

CITY OF ALBUQUERQUE  
MUNICIPAL DEVELOPMENT DEPARTMENT  
ENGINEERING DIVISION/DESIGN HYDROLOGY SECTION

PRE-DESIGN CONFERENCE RECAP

HYDROLOGY SECTION PROJECT NO.: H-18 DATE: 2-25-85

PLANNING DIVISION NOS. EPC: \_\_\_\_\_ DRB: \_\_\_\_\_

SUBJECT: Commercial bldg At San Mateo

LEGAL DESCRIP.: Block 10-19 inclusive - Block 68 Bal Air Sub Div

APPROVAL REQUESTED

\_\_\_\_ PRELIMINARY PLAT

\_\_\_\_ FINAL PLAT

\_\_\_\_ SITE DEVELOPMENT PLAN

☒ BUILDING PERMIT

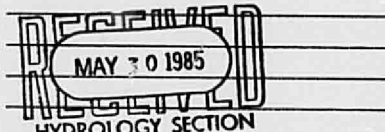
\_\_\_\_ ROUGH GRADING

WHO:

REPRESENTING:

ATTENDANCE:

Herman Koval  
Carl A. Monte



\_\_\_\_ Conceptual Drainage Plan/Report required for Preliminary Plat and/or Site Development Plan sign-off.

☒ Approved Drainage Plan/Report required for Final Plat and/or Building Permit sign-off.

\_\_\_\_ Subdivision Improvements Agreement or Financial Security required.

FINDINGS: ① Drainage plan per DPM ② Free discharge because of  
new system being built upstream At the bottom of the watershed ③  
infill area ④ remove lot lines in drainage consent for future access  
lot lines

The undersigned agrees that the above findings are summarized accurately and are only subject to change if further investigation reveals that they are not reasonable or that they are based on inaccurate information.

SIGNED: Carl A. Monte

SIGNED: [Signature]

TITLE: C/E Hydrology

TITLE: [Signature]

DATE: 2-25-85

DATE: 2/25/85

**\*\*NOTE\*\*** PLEASE PROVIDE A COPY OF THIS RECAP WITH THE DRAINAGE SUBMITTAL

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Knights Of Columbus ZONE ATLAS/DRNG. FILE #: H-18/039  
 LEGAL DESCRIPTION: Lots 10 thru 19, Block 68, Bel-Air Addition (current Legal)  
 CITY ADDRESS: 2800 San Mateo Blvd. N.E.

ENGINEERING FIRM: LOVELADY AND ASSOC. CONTACT: FRANK LOVELADY P.E.

ADDRESS: 7408 Morrow Rd. N.E. PHONE: 883-7973

OWNER: Lamy Columbus Corp. (Kights Of CONTACT: Paul Maestas, President

ADDRESS: 2727 San Pedro NE Columbus) PHONE: 883-3070 Maestas, President

ARCHITECT: Ken Hovey Design Group CONTACT: Ken Hovey

ADDRESS: 3700 Simms Ave. SE PHONE: 255-9400

SURVEYOR: same as Engineer CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

CONTRACTOR: N/A CONTACT: \_\_\_\_\_

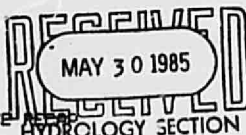
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

PRE-DESIGN MEETING:

☒ YES

☐ NO

☒ COPY OF CONFERENCE SHEET PROVIDED



DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: May 30, 1981

BY: Herman Hood



## *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION  
123 Central NW, Albuquerque, NM 87102  
(505) 766-7644

June 14, 1985

Mr. Frank Lovelady  
Lovelady & Associates, Inc.  
7408 Morrow Road NE  
Albuquerque, NM 87108

REF: DRAINAGE PLAN FOR KNIGHTS OF COLUMBUS (H18-D39) RECEIVED MAY 30, 1984

Dear Frank:

I have reviewed the above referenced submittal and forward the following comments:

1. The drainage plan needs to be dated by the Engineer who prepared the plan.
2. Surface treatment on the site is unclear.
3. Contours and/or spot elevations within 25' of property lines are required.
4. Easement on the property must be identified.
5. Garden walls must be clearly identified.
6. Flow lines are needed or sufficient spot elevations to clearly define the flowpaths.
7. Internal contribution drainage areas are not clearly delineated.
8. Nuisance waters need to be contained on-site.
9. Drainage sidewalk culvert has wrong citation, please refer to the new Public Works Contract Document 85-1.
10. "Private Drainage Facilities Within City Right-of-Way/  
Easement" for the channel will need to be attached to the construction set for building permit approval.

### MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Sheppard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

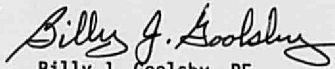
AN EQUAL OPPORTUNITY EMPLOYER

Mr. Frank Lovelady  
June 14, 1985  
Page -2-

11. A copy of a recorded plat eliminating lot lines or a drainage covenant for flows across lot lines is required.
12. Why are there no off-site flows contributing to this site?
13. Proposed and existing elevations at property lines are needed.

If you should have any questions, please feel free to call me at 766-7644.

Sincerely,



Billy J. Goolsby, PE  
Civil Engineer/Hydrology

BJG:mrk

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: Knights Of Columbus ZONE ATLAS/DRNG. FILE #: H18-D39  
 LEGAL DESCRIPTION: Lots 10 thru 19, Block 68, Bel-Air Addition (current Legal)  
 CITY ADDRESS: 2800 San Mateo Blvd. N.E.

ENGINEERING FIRM: LOVELADY AND ASSOC. CONTACT: FRANK LOVELADY P.E.  
 ADDRESS: 7408 Morrow Rd. N.E. PHONE: 883-7973

OWNER: Lamy Columbus Corp. (Kights Of Columbus) CONTACT: Paul Maestas, President  
 ADDRESS: 2727 San Pedro NE PHONE: 883-3070

ARCHITECT: Ken Hovey Design Group CONTACT: Ken Hovey  
 ADDRESS: 3700 Simms Ave. SE PHONE: 255-9400

SURVEYOR: same as Engineer CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

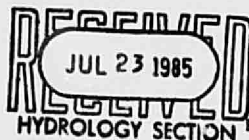
CONTRACTOR: N/A CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

PRE-DESIGN MEETING:

☒ YES

☐ NO

☐ COPY OF CONFERENCE RECAP  
 SHEET PROVIDED



DRB NO. \_\_\_\_\_

EPC NO. \_\_\_\_\_

PROJ. NO. \_\_\_\_\_

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☒ DRAINAGE PLAN ( 2nd Submittal )

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☒ GRADING PLAN ( 2nd Submittal )

☐ EROSION CONTROL PLAN

☐ ENGINEER'S CERTIFICATION

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL

☐ PRELIMINARY PLAT APPROVAL

☐ SITE DEVELOPMENT PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☒ BUILDING PERMIT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY APPROVAL

☐ ROUGH GRADING PERMIT APPROVAL

☐ GRADING/PAVING PERMIT APPROVAL

☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: July 22, 1985

BY: Herman Hood

LOVELADY & ASSOC  
7408 MORROW RD. N.E.  
ALBUQUERQUE, NEW MEXICO  
JULY 22, 1985

BILLY J. GOOLSBY, P.E.  
CITY OF ALBUQUERQUE  
P.O. BOX 1293  
ALBUQUERQUE, NEW MEXICO 87102

REF: DRAINAGE PLAN FOR KNIGHTS OF COLUMBUS (H18-D39)

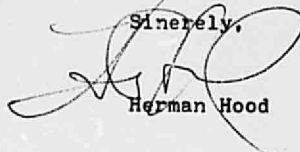
Dear Billy:

All comments received June 14, 1985 to the above referenced have been addressed on new submittal. An approved "Private Drainage Facilities Within City Right-of-way/ Easement" documents will be attached to construction drawings and a filed replat eliminating lot lines will be submitted to your office for review.

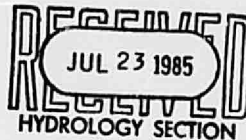
Your approval is requested at this time.

Thank you for your time and consideration.

Sincerely,



Herman Hood





## City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DESIGN HYDROLOGY SECTION  
123 Central NW, Albuquerque, NM 87102  
(505) 766-7644

September 3, 1985

Mr. Frank Lovelady  
Lovelady and Associates  
7408 Morrow Road NE  
Albuquerque, NM 87123

REF: REVISED DRAINAGE PLAN FOR KNIGHTS OF COLUMBUS, 2800 SAN MATEO  
BOULEVARD NE (H18-D39) RECEIVED JULY 23, 1985

Dear Mr. Lovelady:

The above referenced submittal, dated July 22, 1985, is approved for Building Permit purposes.

Please attach a copy of this approved plan along with the appropriately approved "Private Drainage Facilities Within City R/W/Easement" document to the construction sets prior to Hydrology sign-off.

Also, please provide a copy of the recorded plat removing the lot lines prior to sign-off for Certificate of Occupancy (C.O.).

Should you have any questions or comments, please call this office at 766-7644.

Cordially,

Billy J. Goolsby, PE  
Civil Engineer/Hydrology

BJG:mrk

cc: Greg Olson

MUNICIPAL DEVELOPMENT DEPARTMENT

C. Dwayne Shappard, P.E., City Engineer

ENGINEERING DIVISION

Telephone (505) 766-7467

AN EQUAL OPPORTUNITY EMPLOYER

## DRAINAGE CALCULATIONS

### I. REFERENCES:

- A. City of Albuquerque Development Process Manual (DPM) Volume 2, Design Criteria, Chapter 22, Drainage, Flood Control and Erosion Control.
- B. Soil Survey of Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico, United States Department of Agriculture, Soil Conservation Service.
- C. Flood Insurance Rate Map, Panel 24 of 50.

### II. GENERAL INFORMATION:

- A. Soil Type (Ref. B., Page 21) Soil type is EtC Embudo-Tijeras Complex, Hydrologic soil Group B.

- B. Imperviousness:

Type of Surface	Existing Area Sq.Ft. Acres	Proposed Area Sq.Ft. Acres
Building Roof	9214 0.212	23194 0.532
Concrete Surfaces	1414 0.032	1945 0.045
Asphalt Surfaces	-0- -0-	0.855
Landscaping	8781 0.202	12128 0.278
Undeveloped Surface	55167 1.266	
Site Total	74576 1.712ac	74516 1.712ac
Percent Impervious	14.3%	83.7%

- C. "C" Factor (See Ref. A., Plate 22.2 C-1)

1. Undeveloped "C" Factor = 0.40
2. Developed "C" Factor = 0.79

- D. Rainfall, 100-year, 6-hour,  $R_6$ ; (See Ref. A., Plate 22.2 D-1)  
 $R_6 = 2.25$  Inches

- E. Time of Concentration,  $T_c$ ; (by KIRPICH Equation)

$$T_c = 0.0078 \frac{L^{0.77}}{S^{0.385}} \quad L=190', \text{ Delta Elev. } = 3\text{ft.}, S=\text{Delta Elev.}/L = 0.0158 \text{ ft./ft.} = 2.19 \text{ (use 10 minutes for calculates)}$$

- F. Rainfall Intensity,  $I$ ; (See Ref. A., Plate 22.2 D-2)

$$I = R_6 \times 6.84 \times T_c^{-0.51} = 2.25 \times 6.84 \times (10)^{-0.51} = 4.76 \text{ in/hr}$$

### III. PEAK DISCHARGE:

- A. Existing Conditions. (Use Rational Equation)

$$Q_{100} = 0.40 \times 4.76 \times 1.712 = 3.26 \text{ cfs}$$

$$Q_{10} = 0.657 \times 3.26 = 2.14 \text{ (Ref. A., Plate 22.2 D-1)}$$

- B. Developed Conditions.

$$Q_{100} = 0.79 \times 4.76 \times 1.712 = 6.44 \text{ cfs}$$



**IV. CONSTRUCTION NOTES:**

1. Two (2) working days prior to any excavation, contractor must contact line locating service at 765-1234 for location of existing utilities.
2. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all potential obstructions; should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
3. All work on this project shall be performed in accordance with applicable Federal, State and Local laws, rules and regulations concerning construction safety and health.
4. All construction within City Right-of-Way shall be performed in accordance with applicable City of Albuquerque standards and procedures.

**V. GENERAL NOTES:**

1. Topography Survey performed by the "Transit-Stadia" method.
2. No search has been made for easements of record within the subject property other than on the map hereon.
3. Utility line information obtained from City of Albuquerque Engineering Department records and field survey data.

**VI. FLOOD PROOFING:**

Flood zone AO (Depth 1ft.) encroaches the property. The proposed finish floors are established 1.5 feet above designated flood levels as shown on drainage plan.

**VII. EROSION CONTROL:**

During the construction phase, four (4) new drive pads would be constructed within the City Right-of-Way. The contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.

The proposed curb along the property line shall be constructed such that it prohibits any flow over existing sidewalk.

## DRAINAGE CRITERIA

## DETERMINATION OF RATIONAL FORMULA 'C' FACTOR

