

Planning Department Transportation Development Services Section

March 31, 2006

George R. Rainhart, Registered Architect 2325 San Pedro NE, Ste. 2-B Albuquerque, NM 87110

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Daskalos Menual, [H-18 / D45]

5504 Menual Blvd NE

Architect's Stamp Dated 03/03/06

Dear Mr. Rainhart:

P.O. Box 1293

The TCL / Letter of Certification submitted on March 31, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Nilo E. Salgado-Fernández, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

C:

Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 06/22/2005)

PROJECT TITLE: DASKALOS MENAUL	ZONE MAP/DRG. FILE # #-18/TYS
DRB#: EPC#:	
LEGAL DESCRIPTION: LOTS 6 THRU 10, BLOCK(S) 105, TI CITY ADDRESS: 5504 MENAUL BLVD, ALB,	TACH A BELAIR SUBDIVISION
CITY ADDRESS: 5504 MENAUL BLVD, ALB,	NM 87110
ENGINEERING FIRM:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
OWNER: JASPEG, LLC	CONTACT: JASON DASKALOS
ADDRESS: 5321 MENAUL BLYD	PHONE: 6505) 883-0414
CITY, STATE: ALB, NM	ZIP CODE: 87/10
ARCHITECT: GEORGE PAINHART ARCHITECTS	CONTACT: SOHN C. SPIZ
ADDRESS: 2325 SAN PEDRO NE, SUITE	
CITY, STATE: ALB, NM	ZIP CODE: 87110
SURVEYOR:	<u> </u>
ADDRESS:	CONTACT: PHONE:
CITY, STATE:	
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
TYPE OF SUBMITTAL:	CK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1 st SUBMITTAL .	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL
GRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT	CERTIFICATE OF OCCUPANCY (PERM)
ENGINEER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP)
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL
	OTHER (SPECIFY) 「同門[] []
WAS A PRE-DESIGN CONFERENCE ATTENDED:	1/U// COUS & 2005 [U]/
YES	IIIII MAR JUI
NO	IIIIISECTION
COPY PROVIDED	LAND DEVELOPMENT SECTION
SUBMITTED BY: Mr. C 52	
SUDIVILLED DI: WWW	DATE: 5-66.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

TRAFFIC CERTIFICATION

NMPE OR NMRA OF THE FIRM HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3-7-05 RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT OBTAINED BY JOHN C SOITZ GEORGE RAIN HART I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-23-06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST CERTIFICATE OF OCCUPANCY CPERM.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

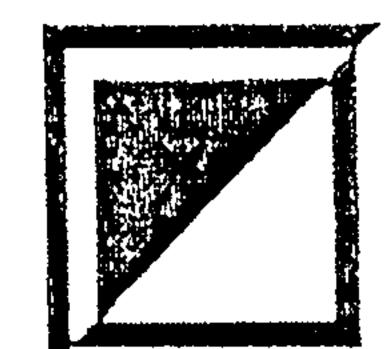


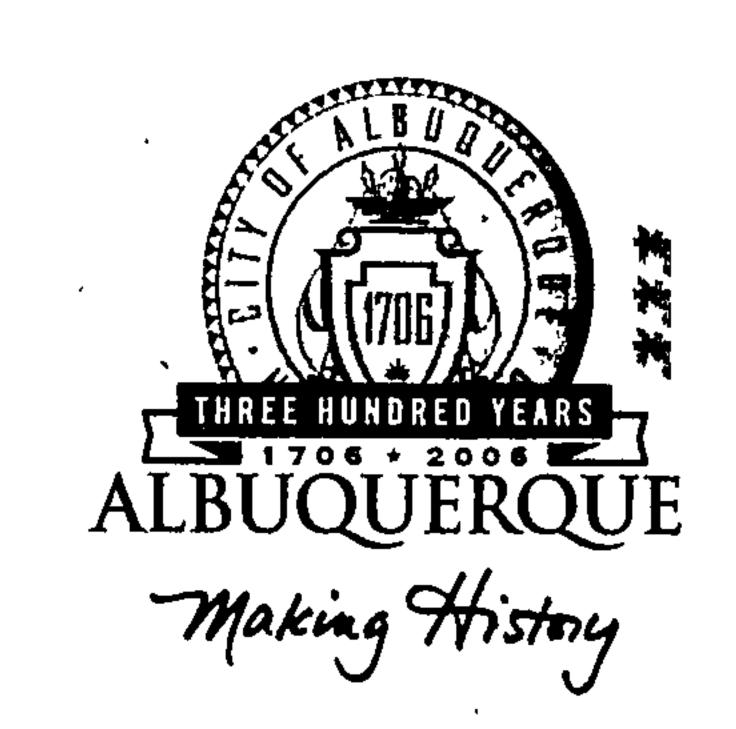
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.

(232年 5AN/7年日末日、NE, SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110 (1791日) 111 (1505) 884-9110 FAX: (505) 837-9877

MAR 3 1 2005

LAND DEVELOPMENT SECTION





Planning Department Transportation Development Services Section

January 5, 2006

George R. Rainhart, Registered Architect George Rainhart, Architect and Associates P.C. 2325 San Pedro NE, Ste. 2-B Albuquerque, NM 87110

Re:

Certification Submittal for Final Building Certificate of Occupancy for

Daskalos Menaul, [H-18 / D45]

5504 Menaul NE

Architect's Stamp Dated 01/04/06

Dear Mr. Rainhart:

P.O. Box 1293

The TCL / Letter of Certification submitted on January 5, 2006 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.).

Albuquerque

The TCL Site Plan submitted for Final C.O. needs to reflect the approved Work Order (CPN 761981). All infrastructure approved by work order has not been reflected correctly on the Site Plan, especially the widths, radiuses, sidewalk connection and wheel chair ramp fronting Palomas and Alvarado. You will need to redlined all changes, initial and date by the designer-of-record.

New Mexico 87103

Resubmit <u>acceptable</u> package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

C:

Sincerely

Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 06/22/2005)

PROJECT TITLE:	DASKA LOS MENAUL	ZONE MAP/DRG. FILE # <u>H - 18/</u> D45
DRB#:	EPC#:	WORK ORDER#:
LEGAL DESCRIP	TION: LOT(S) 6 THELL IN BIOLES	
CITY ADDRESS:	5504 MENAUL BLYD, NE.	(S) 105, TRACT (S) A, BEL AIR SUBDIVISION ALB, NM 87110
	TRM: WALLA ENGINEERING	
ADDRES	S: 6100 INDIAN SCHOOL RD	
CITY ST	ATE: ALBUQUE RQUE, NM	
411	TILL. MADOWOE /EWOO, NM	ZIP CODE: 871/0
	PEG, LLC	CONTACT: JASON DASKALOS
ADDRES	S: 5321 MENAUL	$UU\cap MUG, I = \{1, 0, 0, 1, \dots, 1, 1, \dots, 1,$
CITY, ST.	ATE: ALBUQUEIZQUE, NM	ZIP CODE: 87/0
ARCHITECT: 6	ORGE RAINHART ARCHITECT	
ADDRESS	S: 2325 SAN PEDIZO NE. SUITE	CONTACT: JOHN C. SPITZ
CITY, ST.	ATE: ALBUQUE RQUE, NM	
		ZIP CODE: 8>1/0
SURVEYOR: HAI	F-K15 SURVEYING, INC	$CONTACT \cdot Handle A \cdot $
ADDRESS	S: 2412-1) MONTOF ST NE	CONTACT: <u>ANTHONY L. HAIZE15</u> PHONE: <u>(505) 889-8056</u>
CITY, STA	ATE: ALBUQUEIZQUE, NA	ZIP CODE: 87/10
CONTRACTOR: C	LA SIERRA CONSTRUCTION CO. IN	CONTACT: MIKE HONTAS
ADDKESS	S: 5321 MENAUL BLYD, NE	PHONE: <u>(505) 883-7333</u>
CII Y, SIA	ATE: ALBUQUERQUE, NM	ZIP CODE: 87/10
TYPE OF SUBMIT	TAL:	W TVDE OE ADDD OXZAZ GOZZOW
DRAINA		CIACINIAN CIAL COLLAR DE CONTRE
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		PRELIMINARY PLAT APPROVAL
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GRADING	C DI ANI	S. DEV. FOR BLDG. PERMIT APPROVAL
		SECTOR PLAN APPROVAL
	D'C CIDT (ITUDD OF OCER)	FINAL PLAT APPROVAL
CLOMR/I		FOUNDATION PERMIT APPROVAL
		BUILDING PERMIT APPROVAL
	ER'S CERT (TCL)	CERTIFICATE OF OCCUPANCY (PERM)
		CERTIFICATE OF OCCUPANCY (TEMP)
OTHER	ER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL
		PAVING PERMIT APPROVAL
		WORK ORDER APPROVAL
		_OTHER (SPECIFY) _ C C U C C C C C C C
WAS A PRF_DECIC	GN CONFERENCE ATTENDED:	
YES	ON COMERCENCE ATTENDED:	
NO		
COPY PRO	ΟΝΙΝΈΝ	
		HYDROLOGY SECTION
SUBMITTED BY:	1/ha ()	TO A THITS: 1. (1) - A
		DATE: /- /- 06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

TRAFFIC CERTIFICATION

I, GEORGE PAINHART, NMPE OR NMRA MMPA, OF THE FIRM GEORGE PAINHART, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/7/2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOHN C. SPITZ OF THE FIRM RECHIPCT ASSOCIATES I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/29/2005 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERM)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

GEORGE R.

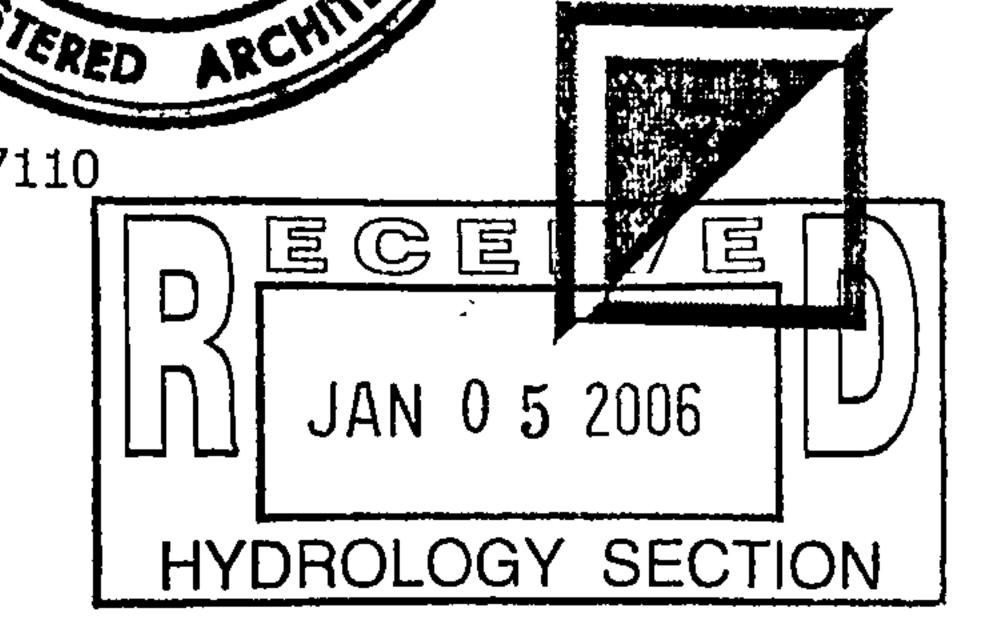
RAINHART,

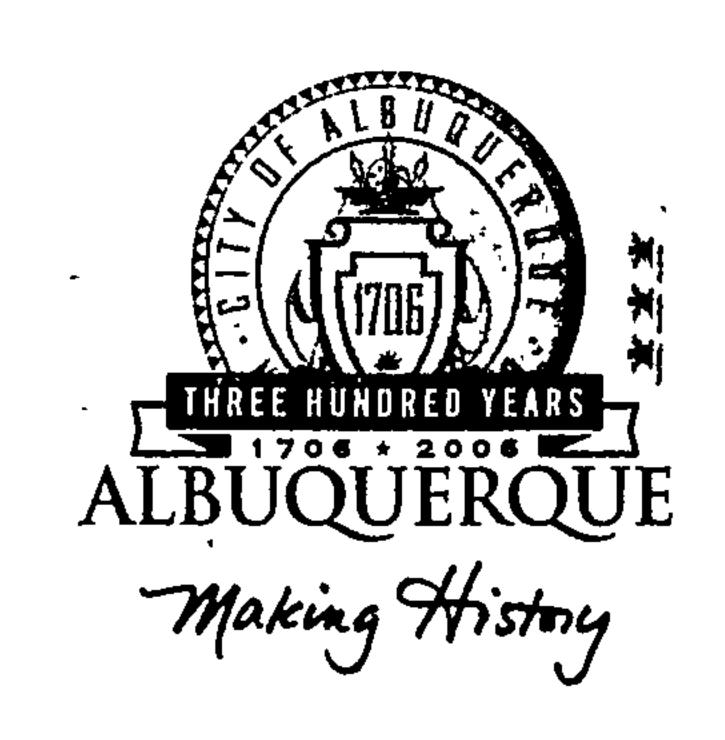
NO. 580

Date Date

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO, NE, SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110

PHONE: (505) 884-9110 FAX: (505) 837-9877





September 16, 2005

Mr. Mike Walla, P.E. WALLA ENGINEERING, LTD. 6100 Indian School Rd. NE Albuquerque, NM 87110

Re: DASKALOS MENAUL

5504 Menaul Blvd. NE

Approval of Permanent Certificate of Occupancy (C.O.)

Engineer's Stamp dated 12/14/2004 (H-18/D45)

Certification dated 09/16/2005

Dear Mike:

P.O. Box 1293

Based upon the information provided in your submittal received 09/16/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Arlene V. Portillo

Sincerely,

www.cabq.gov

Plan Checker, Planning Dept. - Hydrology

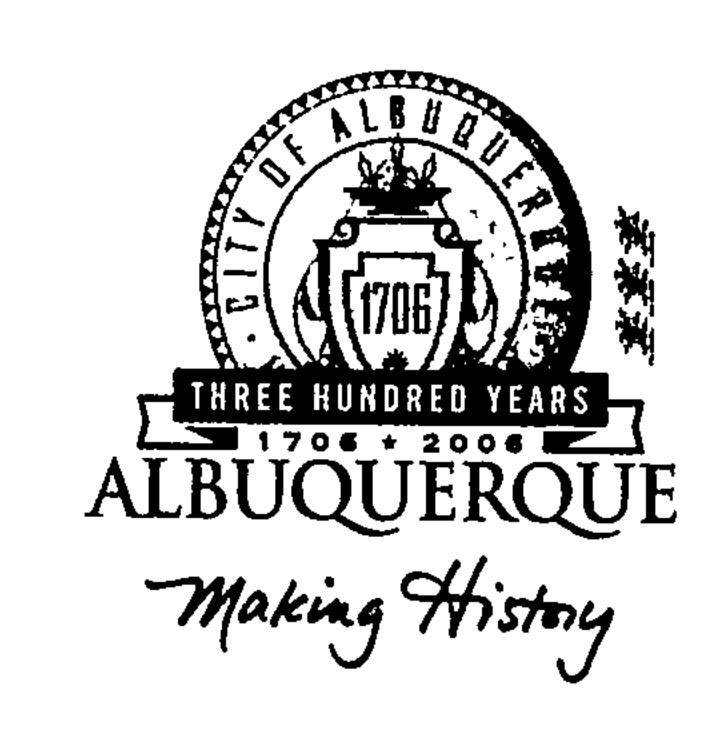
Development and Building Services

C: Phyllis Villanueva

File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 1/28/2003rd)

PROJECT TITLE: DASKALOS MENAUL	ZONE MAP/DRG. FILE #: H-1.8/D45
	MANNE ANNERS.
LEGAL DESCRIPTION: SUBDIVISION, CITY OF AUGUSERICATIVE CONTROLOGICAL PROPERTY STATES AND ALGUSTICAL PROPERTY OF AUGUSTICAL PROPERTY APPRECIAL PROP	LOT WAND LOTS I THEUTO BECOME
CITY ADDRESS: S504 MENAUL BL 40 ME B7110	
ENGINEERING FIRM: LANGE ENGINEERING	CONTACT: MIKE WALLA PHONE: 881-3008
ADDRESS: 10100 INDIAN SCHOOL NE \$210 CITY, STATE: HUBYQ, NM	ZP CODE: 9710
OWNER: DASKAOS	CONTACT: MIKE HONTHS
ADDRESS:	PHONE: 304-S053 ZIP CODE:
ARCHITECT: GEORGE RAINHART ARCH.	
ADDRESS: 2325 SAN PEDED NE SUITE 1-B	PHONE: 894-911D
CITY, STATE: ALOUG. LIM	ZIP CODE: \$7110
SURVEYOR: ANTHONY HARRIS ENGINERRING ADDRESS 2412 D MONROE ST NE	CONTACT: ANTHONY HARRIS PHONE: B 69 - 8056
CITY, STATE: 1-1840. NA	ZIP CODE: 127/10
CONTRACTOR: LA SIERRA (GLETACTIO). ADDRESS:	CONTACT: WKE HOUTHS
CITY, STATE:	PHONE: 304-SOSS ZIP CODE:
CHECK TYPE OF SUBMITTAL:	HECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1* SUBMITTAL, REQUIRES TCL or equal DRAINAGE PLAN RESUBMITTAL	PRELIMINARY PLAT APPROVAL 8. DEV. PLAN FOR SUB'D. APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL
EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDROLOGY)	FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEERS CERTIFICATION (TCL)	CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.)
ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) OTHER	GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES NO	
COPY PROVIDED	HYDROLOGY SECTION
DATE SUBMITTED: 7605 BY: M1	
Requests for approvals of Site Development Plans and/or Subdivision	Plats shall be accompanied by a drainage submittal.
The particular nature, location and scope of the proposed develops more of the following levels of submittal may be required based on the	nent dennes the degree of dramage detail. One of a following:
1. Conceptual Grading and Drainage Plan: Required for ap	
(5) acres and Sector Plans.2. Drainage Plans: Required for building permits, grading per	mits, paving permits and site plans less than five (5)
acres. 3. Drainage Report: Required for subdivisions containing mo	· · · · · · · · · · · · · · · · · · ·
more.	



March 7, 2005

George Rainhart, R.A. George Rainhart, Architect and Assoc. P.C. 2325 San Pedro NE, Suite 2-B Albuquerque, NM 87110

Re:

Daskalos Menaul, Traffic Circulation Layout Architect's Stamp dated 3-7-05 (H-18/D45)

Dear Mr.Smith,

The TCL submittal received 3-7-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Albuquerque

P.O. Box 1293

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza

New Mexico 87103 Del Sol Building.

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred Gallegos, PE

Traffic Engineer, Planning Dept.

Development and Building Services

CC:

file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

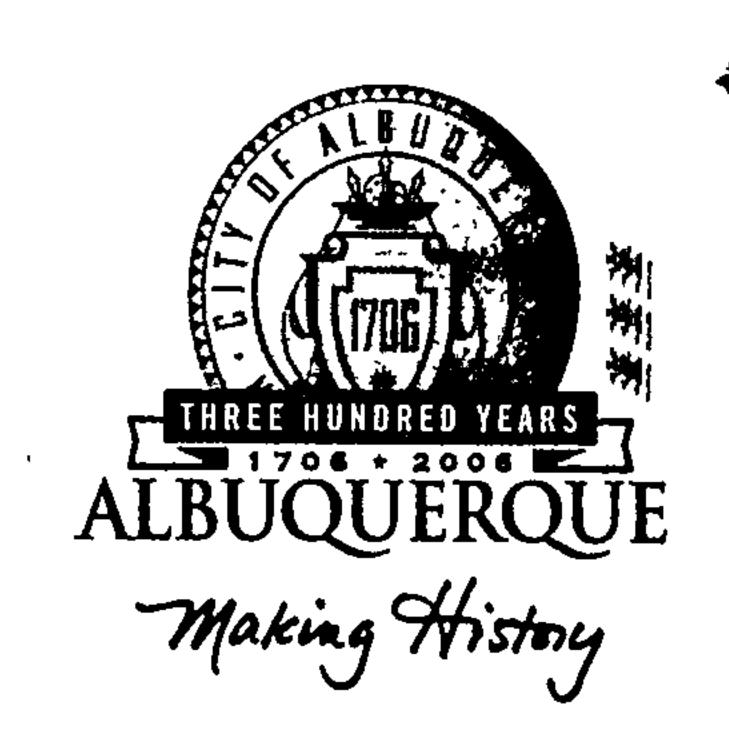
(REV. 1/28/2003rd)

PROJECT TITLE: DASKALOS MENAUL	ZONÉ MAP/DRG. FILE #: H-18/545
DRB #:EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: LOTIS) & THRU 10, BLOCKIS) 105, CITY ADDRESS: 5504 MENAUL NE	TRACT A BEL AIR SUBDIVISION, ALB, N.
ENGINEERING FIRM: WALLA ENGINEERING ADDRESS: 6100 INDIAN SCHOOL RD. NE CITY, STATE: ALB. NM	CONTACT: MIKE WALLA PHONE: 881-3008 ZIP CODE: 87110
OWNER: JASPEG, LLC ADDRESS: 5321 MENAUL BLYD NE CITY, STATE: ALB, NM	CONTACT: <u>Jason Daska Los</u> PHONE: <u>883-0414</u> ZIP CODE: <u>87110</u>
ARCHITECT: GEORGE RAINFART AIZCHITECT + ASSOCIA ADDRESS: 2325 SAN PEDRO SUITE 2-B CITY, STATE: ALB, NM	#7ES CONTACT: JOHN SPITZ PHONE: 884-9110 Ext 105 ZIP CODE: 87110
SURVEYOR: HARRIS SURVEYING INC ADDRESS 2412 MONROE ST NE CITY, STATE: ALB, NM	CONTACT: ANTHONY HARRIS PHONE: 889 - 8056 ZIP CODE: 87110
CONTRACTOR: LA SIERRA CONSTRUCTION CO., INC ADDRESS: 5321 MENAUL BLYD NE CITY, STATE: ALB, NM	CONTACT: MIKE HONTAS PHONE: 883- 2535 ZIP CODE: 87110
CHECK TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal DRAINAGE PLAN RESUBMITTAL CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDROLOGY) CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEERS CERTIFICATION (TCL) ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) OTHER	SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED DATE SUBMITTED: 3 - 3 - 65 BY: 01	MAR 0 3 2005 MAR 0 3 2005 MAR 0 3 2005
Requests for approvals of Site Development Plans and/or Subsubmittal. The particular nature, location and scope of the proposition or more of the following levels of submittal may be required be	ed development defines the degree of drainage detail.

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five

acres. 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

(5)



February 4, 2005

Mike Walla, P.E. Walla Engineering LTD. 6100 Indian School Rd. NE Suite 210 Albuquerque, NM 87110

Re: Daskalos Menaul, 5504 Menaul Blvd. NE 87110, Grading and Drainage Plan, Engineer's Stamp dated 12-14-04 (H-18/D45)

Dear Mr. Walla,

Based upon the information provided in your submittal received 12-20-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

P.O. Box 1293

If you have any questions, please feel free to contact me at 924-3994.

Albuquerque

Sincerely

New Mexico 87103 Tony Loyd

Engineer Associate
Planning Department

Development and Building Services Division

www.cabq.gov

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File

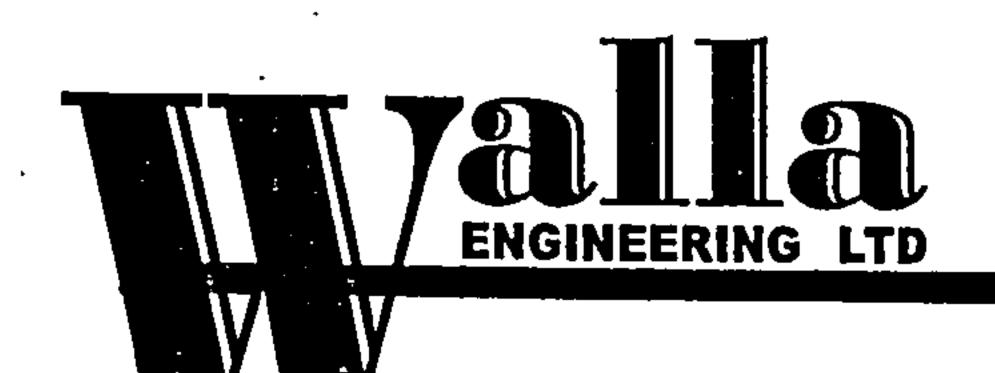
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 1/28/2003rd)

•	
PROJECT TITLE: DASKALOS MENAUL	ZONE MAP/DRG. FILE #: 14-18/15
	14/AA1/AAA#A#A#
DRB #:EPC#:EPC#: TRACT A, THE WESTERLY 3.5' (LEGAL DESCRIPTION: SUBDIVISION, CITY OF AUBURUME CITY ADDRESS: SSOA MENALL BLUO NE 871	OF LOT 6 AND LOTS 7 THRUID BET-HIR
LEGAL DESCRIPTION: SUBDIVISION, CITY OF ALBUQUER	QUE BERM. CO NEW MEXICO
CITY ADDRESS: 5504 MENGUL BL VD ME 871	10
	CONTROTE MINISTER AND LA
ENGINEERING FIRM: WALLA ENGINEERING FIRM: WALLA ENGINEERING FIRM: WALLA ENGINEERING #21 ADDRESS: 6100 1 MOIAN 5 CHOOL NE #21	CONTACT: MIKE WALLA PHONE: 881-3008
CITY, STATE: ALBUQ. NM	ZIP CODE: 97110
·CIII, SIMIE, MONGOLO INTI	
OWNER:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
ARCHITECT: GEORGE RAINHART ARCH.	CONTACT: DON STEPAL
ADDRESS: 2325 SAN PEDRO NE SUITE 1-	B PHONE: 894-911D
CITY, STATE: A-LOUG. N/7	ZIP CODE: \$7110
SURVEYOR: ANTHONY HARRIS ENGINEERING	CONTACT: ANTHONY HAREIS
ADDRESS 2412 D MONROE ST NE	PHONE: 889.8056
CITY, STATE: HIRUR NIT	"ZIP CODE: 877/10
CONTRACTOR:	CONTACT:
ADDRESS:	PHONE:
CITY, STATE:	ZIP CODE:
CHECK TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPORT	SIA / FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D. APPROVAL
CONCEPTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
CRADING PLAN	SECTOR PLAN APPROVAL
EROSION CONTROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CERTIFICATION (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/LOMR	X BUILDING PERMIT APPROVAL
TRAFFIC CIRCULATION LAYOUT (TCL)	CERTIFICATE OF OCCUPANCY (PERM.)
ENGINEERS CERTIFICATION (TCL)	CERTIFICATE OF OCCUPANCY (TEMP.)
ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)	GRADING PERMIT APPROVAL
OTHER	PAVING PERMIT APPROVAL
	WORK ORDER APPROVAL OTHER (SPECIFY) <
•	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	
YES	DEC 2 @ 2004
NO	
COPY PROVIDED	HYDROLOGY SECTION
	HYDHOLOGY SCOTION
DATE SUBMITTED: 12-14-04 BY: 17	WE WALLA
-, , , , , , , , , , , , , , , , , , ,	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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- acres.

 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



LETTER OF TRANSMITTAL

TO CITY OF ALBUQUEROUE	DATE 12-14-04 JOB NO.R.09-1904
HYDROLOGY	ATTENTION
	RE: DASKALOS MENAUL
WE ARE SENDING YOU Attached Und	er Separate Cover Via the following items:
•	Diskette ☐ Specifications ☐ Calculations Copy of Letter ☐ Shop drawings ☐ Proposal Information
COPIES DATE NO.	DESCRIPTION GRADIUG AND
	DRAINAGE PLAN
• 	
THESE ARE TRANSMITTED as checked below:	
For Your Use For Review and Revie	
REMARKS	
DEC 1 4 2004 HYDROLOGY SECTION	SIGNED: LARRY KERINEDY
•	t as noted, kindly notify us at once.

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