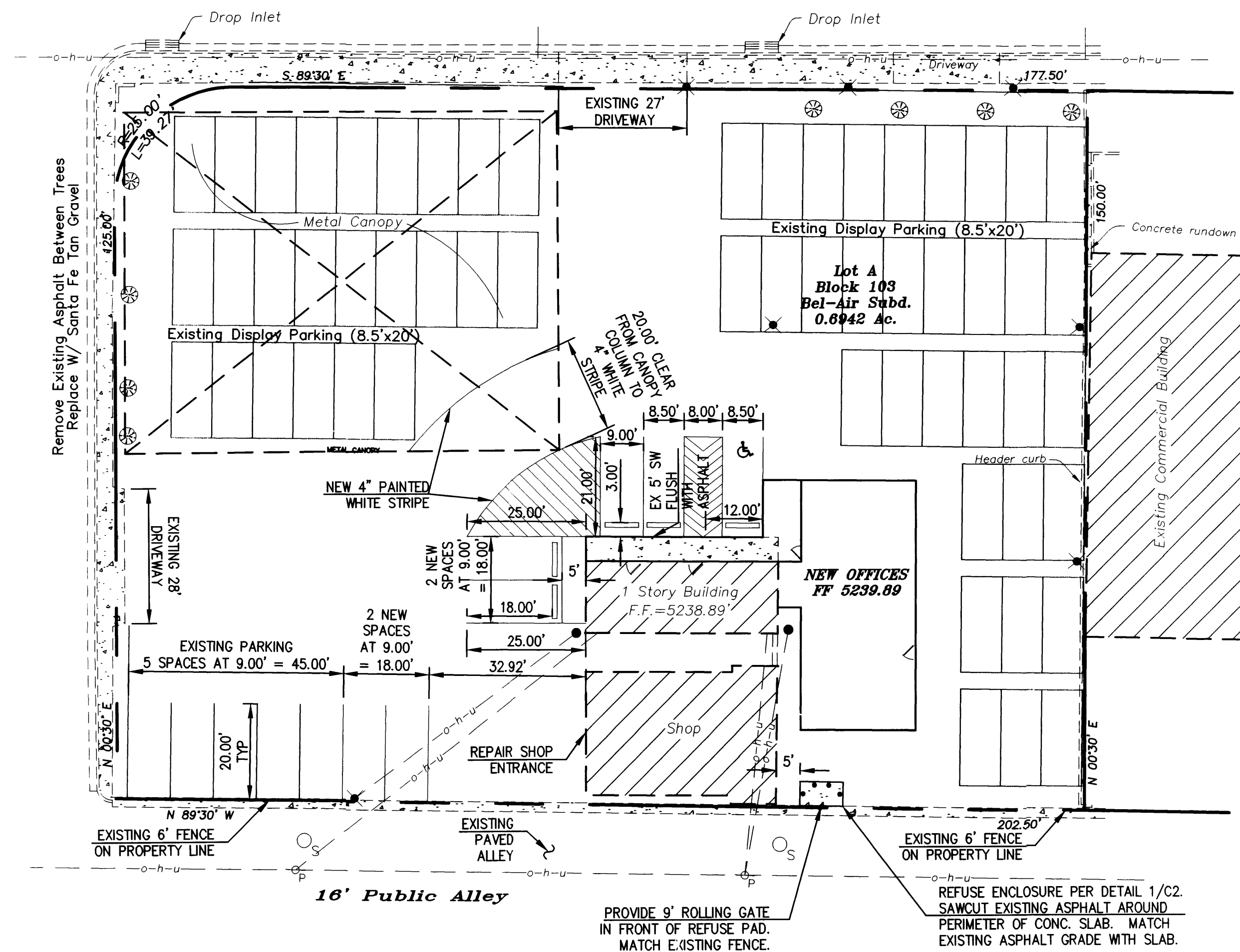
Valencia Drive NE
50' R.O.W.



Lot 'B', Block 103
Bel-Air Subdivision

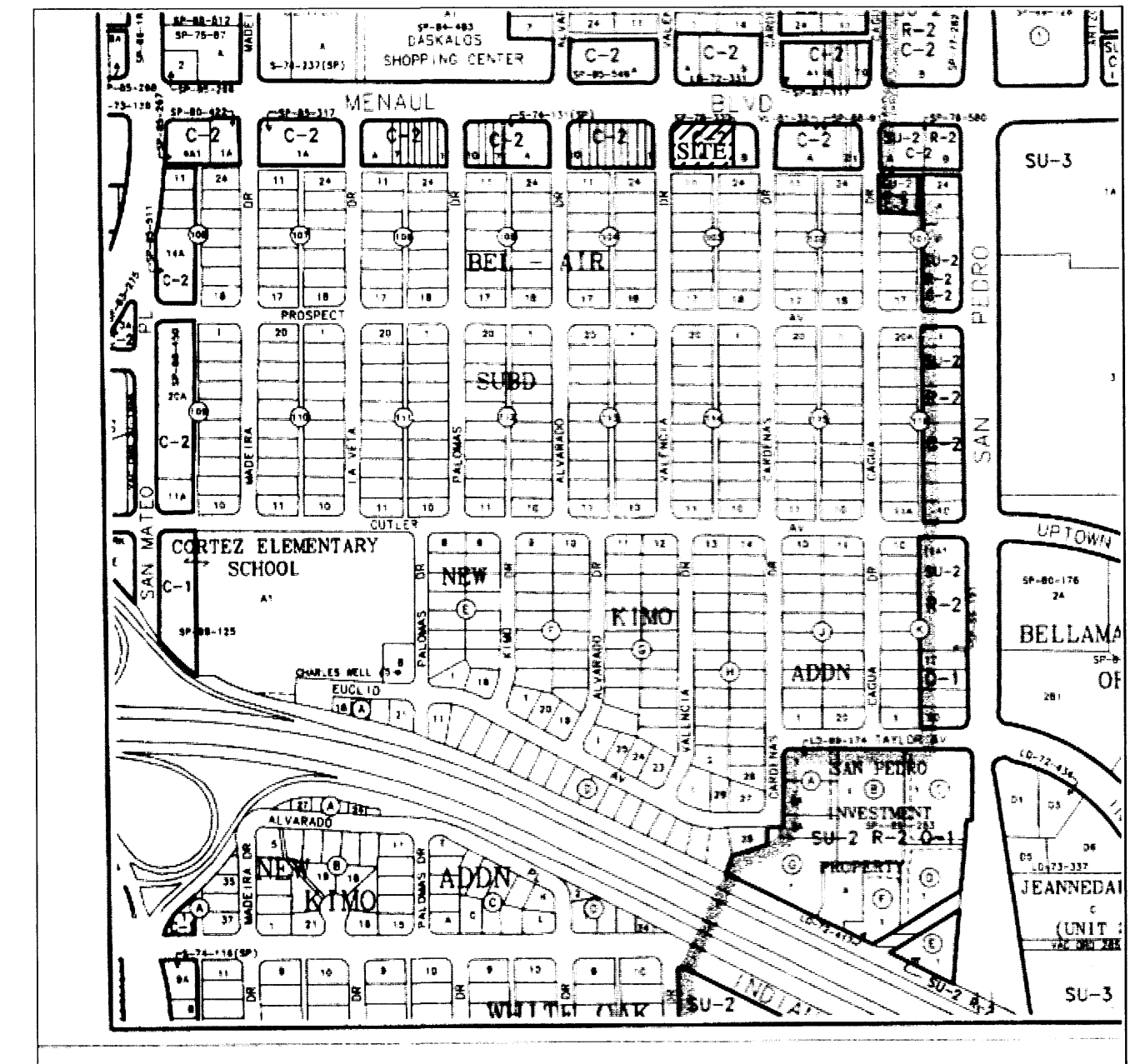
Grading Plan

Valencia Drive NE
50' R.O.W.



Lot 'B', Block 103
Bel-Air Subdivision

Traffic Circulation Layout



VICINITY MAP H-18

GENERAL NOTES

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LEGAL DESCRIPTION

Lot lettered 'A', Block 103, Bel-Air Subdivision as the same is shown and designated on the Plat of Lot A and B, Block 103, Recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on June 1, 1978, in Vol. C13, folio 118.

Legend

- Street light
- Parking light
- Storm drain manhole
- Sanitary Sewer manhole
- Power pole
- Service pole

PARKING SPACES SCHEDULE

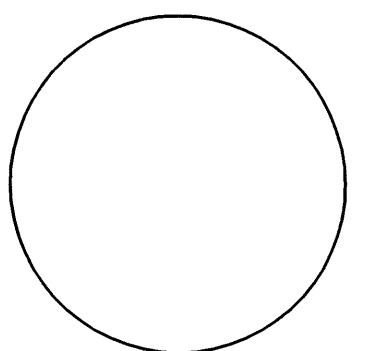
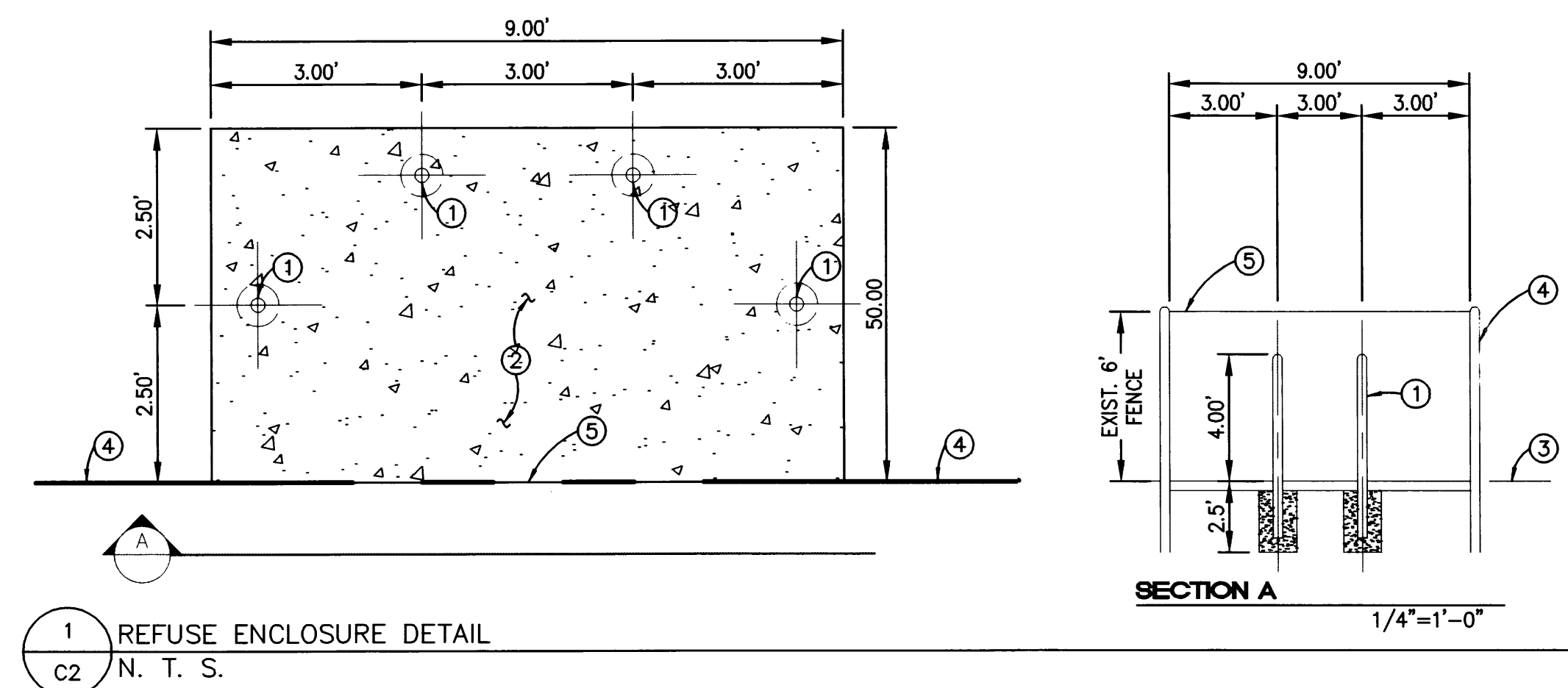
SPACES REQUIRED			SPACES PROVIDED		
REGULAR	ADA	TOTAL	REGULAR	ADA	TOTAL
9	1	10	11	1	12

KEYED NOTES

- 4" OD CONCRETE FILLED PIPE ENCASED IN 6" CONCRETE ALL AROUND AND EMBEDDED 2"-6".
- CONCRETE SLAB: 4" THICK W/ 4X4X1.4X1.4 WWF, SLOPE TO DRAIN PER GRADING PLAN.
- 3,000 PSI (28 DAY) CONCRETE WITH 3/4" AGGREGATE.
- FINISH GRADE, SEE GRADING PLAN.
- EXISTING PERIMETER FENCE.
- 9' ROLLING GATE TO MATCH EXISTING FENCE CONSTRUCTION.

TRAFFIC CIRCULATION LAYOUT APPROVED

Signed: *[Signature]* Date: 10/1/04



ROBERT C. PONTO
a r c h i t e c t



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Car Lot Office
5700 Menaul Blvd NE

TITLE:

Grading Plan
and Traffic
Circulation

dNb

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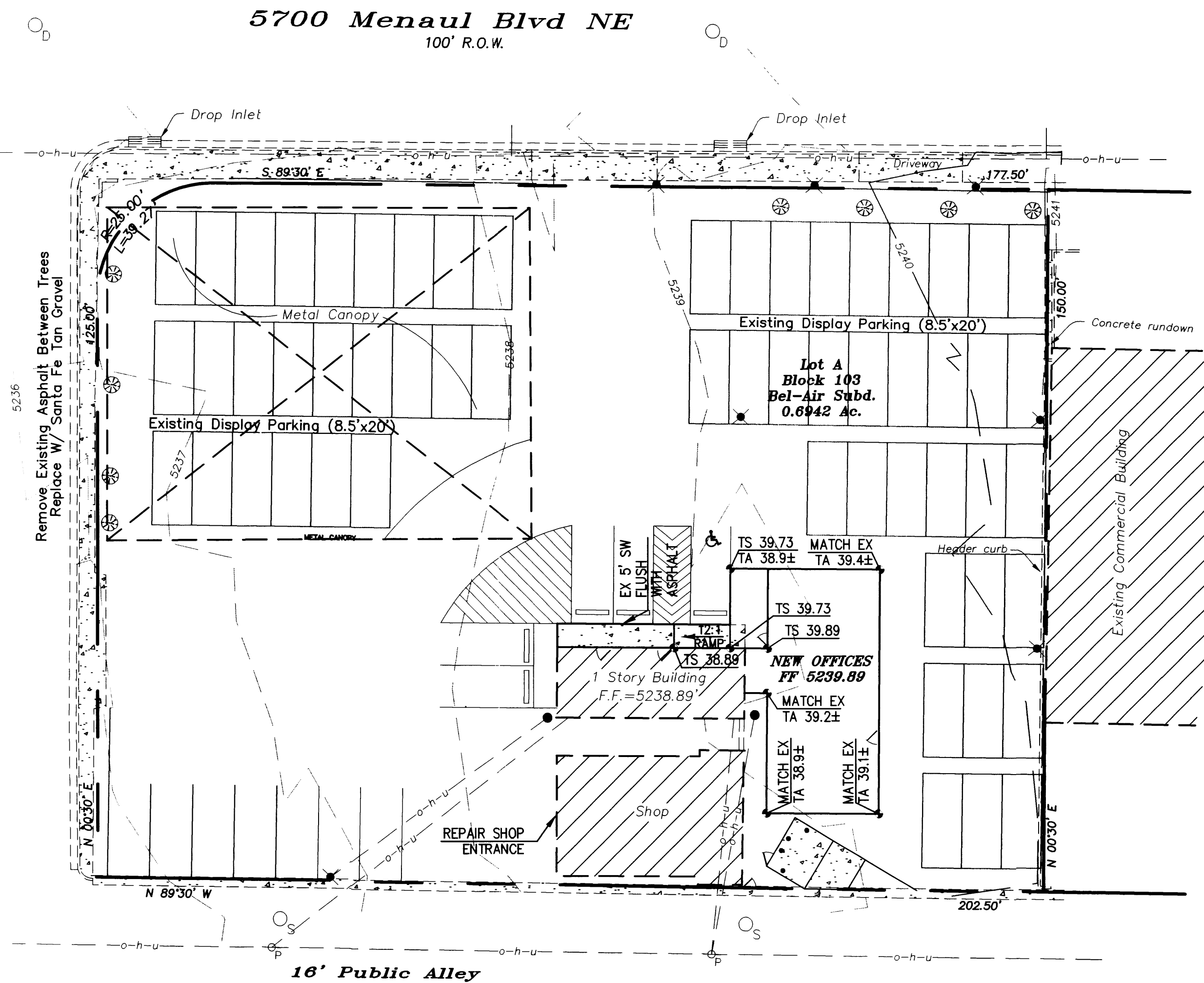
SHEET:

Valencia Drive NE

Valencia Drive NE

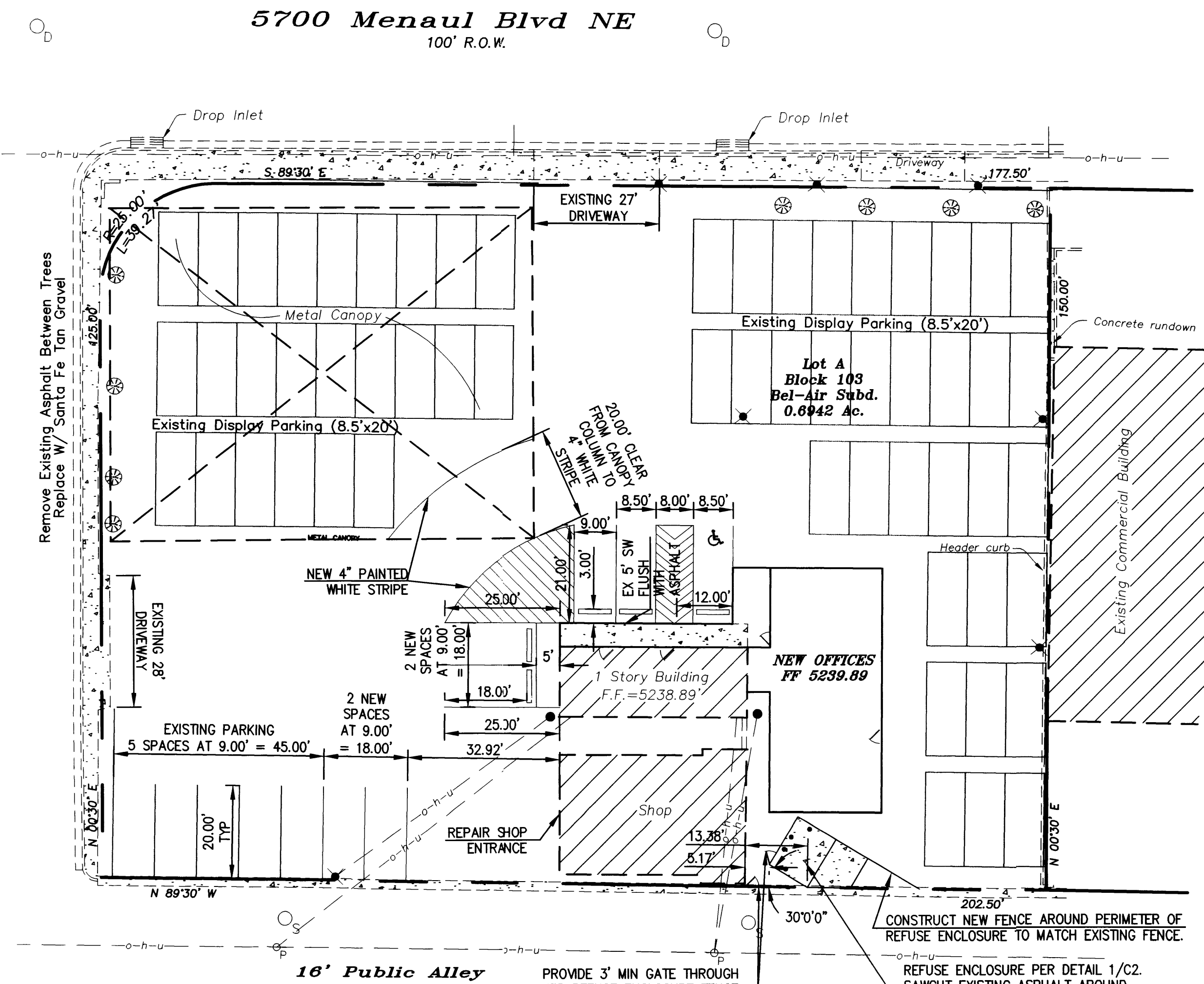
50' R.O.W.

50' R.O.W.



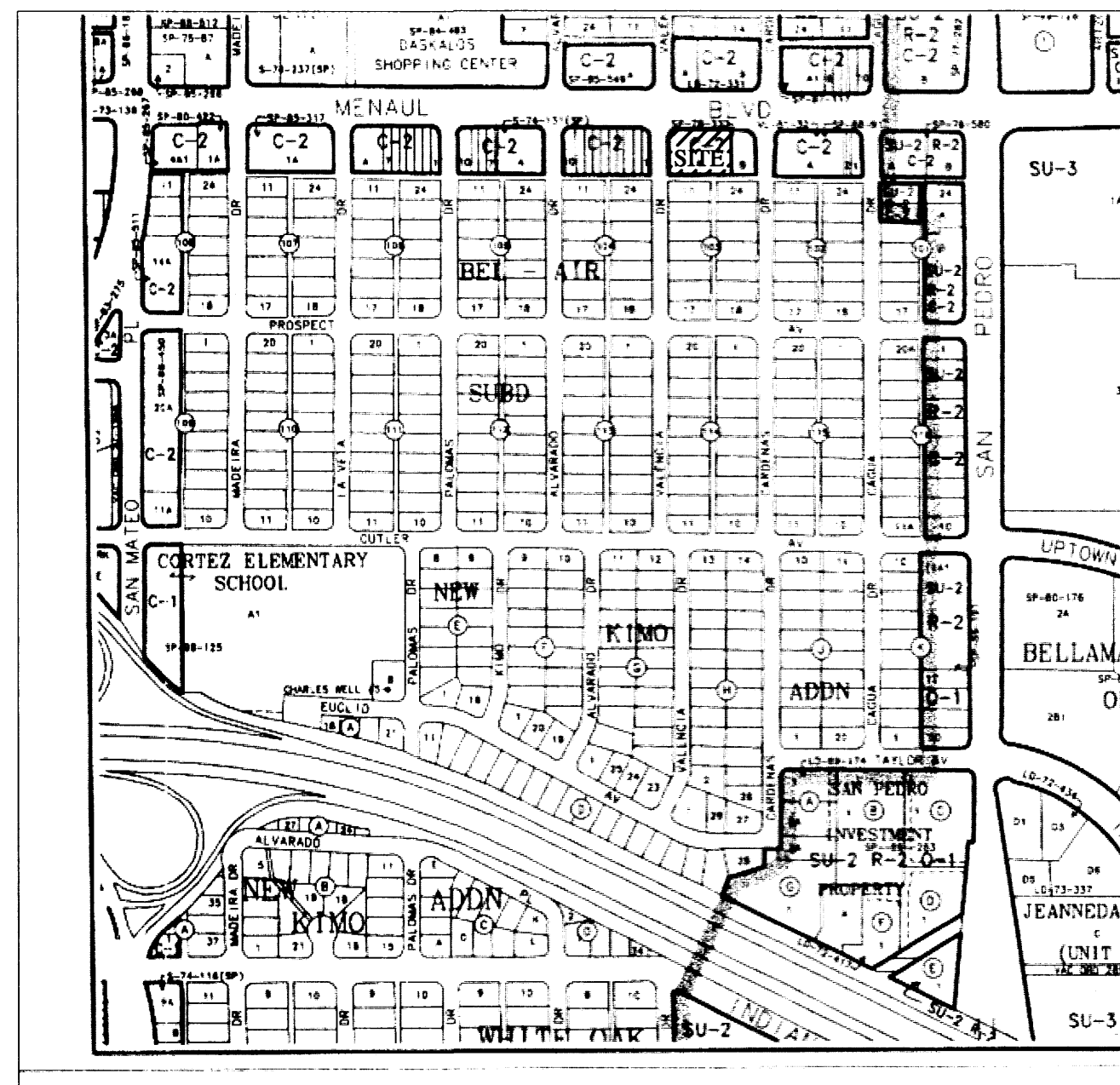
Lot 'B', Block 103
Bel-Air Subdivision

Grading Plan



Lot 'B', Block 103
Bel-Air Subdivision

Traffic Circulation Layout



VICINITY MAP H-18

GENERAL NOTES

1) Bench mark data based on City of Albuquerque, Engineering Division, Station no. 18-H18, (NAD 1927) Elevation = 5230.111'

LEGAL DESCRIPTION

Lot lettered 'A', Block 103, Bel-Air Subdivision as the same is shown and designated on the Plot of Lot A and B, Block 103, Recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on June 1, 1978, in Vol. C13, folio 118.

Legend

- Street light
- Parking light
- Storm drain manhole
- Sanitary Sewer manhole
- Power pole
- Service pole

PARKING SPACES SCHEDULE

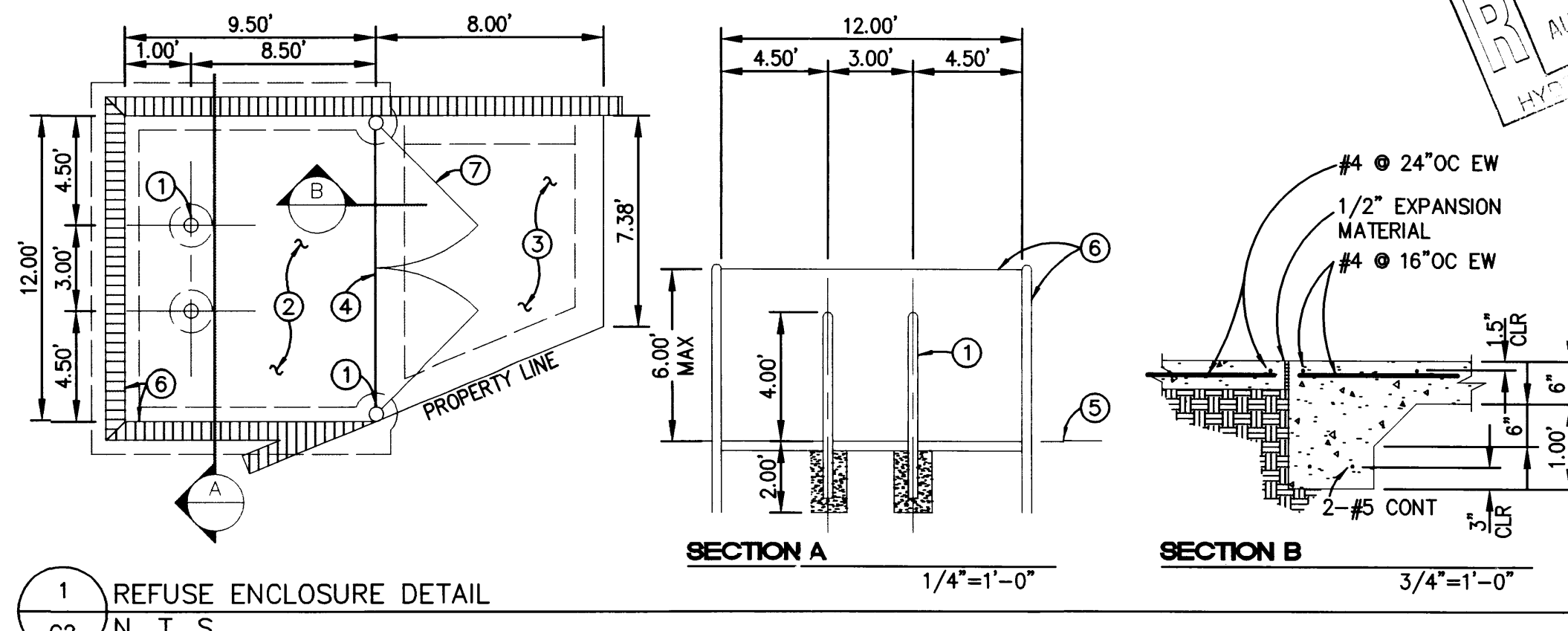
SPACES REQUIRED	SPACES PROVIDED
REGULAR ADA TOTAL	REGULAR ADA TOTAL
9 1 10	11 1 12

CONSTRUCTION NOTES

- ALL CONCRETE SHALL BE 4000 PSI, AIR-ENTRAINED.
- ALL REINFORCING STEEL TO BE GRADE 60, GROUT ALL REINFORCED CELLS SOLID.
- GROUT ALL CELLS SOLID BELOW GRADE.
- CONSTRUCT ENCLOSURE WALLS TO MATCH EXISTING PERIMETER FENCE.

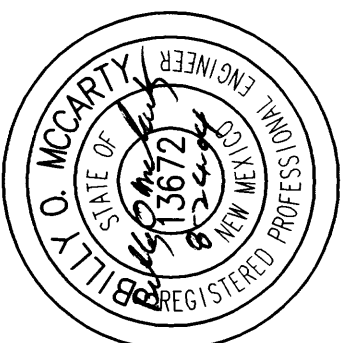
KEYED NOTES

- 6" OD CONCRETE FILLED PIPE ENCASED IN 12" CONCRETE ALL AROUND AND EMBEDDED 2'-0".
- CONCRETE SLAB: 6" THICK W/ #4 @ 16" OC EW, SLOPE TO DRAIN PER GRADING PLAN.
- CONCRETE APRON: 6" THICK W/ #4 @ 16" OC EW.
- 1/2" EXPANSION MATERIAL W/ SEALANT.
- FINISH GRADE, SEE GRADING PLAN.
- FENCE TO MATCH EXISTING PERIMETER FENCE.
- 6' HIGH GATES: STEEL FRAME W/ 6" CEDAR PICKETS (NO SPACE BETWEEN PICKETS).



ROBERT C. PONTO

architect



PROJECT:

Car Lot Office
5700 Menaul Blvd NE

TITLE:

Grading Plan
and Traffic
Circulation

CHECKED BY:

August 24, 2004

DATE:

1" = 20'

SCALE:

JOB NUM.:

C-2

SHEET:

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL /LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND METTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAIL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE SOVERNING AUTHORITY.

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.642 ACRES LOCATED ON THE SOUTHEAST CORNER OF MENAUL BOULEVARD, NE AND VALENCIA DRIVE, NE AS SEEN ON THE VICINITY MAP ON SHEET 2. THE SITE IS DEVELOPED AS A USED CAR SALES LOT AND IS 100 PERCENT IMPERVIOUS DUE TO ASPHALT PAVING WITHIN THE PARKING AREA, AN EXISTING 600 SQUARE FOOT SALES OFFICE, AND A 1045 SQUARE FOOT SERVICE SHOP. THE PROPOSED DEVELOPMENT WILL INCLUDE A 1295 SQUARE FOOT SALES OFFICE ATTACHED TO THE EXISTING SALES OFFICE.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0352 E, DATED NOVEMBER 19, 2003 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN.

METHODOLOGY

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION

THE 100-YR, 6-HR AND 100-YR, 10 DAY DURATION STORM EVENTS WERE USED AS THE DESIGN STORMS FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 3 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WERE USED TO ESTABLISH THE 6-HOUR, 24-HOUR, AND 10-DAY PRECIPITATION VALUES, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE

THE SITE IS DEVELOPED AS DESCRIBED ABOVE IN "LOCATION AND DESCRIPTION." MENAUL BOULEVARD IS A DEVELOPED STREET WITH CURB AND GUTTER AND A STORM DRAIN WITH INLETS ADJACENT TO THIS SITE TO THE NORTH. THE PROPERTY TO THE EAST IS DEVELOPED WITH A BUILDING ON THE PROPERTY LINE. THE BUILDING HAS GUTTERS THAT COLLECT THE ROOF RUNOFF AND DISCHARGE IT TO RUNDOWNS THAT CARRY THE RUNOFF NORTH TO MENAUL BOULEVARD AND SOUTH TO THE ALLEY. THE ALLEY, TO THE SOUTH, AND VALENCIA STREET, TO THE WEST ARE LOWER THAN THIS SITE. THEREFORE, THERE ARE NO OFFSITE DRAINAGE BASINS DRAINING TO THIS SITE. ONLY THE SITE ITSELF IS EVALUATED IN THIS STUDY. UNDER EXISTING CONDITIONS, THE SITE IS 100% IMPERVIOUS AND SURFACE DRAINS TO VALENCIA STREET AT THE SOUTHWEST CORNER OF THE SITE.

DEVELOPED CONDITION

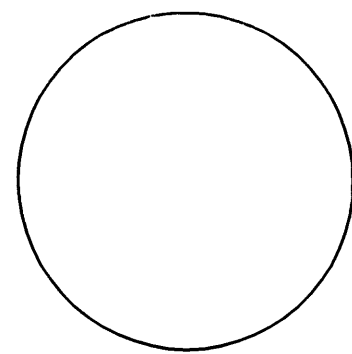
THE PROPOSED DEVELOPMENT WILL REPLACE EXISTING ASPHALT WITH THE NEW BUILDING AND REMOVE SOME ASPHALT WITHIN THE LANDSCAPE AREAS TO MEET THE CITY'S LANDSCAPE REQUIREMENTS. THEREFORE, THE SITE IS ANALYZED AS 90% IMPERVIOUS UNDER DEVELOPED CONDITIONS. THIS WILL DECREASE THE SITE'S NET RUNOFF BY APPROXIMATELY 3% FROM 3.48-CFS TO 3.38 CFS. DRAINAGE PATTERNS WILL NOT BE ALTERED BY THIS DEVELOPMENT.

100-YEAR HYDROLOGIC CALCULATIONS											
BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
SITE	0.6942	0.00	0.00	0.00	100.00	2.36	0.14	5,947	0.27	11,743	3.48
PROPOSED CONDITIONS											
SITE	0.6942	0.00	0.00	10.00	90.00	2.25	0.13	5,677	0.25	10,894	3.38
EXCESS PRECIP		0.66	0.92	1.29	2.36	E _i (in)					
PEAK DISCHARGE		1.87	2.6	3.45	5.02	Q _n (cfs)					
WEIGHTED E (in) = (E _A)(%A) + (E _B)(%B) + (E _C)(%C) + (E _D)(%D)							ZONE = 3				
V _{6-hr} (acre-ft) = (WEIGHTED E)(AREA)/12							P _{6-hr} (in.) = 2.60				
V _{10day} (acre-ft) = V _{6-hr} + (A _n)(P _{10day} - P _{6-hr})/12							P _{24-hr} (in.) = 3.10				
Q (cfs) = (Q _n)(A _n) + (Q _{ex})(A _{ex}) + (Q _{ex})(A _c) + (Q _{ex})(A _o)							P _{10day} (in.) = 4.90				

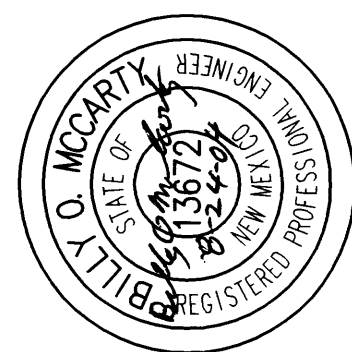
855 POLARIS BLVD., SE
RIO RANCHO, NM 87124
PHONE (505) 886-0391
FAX (505) 994-3952
beamedesigns@west.net

BEAM
DESIGNS

BUILDING
ENGINEERING
AND
MUNICIPAL
DESIGNS



ROBERT C. PONTO
a r c h i t e c t



PROJECT:

Car Lot Office
5700 Menaul Blvd NE

TITLE:

Civil General
Notes and
Drainage
Information

dNb

DRAWN BY:

B.O.M.

CHECKED BY:

August 24, 2004

DATE:

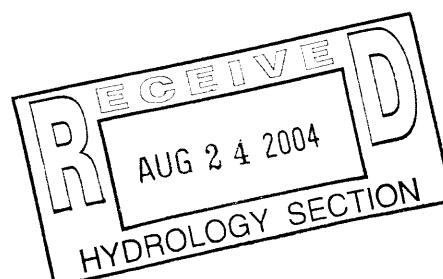
1" = 20'

SCALE:

JOB NUM.:

C-1

SHEET:



ABBREVIATIONS

A = AIR LINE

AD = AREA DRAIN

AIP = ABANDONED IN PLACE

BLDG = BUILDING

BM = BENCHMARK

CATV = CABLE TELEVISION LINE

CIP = CAST IRON PIPE

CMP = CORRUGATED METAL PIPE

CMPA = CORRUGATED METAL PIPE ARCH

CO = CLEANOUT

COA = CITY OF ALBUQUERQUE

CONC = CONCRETE

CL = CENTERLINE

DIA = DIAMETER

DIP = DUCTILE IRON PIPE

DTL = DETAIL

DWG = DRAWING

E = ELECTRIC LINE

ELEC. = ELECTRIC

ELEV = ELEVATION

EX = EXISTING

FF = FINISHED FLOOR ELEVATION

FG = FINISHED GRADE

FH = FIRE HYDRANT

FL = FLOW LINE

G = GAS PIPE

GM = GAS METER

GV = GATE VALVE

HI PT = HIGH POINT

INV = INVERT ELEVATION

LF = LINEAL FEET

LP = LIGHT POLE

L/S = LANDSCAPING

MH = MANHOLE

NG = NATURAL GROUND

OE = OVERHEAD ELECTRIC LINE

OT = OVERHEAD TELEPHONE LINE

PB = ELECTRICAL PULL BOX

PCC = PORTLAND CEMENT CONCRETE

PP = POWER POLE

PROP = PROPOSED

PVC = POLYVINYL CHLORIDE PPE

RCP = REINFORCED CONCRETE PIPE

RD = ROOF DRAIN

R/W = RIGHT-OF-WAY

S = SLOPE

SAS = SANITARY SEWER

SD = STORM DRAIN

STA = STATION

STD = STANDARD

SW = SIDEWALK

T = TELEPHONE

TA = TOP OF ASPHALT PAVEMENT

TAC = TOP OF ASPHALT CURB

TC = TOP OF CONCRETE SLAB (PAVEMENT)

TCC = TOP OF CONCRETE CURB

TG = TOP OF GRATE

TS = TOP OF SIDEWALK

TW = TOP OF WALL

TYP = TYPICAL

TB = TELEPHONE BOX

UE = UNDERGROUND ELECTRIC

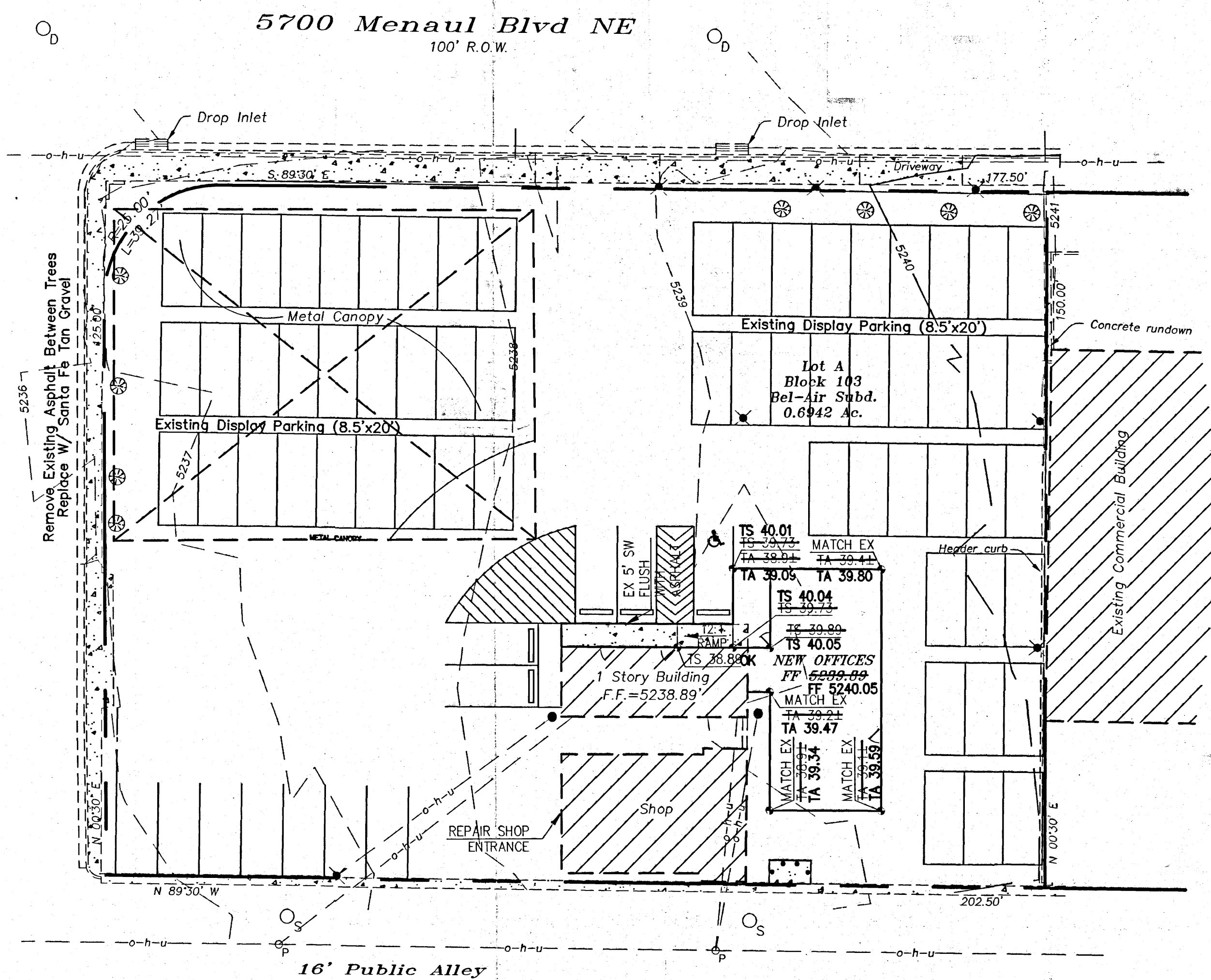
UT = UNDERGROUND TELEPHONE

W = WATER

WM = WATER METER

WV = WATER VALVE

Valencia Drive NE
50' R.O.W.



Lot 'B', Block 103
Bel-Air Subdivision

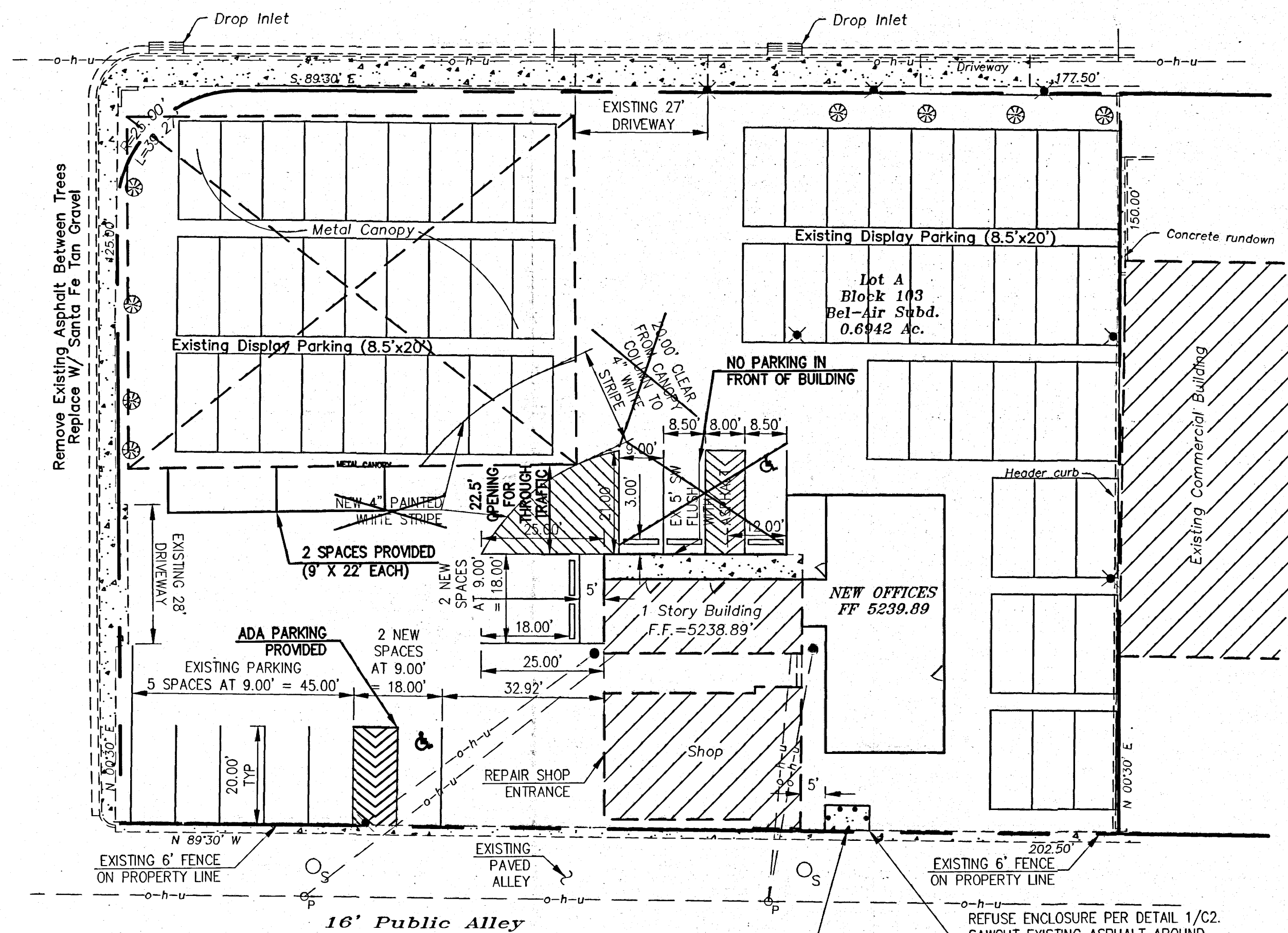
Grading Plan



GRAPHIC SCALE (1 INCH = 20. FEET)

5700 Menaul Blvd NE
100' R.O.W.

Valencia Drive NE
50' R.O.W.



Lot 'B', Block 103
Bel-Air Subdivision

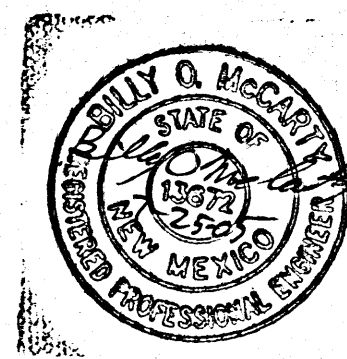
Traffic Circulation Layout

AS-BUILT CERTIFICATION

I, Billy O. McCarty, NMPE 13672, of the firm BEAM Designs, hereby certify that this project has been constructed in substantial compliance with and in accordance with the design intent of the approved plans dated 08/24/04. The record information edited onto the original design document has been obtained by BEAM Designs. I further certify that I have personally visited the project site on 07/25/05 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Final Acceptance.

Exceptions: Exceptions, if any, are annotated in bold print on this sheet. Parking lot striping has been altered to eliminate parking in front of the building and provide a 22.5' drive aisle between the existing canopy and porch. This is in lieu of a 20' aisle under the canopy. The through access and required number of spaces are still provided thereby supporting the substantial compliance with the design intent.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Construction Drawings for this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



GENERAL NOTES

1) Bench mark data based on City of Albuquerque, Engineering Division, Station no. 18-H18, (NAD 1927) Elevation = 5230.111'

LEGAL DESCRIPTION

Lot lettered 'A', Block 103, Bel-Air Subdivision as the same is shown and designated on the Plat of Lot A and B, Block 103, Recorded in the Office of the County Clerk of Bernalillo County, New Mexico, on June 1, 1978, in Vol. C13, folio 118.

Legend

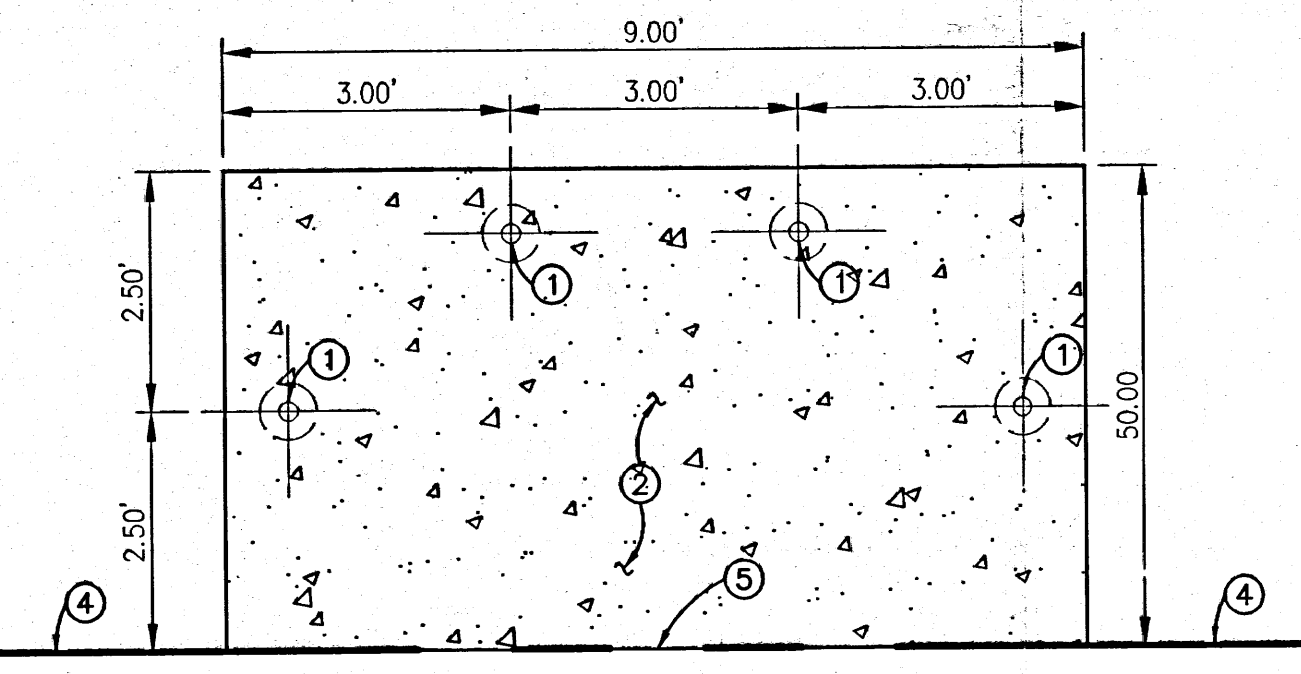
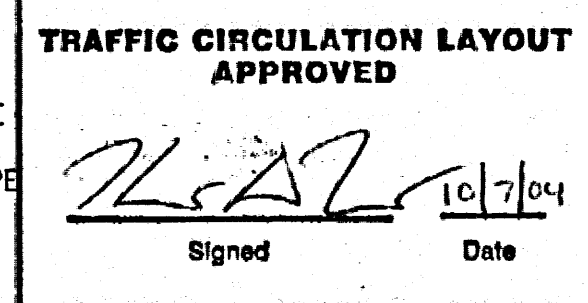
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PARKING SPACES SCHEDULE

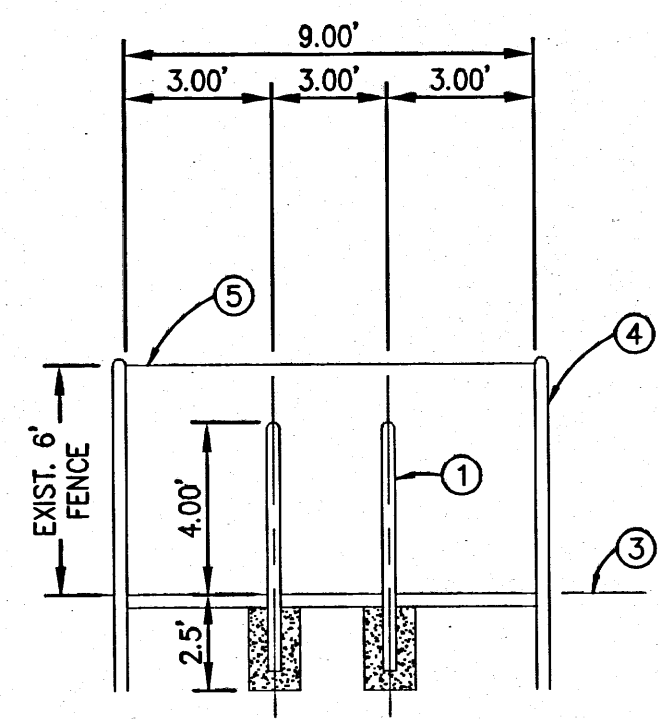
SPACES REQUIRED	SPACES PROVIDED
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KEYED NOTES

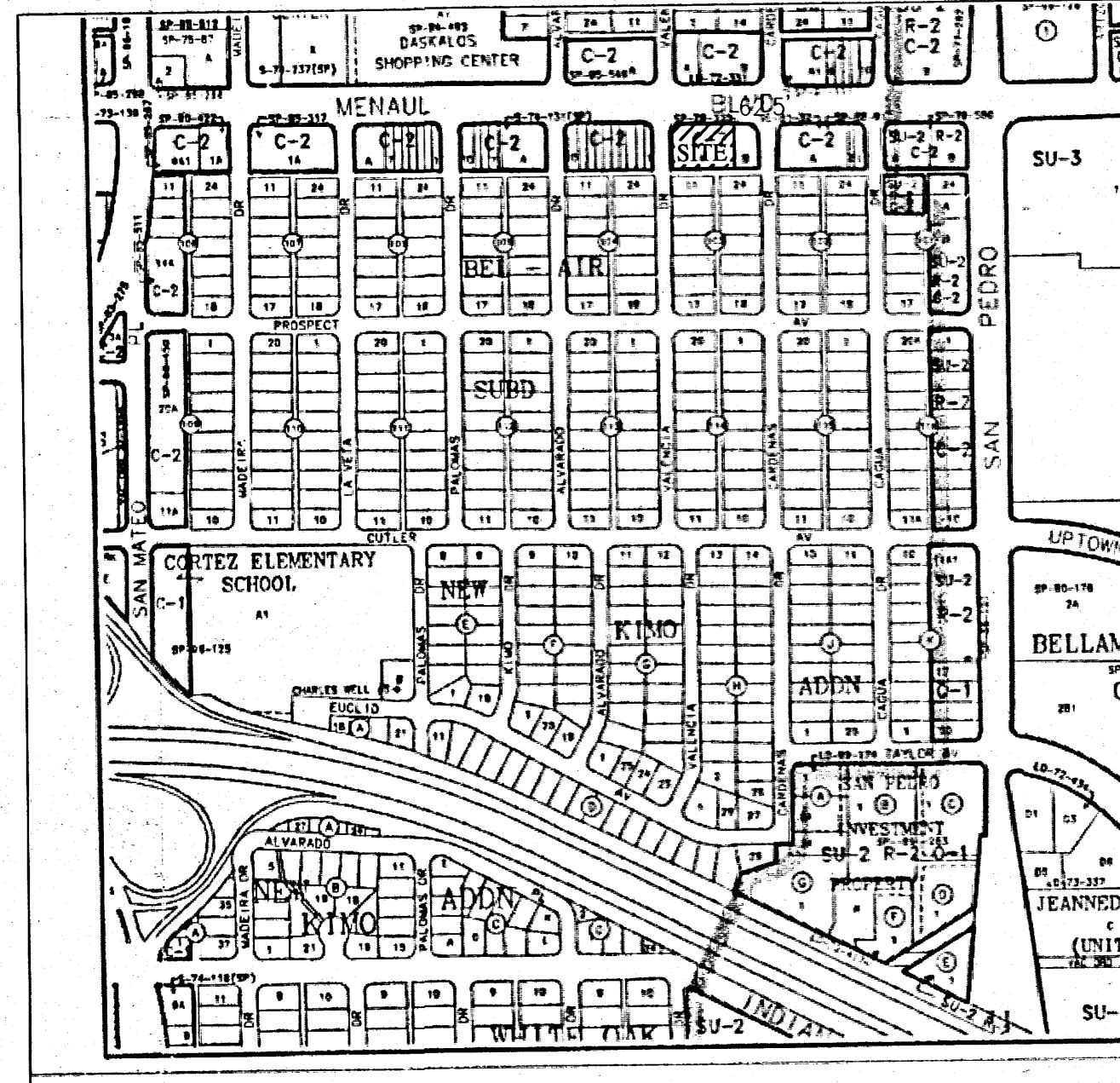
- 4" OD CONCRETE FILLED PIPE ENCASED IN 6" CONCRETE ALL AROUND AND EMBEDDED 2"-6".
- CONCRETE SLAB: 4" THICK W/ 4X4X1.4X1.4 WWF, SLOPE TO DRAIN PER GRADING PLAN.
- 3,000 PSI (28 DAY) CONCRETE WITH 3/4" AGGREGATE.
- FINISH GRADE, SEE GRADING PLAN.
- EXISTING PERIMETER FENCE.
- 9' ROLLING GATE TO MATCH EXISTING FENCE CONSTRUCTION.



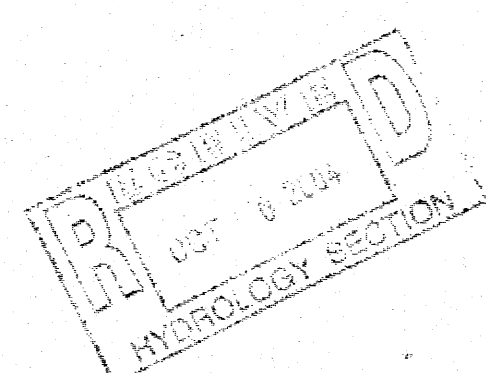
1 REFUSE ENCLOSURE DETAIL
C2 N. T. S.



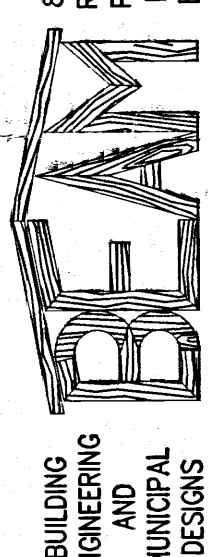
SECTION A
1/4"=1'-0"



VICINITY MAP H-18



855 POLARIS BLVD., SE
RIO RANCHO, NM 87124
PHONE (505) 886-0391
FAX (505) 994-3952
beamedesigns@aol.com



ROBERT C. PONTO
a r c h i t e c t

PROJECT:
Car Lot Office
5700 Menaul Blvd NE

TITLE:
Grading Plan
and Traffic
Circulation

dNb
DRAWN BY:
B.O.M.
CHECKED BY:
August 24, 2004
DATE:
1" = 20'
SCALE:
JOB NUM.:
JUL 28 2005
HYDROLOGY SECTION
C-2
SHEET: