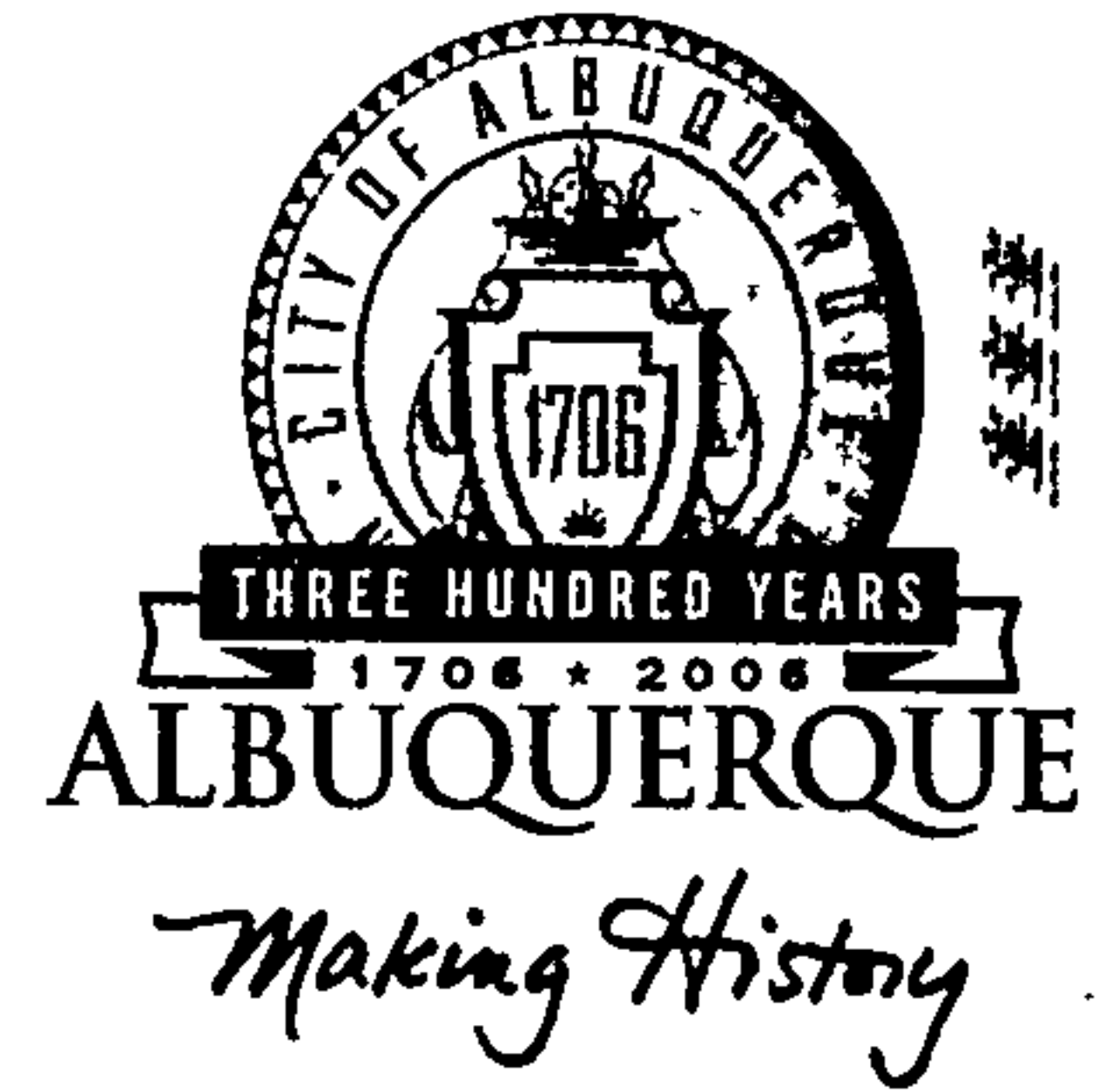


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

March 31, 2006

George R. Rainhart, Registered Architect  
2325 San Pedro NE, Ste. 2-B  
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Daskalos Manual, [H-18 / D45]  
5504 Manual Blvd NE  
Architect's Stamp Dated 03/03/06

Dear Mr. Rainhart:

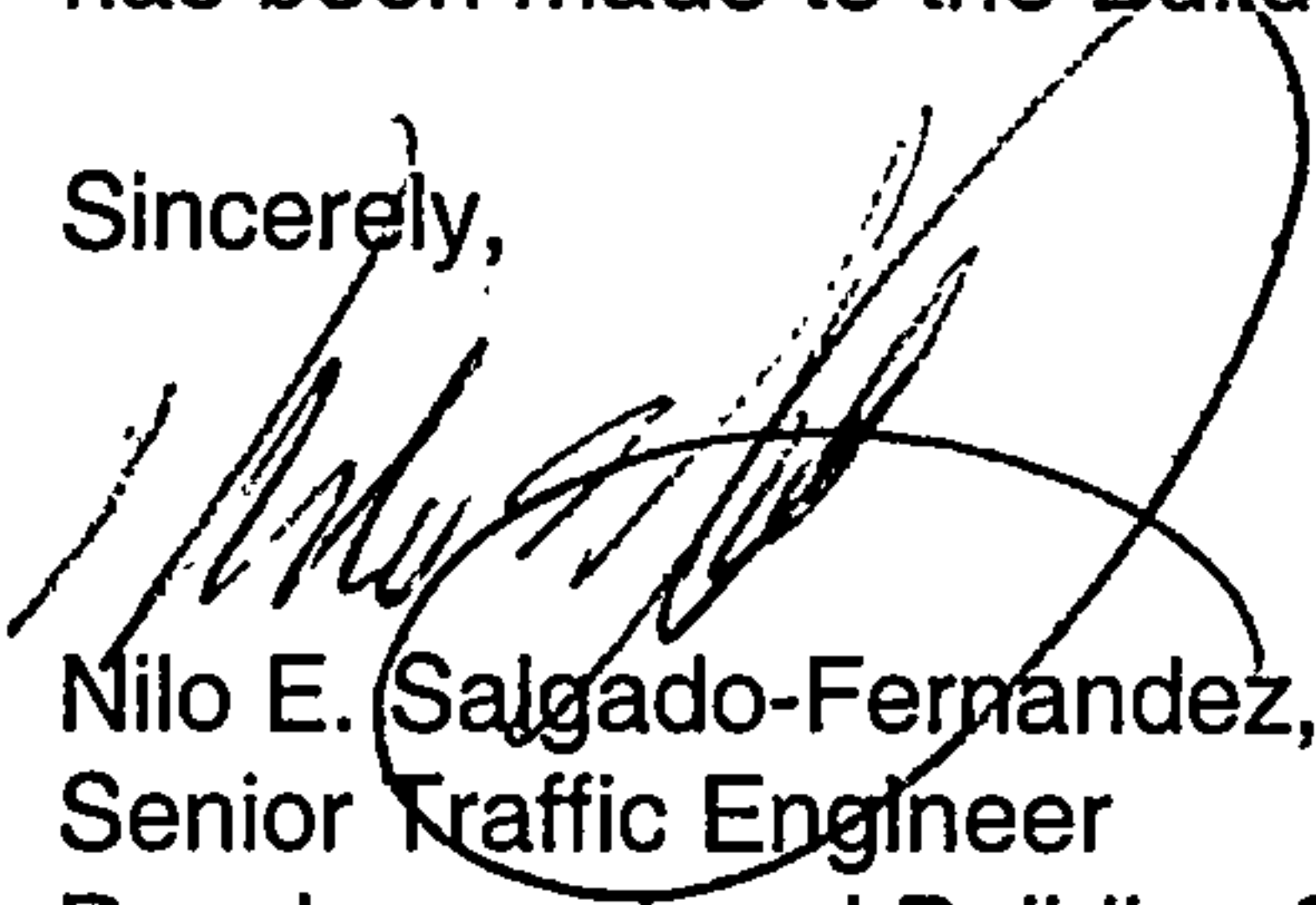
P.O. Box 1293

The TCL / Letter of Certification submitted on March 31, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 06/22/2005)

PROJECT TITLE: DASKALOS MENAUL ZONE MAP/DRG. FILE # H-18/D45  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 6 THRU 10, BLOCK(S) 105, TRACT A BELAIR SUBDIVISION  
CITY ADDRESS: 5504 MENAUL BLVD, ALB, NM 87110

ENGINEERING FIRM: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

OWNER: JAS PEG, LLC  
ADDRESS: 5321 MENAUL BLVD  
CITY, STATE: ALB, NM

CONTACT: JASON DASKALOS  
PHONE: (505) 883-0414  
ZIP CODE: 87110

ARCHITECT: GEORGE RAINHART ARCHITECTS  
ADDRESS: 2325 SAN PEDRO NE, SUITE 2-B  
CITY, STATE: ALB, NM

CONTACT: JOHN C. SPITZ  
PHONE: (505) 884-9110 EXT 105  
ZIP CODE: 87110

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

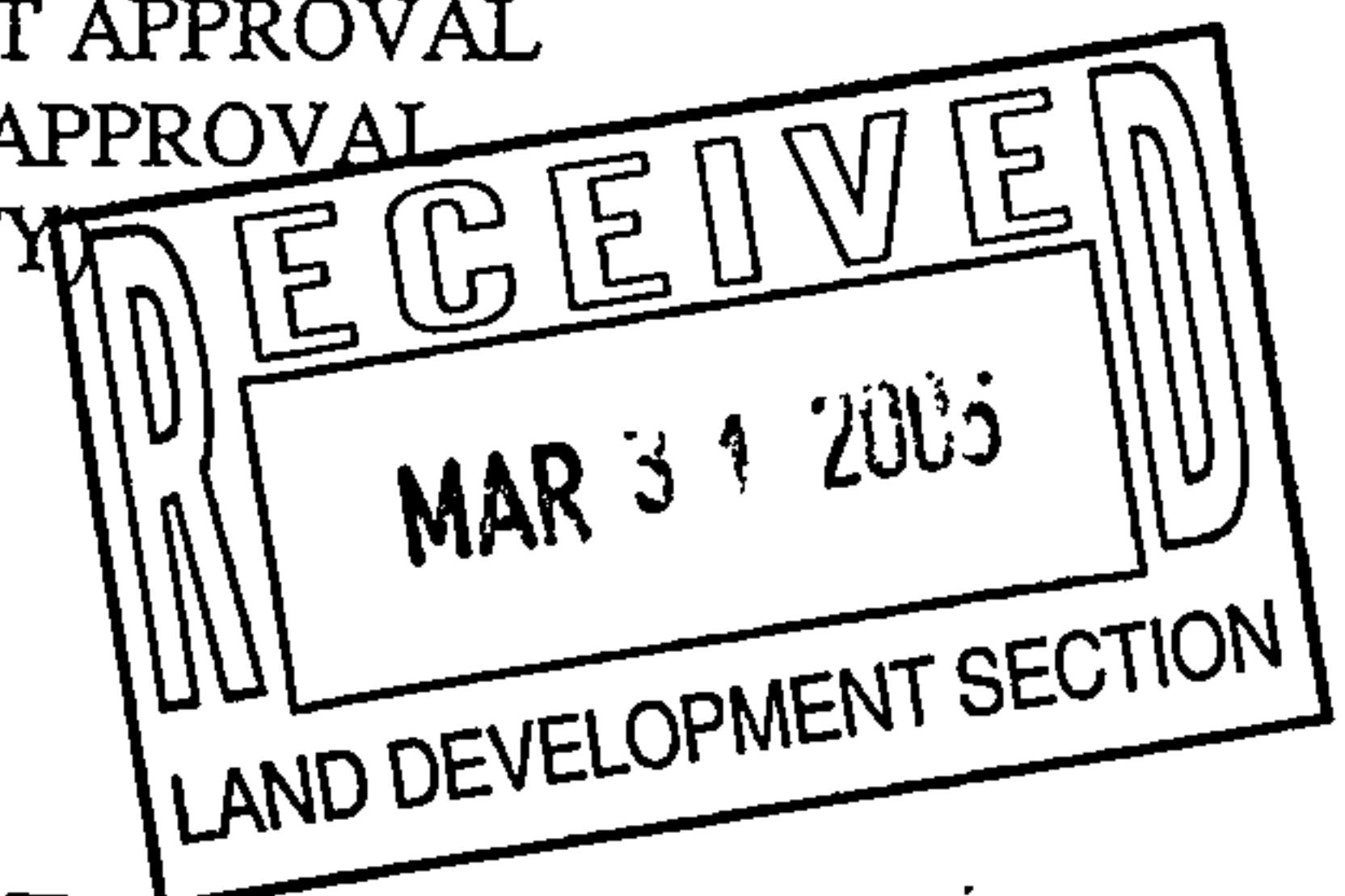
CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☒ NO  
☐ COPY PROVIDED



SUBMITTED BY: John C Spitz DATE: 3-28-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

## TRAFFIC CERTIFICATION

I, GEORGE RAINHART, NMPE OR NMRA ARCHITECT., OF THE FIRM ARCHITECT., HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3-7-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOHN C SPITZ OF THE FIRM ARCHITECT. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 3-23-06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERM.).

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

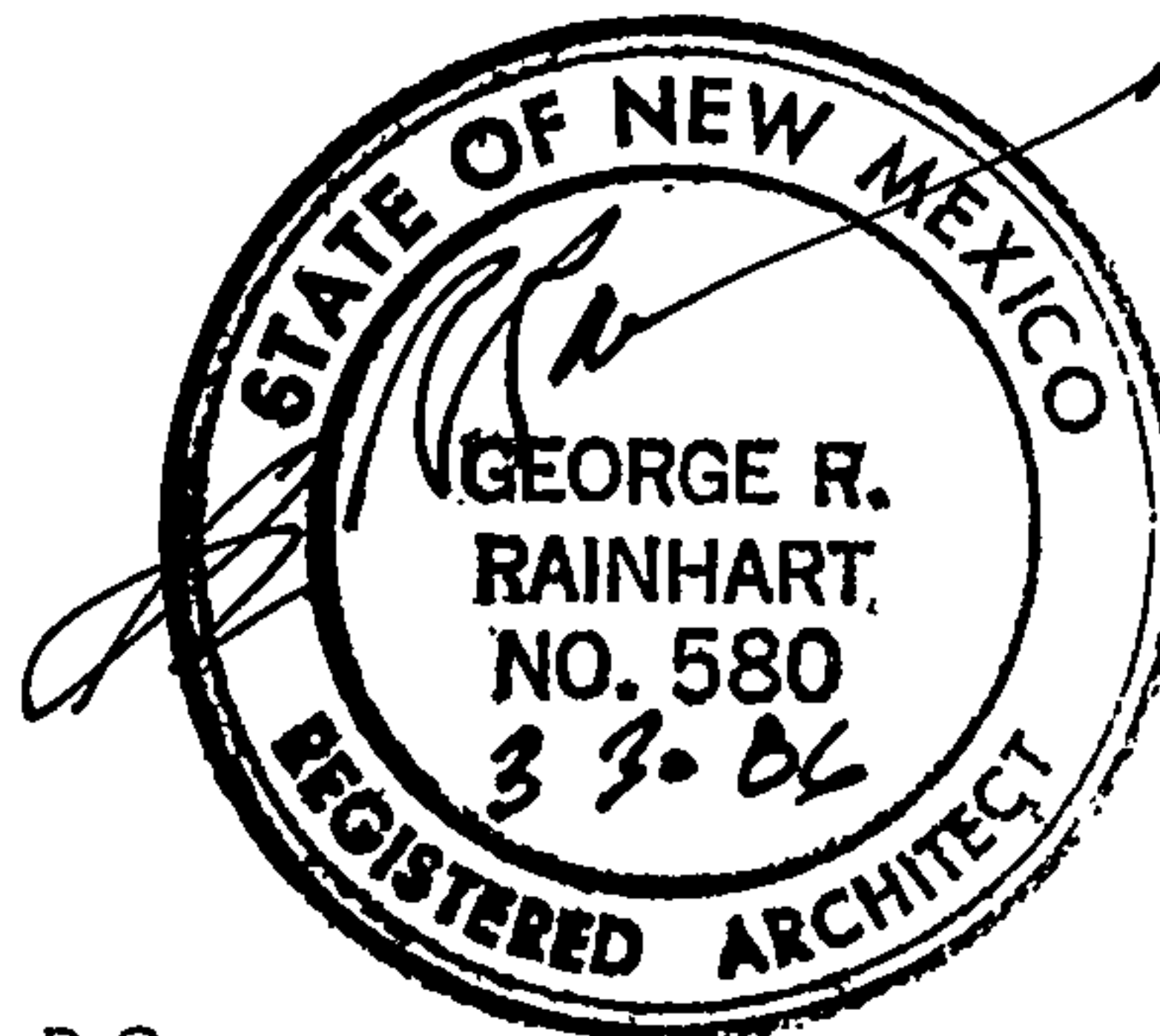


Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

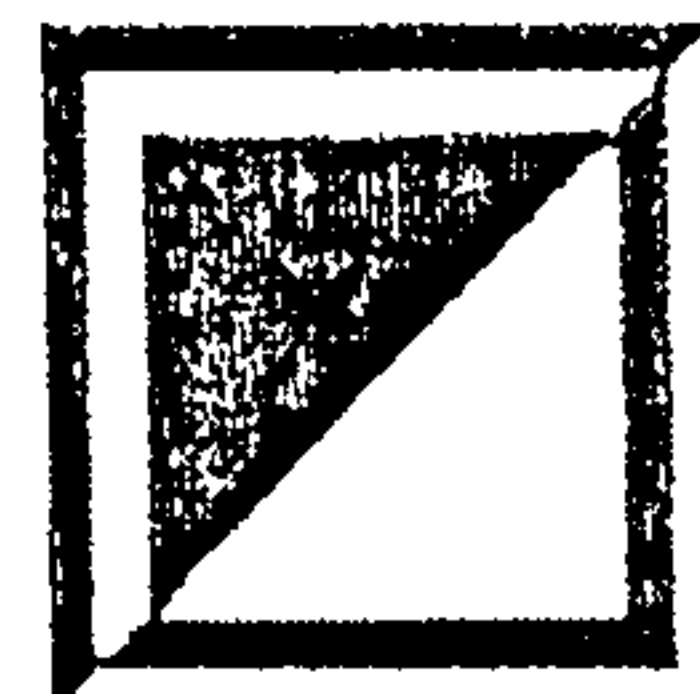
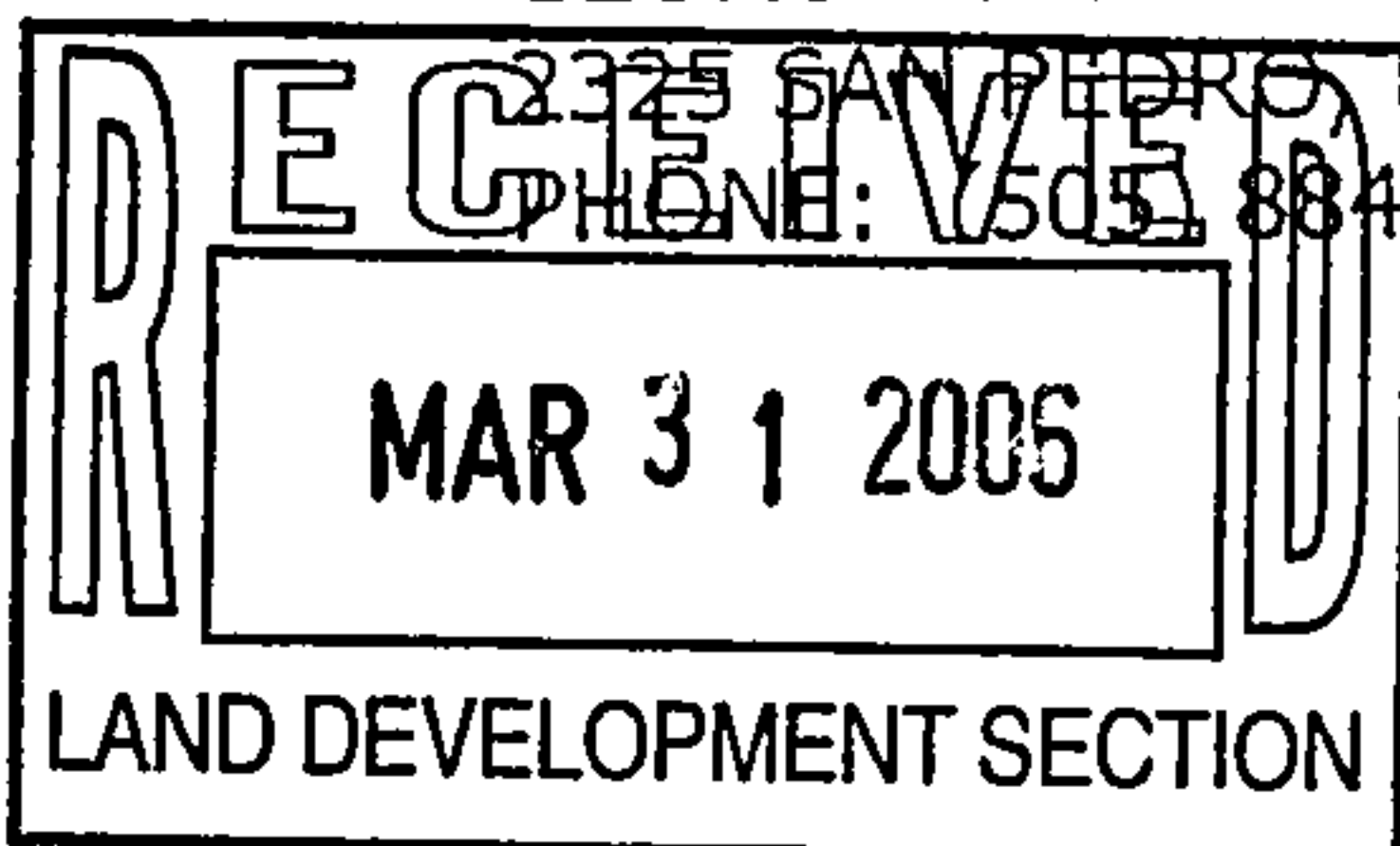
3 30 06

Date



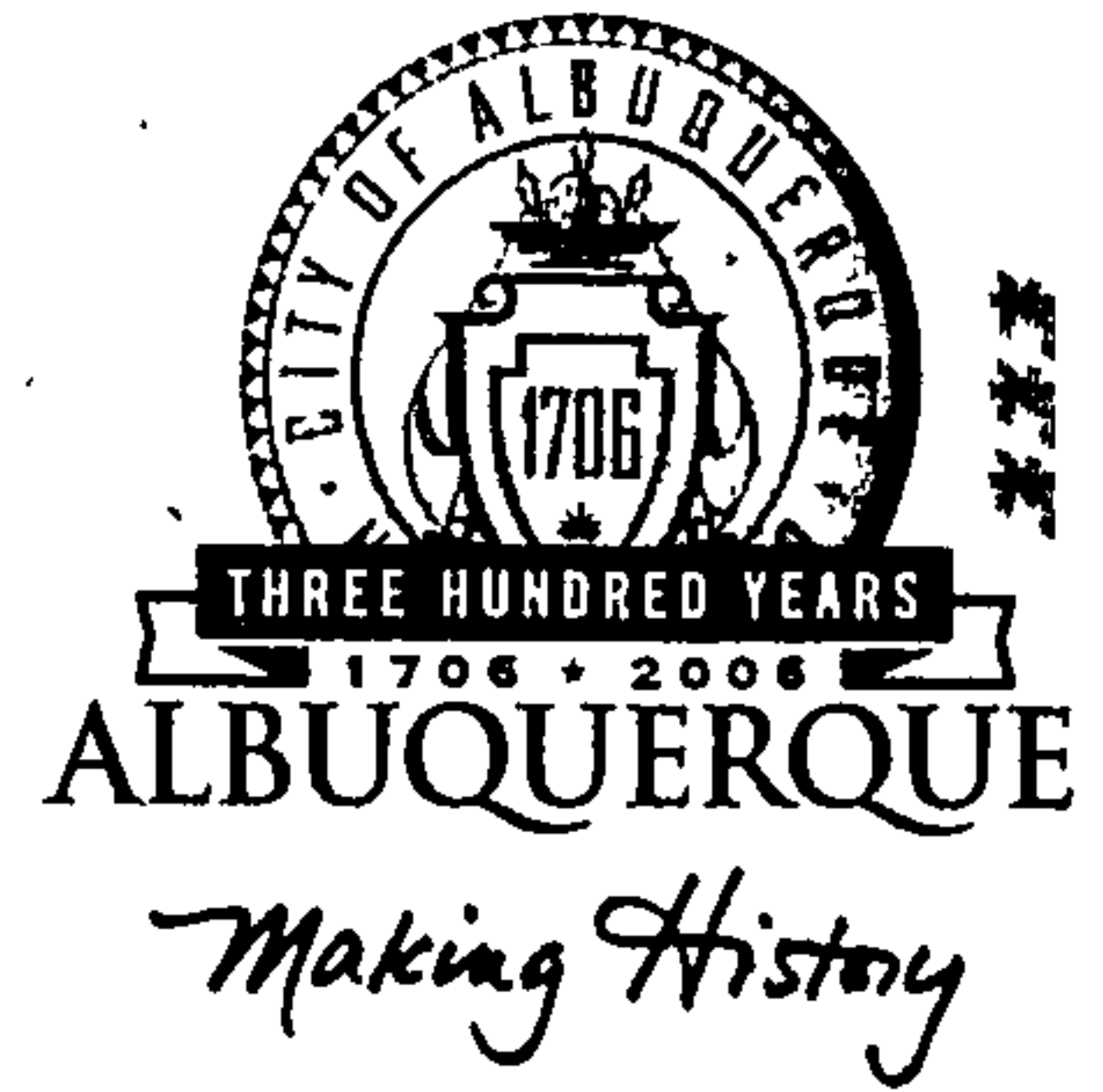
GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.

2325 SAN PEDRO NE, SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 884-9110 FAX: (505) 837-9877





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

January 5, 2006

George R. Rainhart, Registered Architect  
George Rainhart, Architect and Associates P.C.  
2325 San Pedro NE, Ste. 2-B  
Albuquerque, NM 87110

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Daskalos Menaul, [H-18 / D45]  
5504 Menaul NE  
Architect's Stamp Dated 01/04/06

Dear Mr. Rainhart:

P.O. Box 1293

The TCL / Letter of Certification submitted on January 5, 2006 is not sufficient for acceptance by this office for final Certificate of Occupancy (C.O.).

Albuquerque

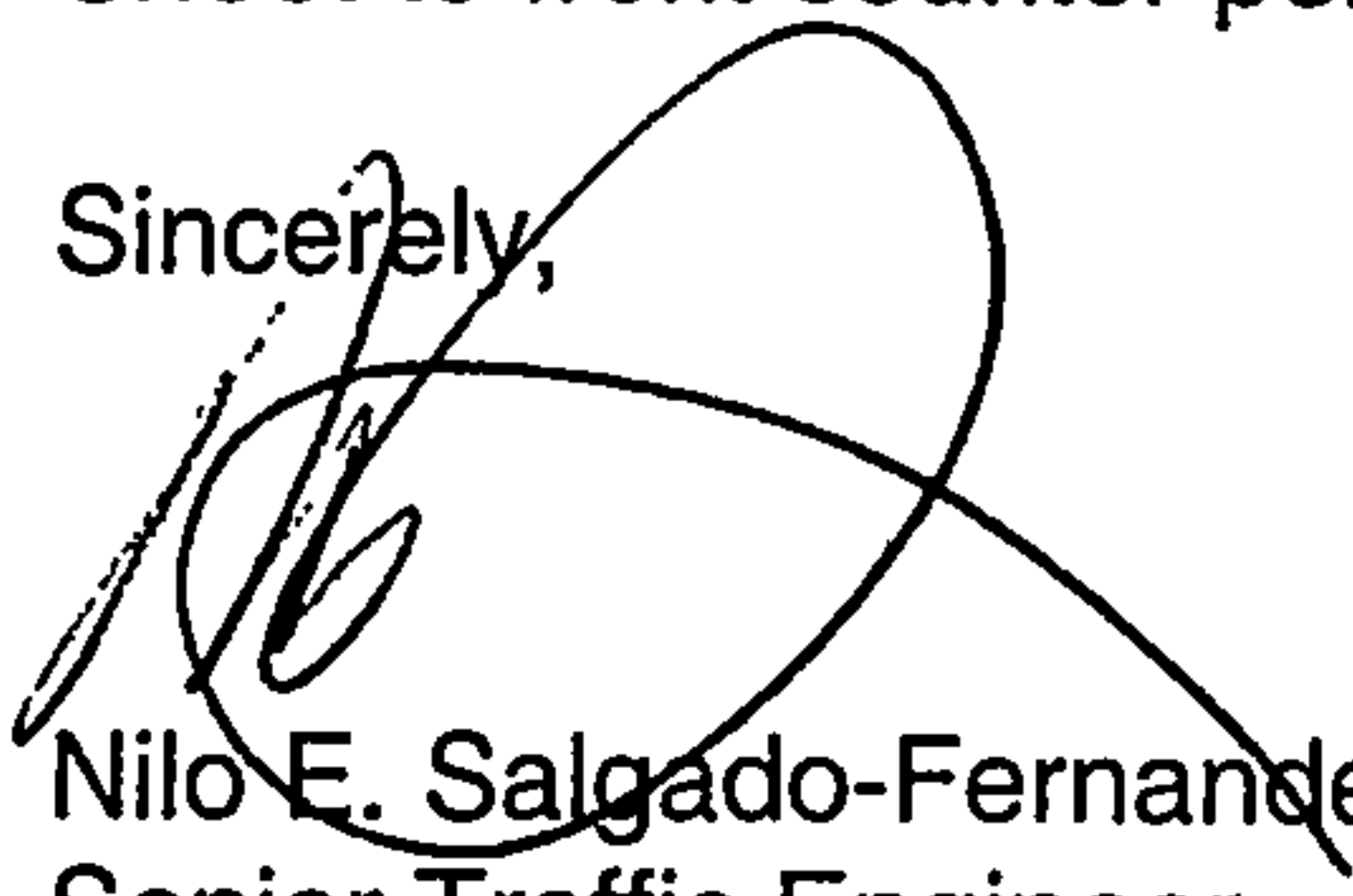
The TCL Site Plan submitted for Final C.O. needs to reflect the approved Work Order (CPN 761981). All infrastructure approved by work order has not been reflected correctly on the Site Plan, especially the widths, radiuses, sidewalk connection and wheel chair ramp fronting Palomas and Alvarado. You will need to redlined all changes, initial and date by the designer-of-record.

New Mexico 87103

Resubmit acceptable package along with fully completed Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET  
(Rev. 06/22/2005)

PROJECT TITLE: DASKALOS / MENAUL ZONE MAP/DRG. FILE # H-18/D45  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOTS 6 THRU 10, BLOCK(S) 105, TRACT(S) A, BEL AIR SUBDIVISION ALB, NM  
CITY ADDRESS: 5504 MENAUL BLVD, NE, ALB, NM 87110

ENGINEERING FIRM: WALLA ENGINEERING  
ADDRESS: 6100 INDIAN SCHOOL RD NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIKE WALLA  
PHONE: (505) 881-3008  
ZIP CODE: 87110

OWNER: JASPEG, LLC  
ADDRESS: 5321 MENAUL  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JASON DASKALOS  
PHONE: (505) 883-0414  
ZIP CODE: 87110

ARCHITECT: GEORGE RAINHART ARCHITECT  
ADDRESS: 2325 SAN PEDRO NE, SUITE 2-B  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: JOHN C. SPITZ  
PHONE: (505) 884-9110 EXT 105  
ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING, INC  
ADDRESS: 2412-D MONROE ST. NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: ANTHONY L. HARRIS  
PHONE: (505) 889-8056  
ZIP CODE: 87110

CONTRACTOR: LA SIERRA CONSTRUCTION CO., INC  
ADDRESS: 5321 MENAUL BLVD, NE  
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIKE HONTAS  
PHONE: (505) 883-7333  
ZIP CODE: 87110

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

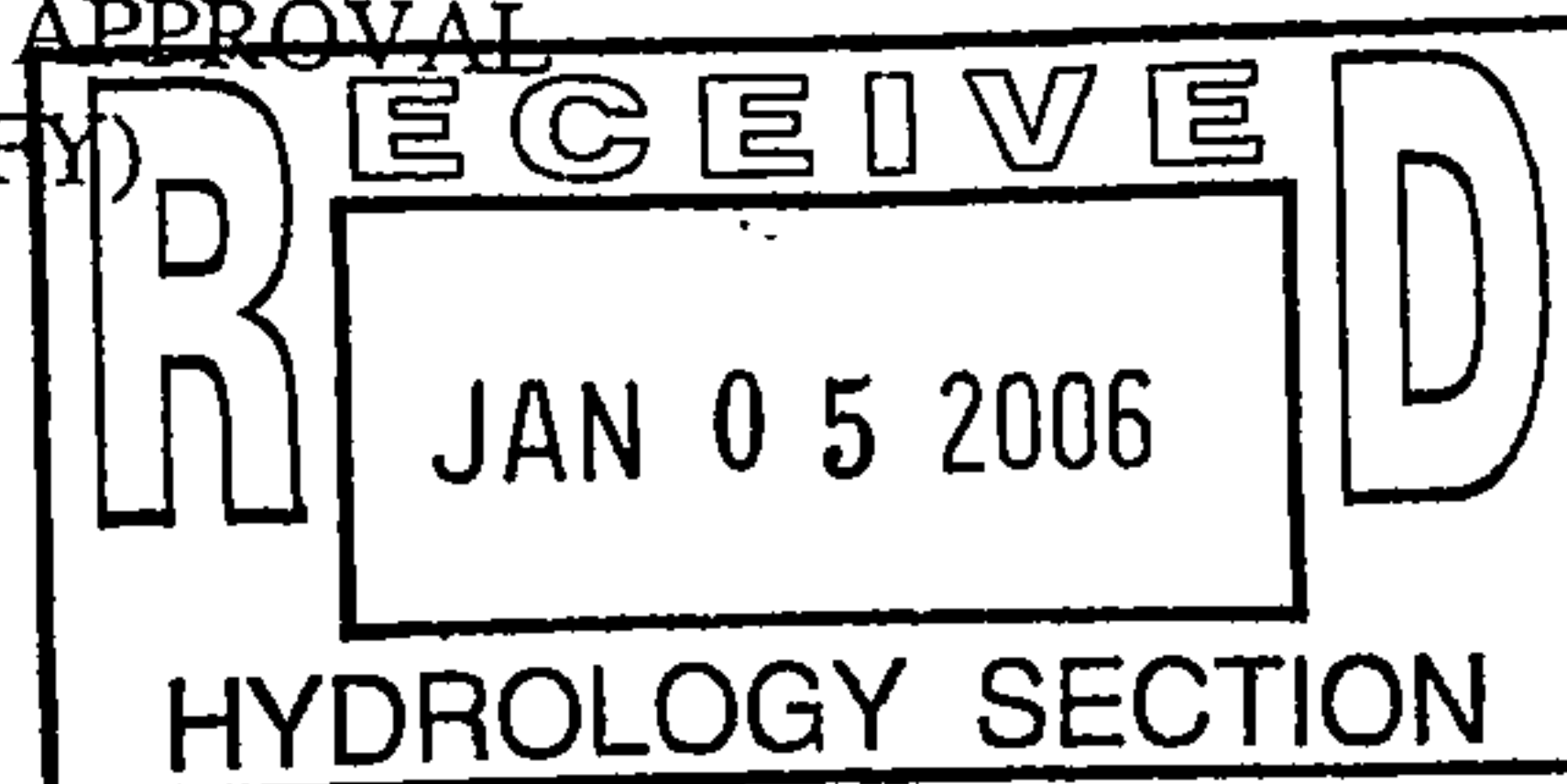
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

SUBMITTED BY: [Signature] DATE: 1-4-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

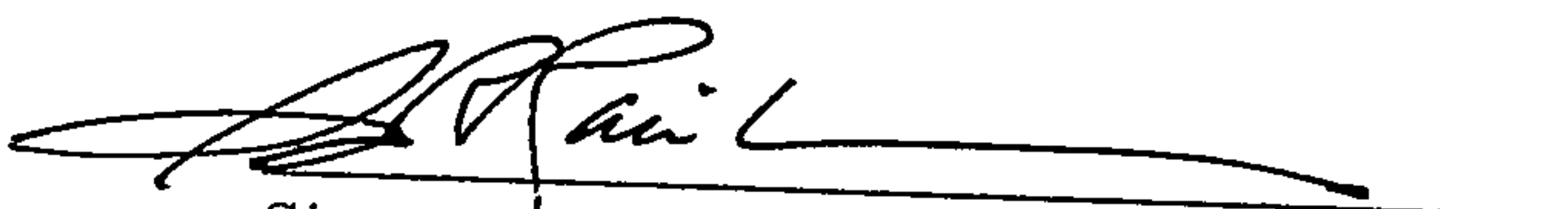




TRAFFIC CERTIFICATION

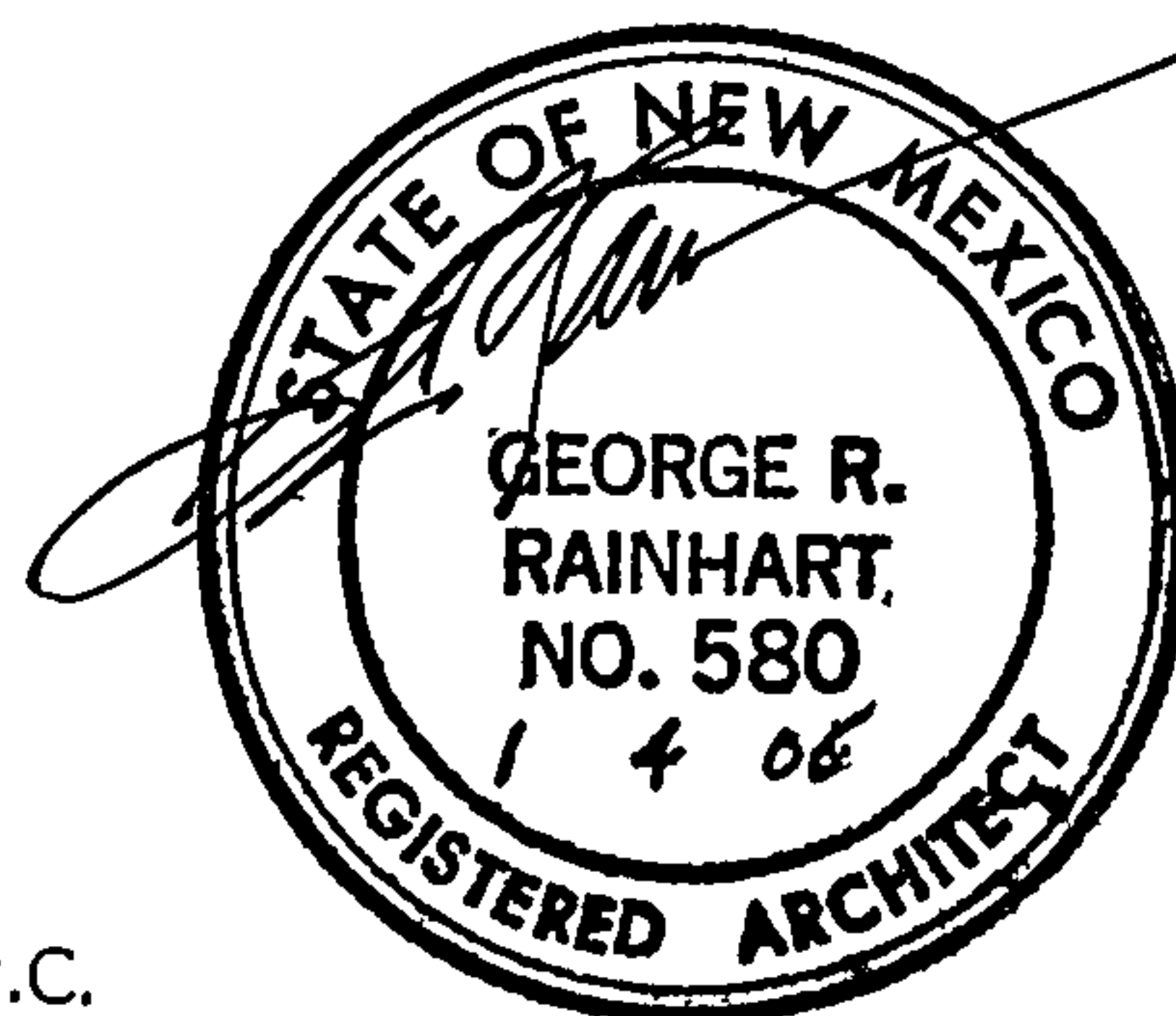
I, GEORGE RAINHART, NMPE OR NMRA NMRA, OF THE FIRM GEORGE RAINHART ARCHITECT & ASSOCIATES, HEREBY CERTIFY THAT THIS PROJECT HAS IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 3/7/2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOHN C. SPITZ OF THE FIRM GEORGE RAINHART ARCHITECT & ASSOCIATES. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 12/29/2005 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY (PERM)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

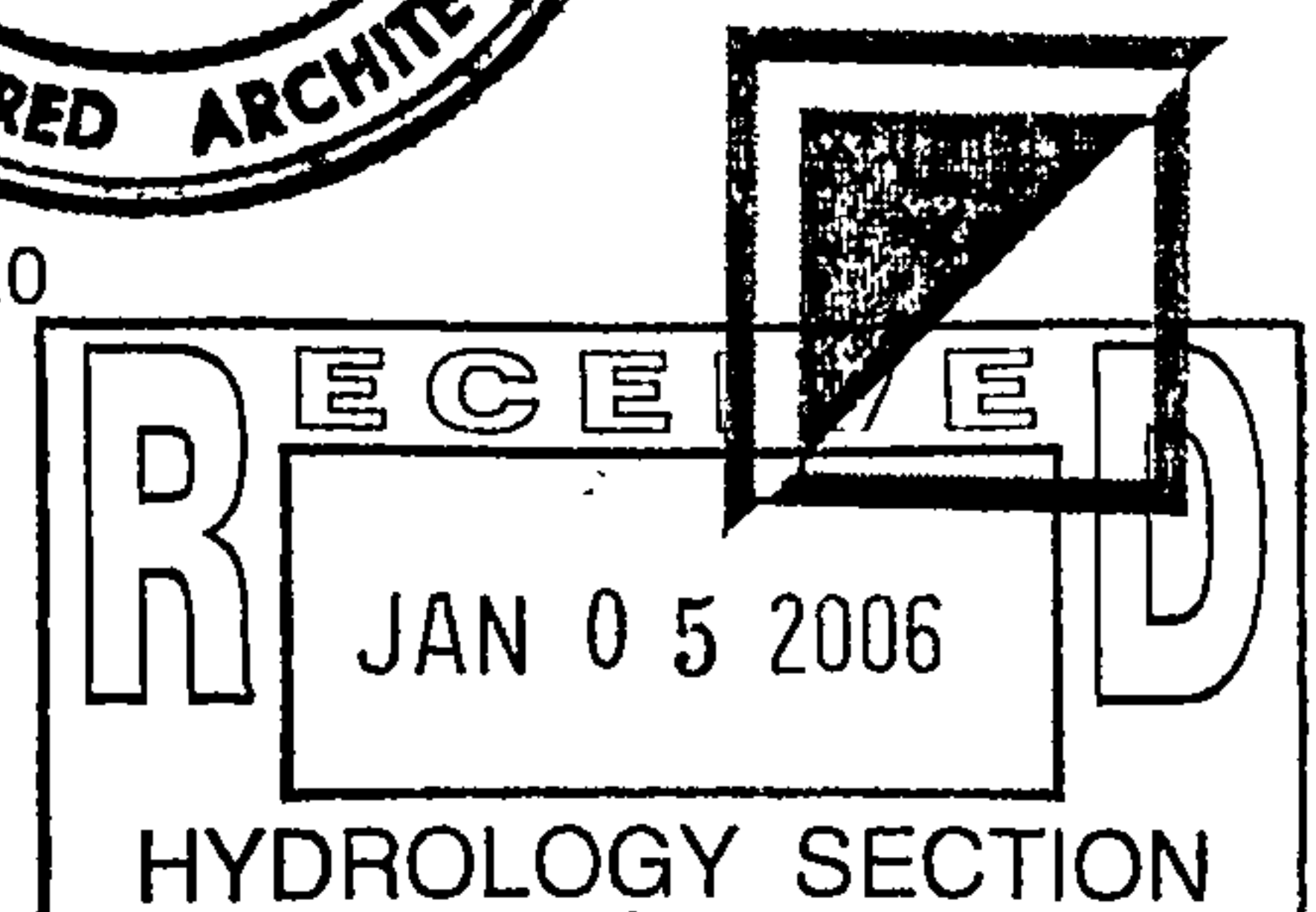
  
Signature of Engineer or Architect

ENGINEER'S OR ARCHITECT'S STAMP

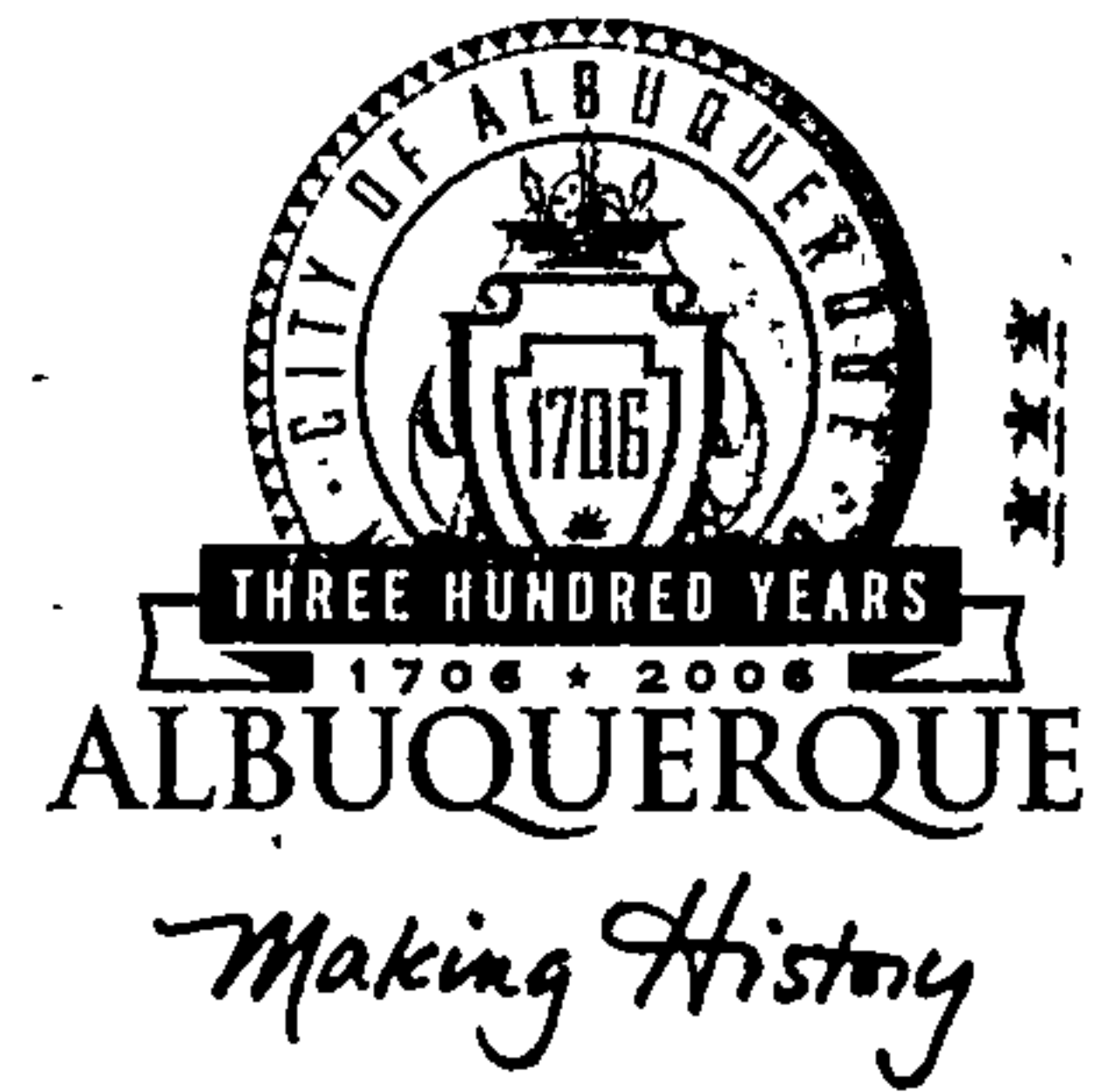
1/4/06  
Date



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.  
2325 SAN PEDRO, NE, SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 884-9110 FAX: (505) 837-9877



# CITY OF ALBUQUERQUE



September 16, 2005

Mr. Mike Walla, P.E.  
**WALLA ENGINEERING, LTD.**  
6100 Indian School Rd. NE  
Albuquerque, NM 87110

**Re: DASKALOS MENAUL**  
**5504 Menaul Blvd. NE**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 12/14/2004 (H-18/D45)**  
**Certification dated 09/16/2005**

Dear Mike:

P.O. Box 1293

Based upon the information provided in your submittal received 09/16/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

*Arlene V. Portillo*

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: Phyllis Villanueva  
File

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DASKALOS MENAUL

ZONE MAP/DRG. FILE #:

H-18/D45

DRB #:

EPC#:

WORK ORDER#:

LEGAL DESCRIPTION: TRACT A, THE WESTERLY 3.5' OF LOT 6 AND LOTS 7 THROUGH BEL-HIE SUBDIVISION, CITY OF ALBUQUERQUE, BERN. CO, NEW MEXICO

CITY ADDRESS: 5504 MENAUL BLVD NE 87110

ENGINEERING FIRM: WALLA ENGINEERING

ADDRESS: 6100 INDIAN SCHOOL NE #210

CITY, STATE: ALBUQ. NM

CONTACT: MIKE WALLA

PHONE: 881-3008

ZIP CODE: 87110

OWNER: DASKALOS

ADDRESS:

CITY, STATE:

CONTACT: MIKE HONDAS

PHONE: 304-5053

ZIP CODE:

ARCHITECT: GEORGE RAINHART ARCH.

ADDRESS: 2325 SAN PEDRO NE SUITE 2-B

CITY, STATE: ALBUQ. NM

CONTACT: JOHN STERN

PHONE: 884-9110

ZIP CODE: 87110

SURVEYOR: ANTHONY HARRIS ENGINEERING

ADDRESS: 2412-D MOIRRE ST NE

CITY, STATE: ALBUQ. NM

CONTACT: ANTHONY HARRIS

PHONE: 889-8056

ZIP CODE: 87110

CONTRACTOR: LA SIERRA CONSTRUCTION

ADDRESS:

CITY, STATE:

CONTACT: MIKE HONDAS

PHONE: 304-5053

ZIP CODE:

## CHECK TYPE OF SUBMITTAL:

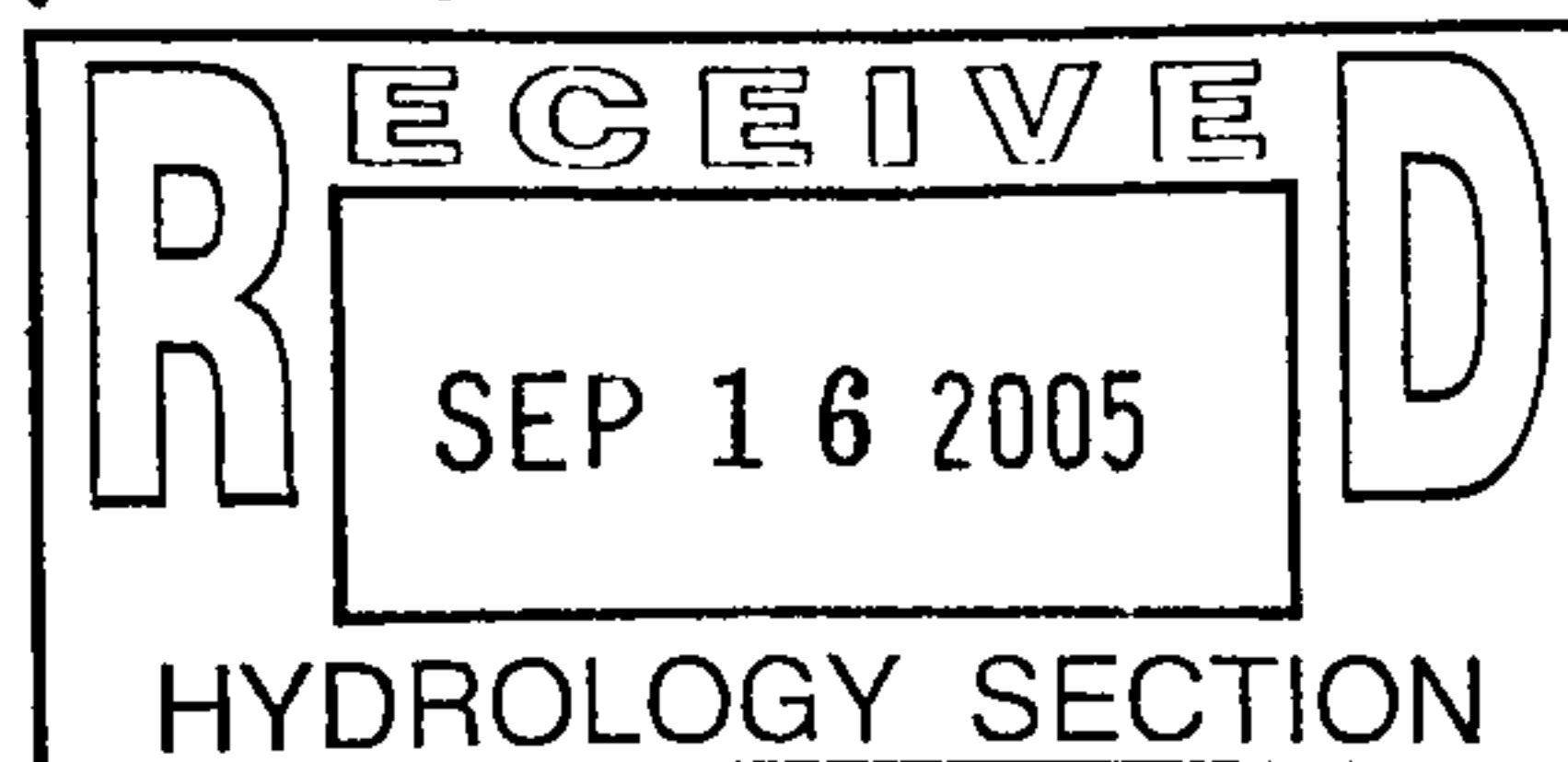
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED:

9/16/05

BY:

MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

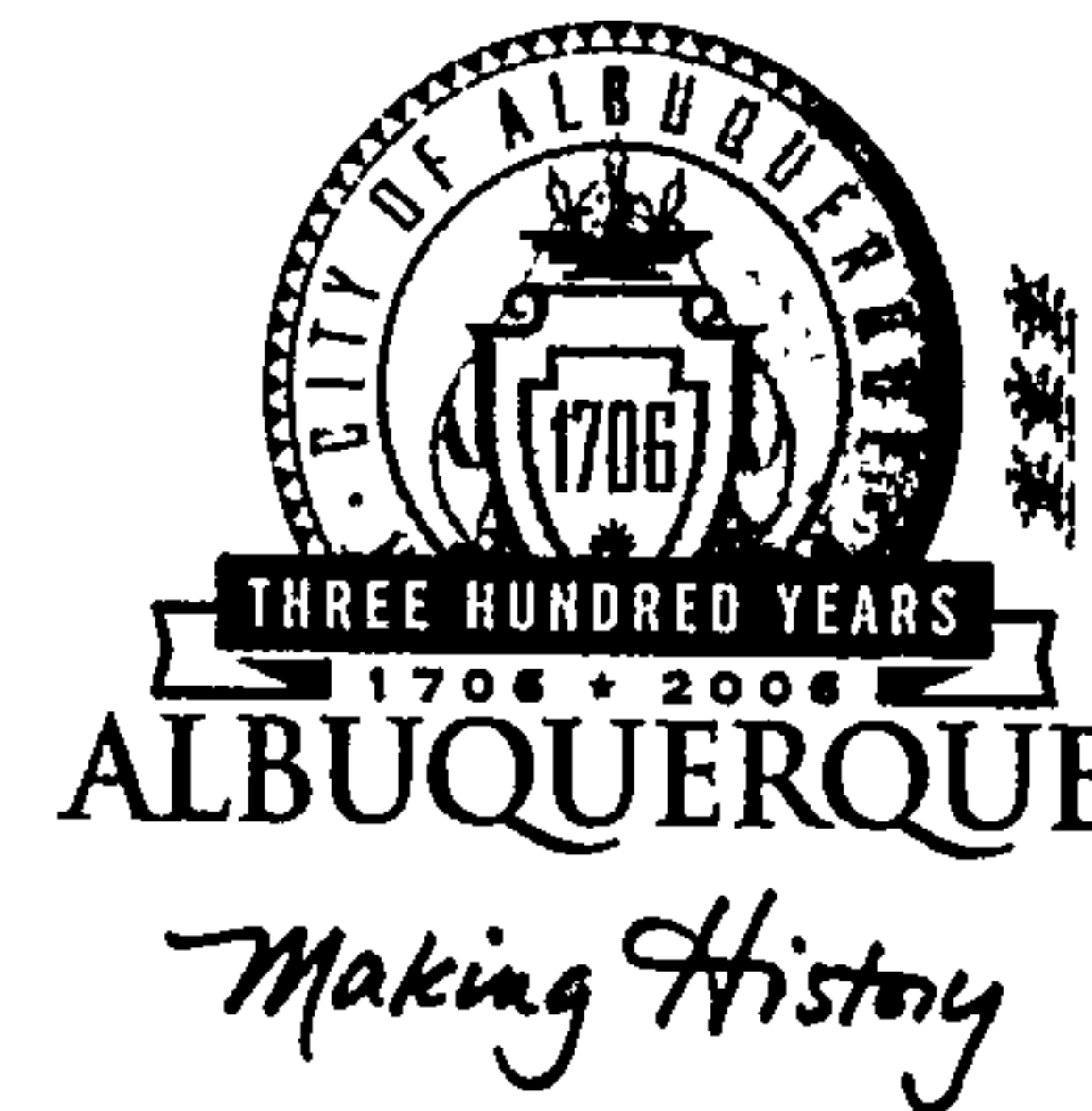
1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



March 7, 2005

George Rainhart, R.A.  
George Rainhart, Architect and Assoc. P.C.  
2325 San Pedro NE, Suite 2-B  
Albuquerque, NM 87110

Re: Daskalos Menaul, Traffic Circulation Layout  
Architect's Stamp dated 3-7-05 (H-18/D45)

Dear Mr. Smith,

The TCL submittal received 3-7-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Wilfred Gallegos, PE  
Traffic Engineer, Planning Dept.  
Development and Building Services

cc: file

# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DASKALOS MENAUL ZONE MAP/DRG. FILE #: H-18/D45  
 DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT(S) 4 THRU 10, BLOCK(S) 105, TRACT A, BEL AIR SUBDIVISION, ALB, NM  
 CITY ADDRESS: 5504 MENAUL NE

ENGINEERING FIRM: WALLA ENGINEERING  
 ADDRESS: 6100 INDIAN SCHOOL RD. NE  
 CITY, STATE: ALB, NM

CONTACT: MIKE WALLA  
 PHONE: 881-3008  
 ZIP CODE: 87110

OWNER: JASPEG, LLC  
 ADDRESS: 5321 MENAUL BLVD NE  
 CITY, STATE: ALB, NM

CONTACT: JASON DASKALOS  
 PHONE: 883-0414  
 ZIP CODE: 87110

ARCHITECT: GEORGE RAINHART ARCHITECT & ASSOCIATES  
 ADDRESS: 2325 SAN PEDRO SUITE 2-B  
 CITY, STATE: ALB, NM

CONTACT: JOHN SPITZ  
 PHONE: 884-9110 EXT 105  
 ZIP CODE: 87110

SURVEYOR: HARRIS SURVEYING INC  
 ADDRESS: 2412 MONROE ST NE  
 CITY, STATE: ALB, NM

CONTACT: ANTHONY HARRIS  
 PHONE: 889-8056  
 ZIP CODE: 87110

CONTRACTOR: LA SIERRA CONSTRUCTION CO., INC  
 ADDRESS: 5321 MENAUL BLVD NE  
 CITY, STATE: ALB, NM

CONTACT: MIKE HANTAS  
 PHONE: 883-7335  
 ZIP CODE: 87110

## CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

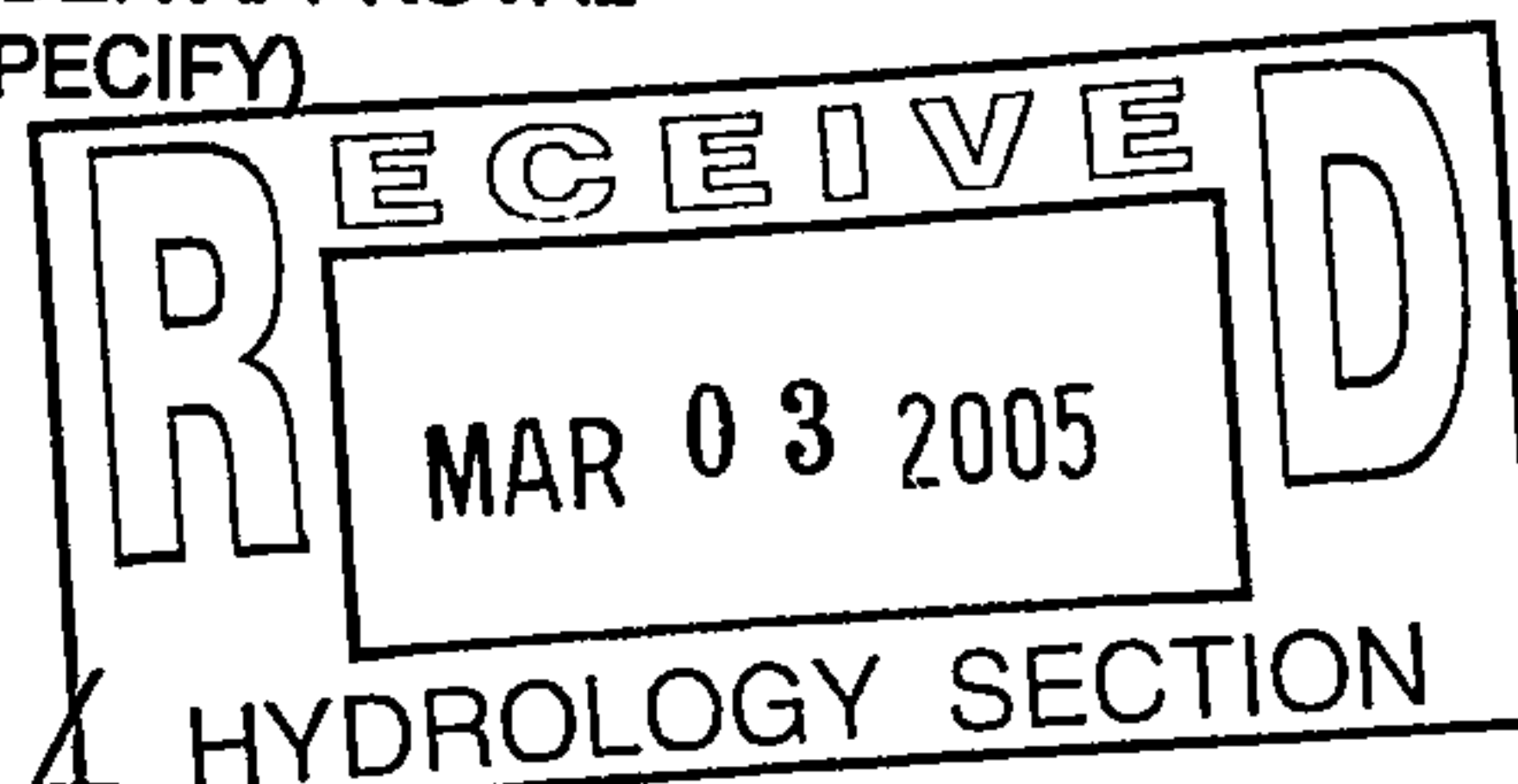
- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3-3-05

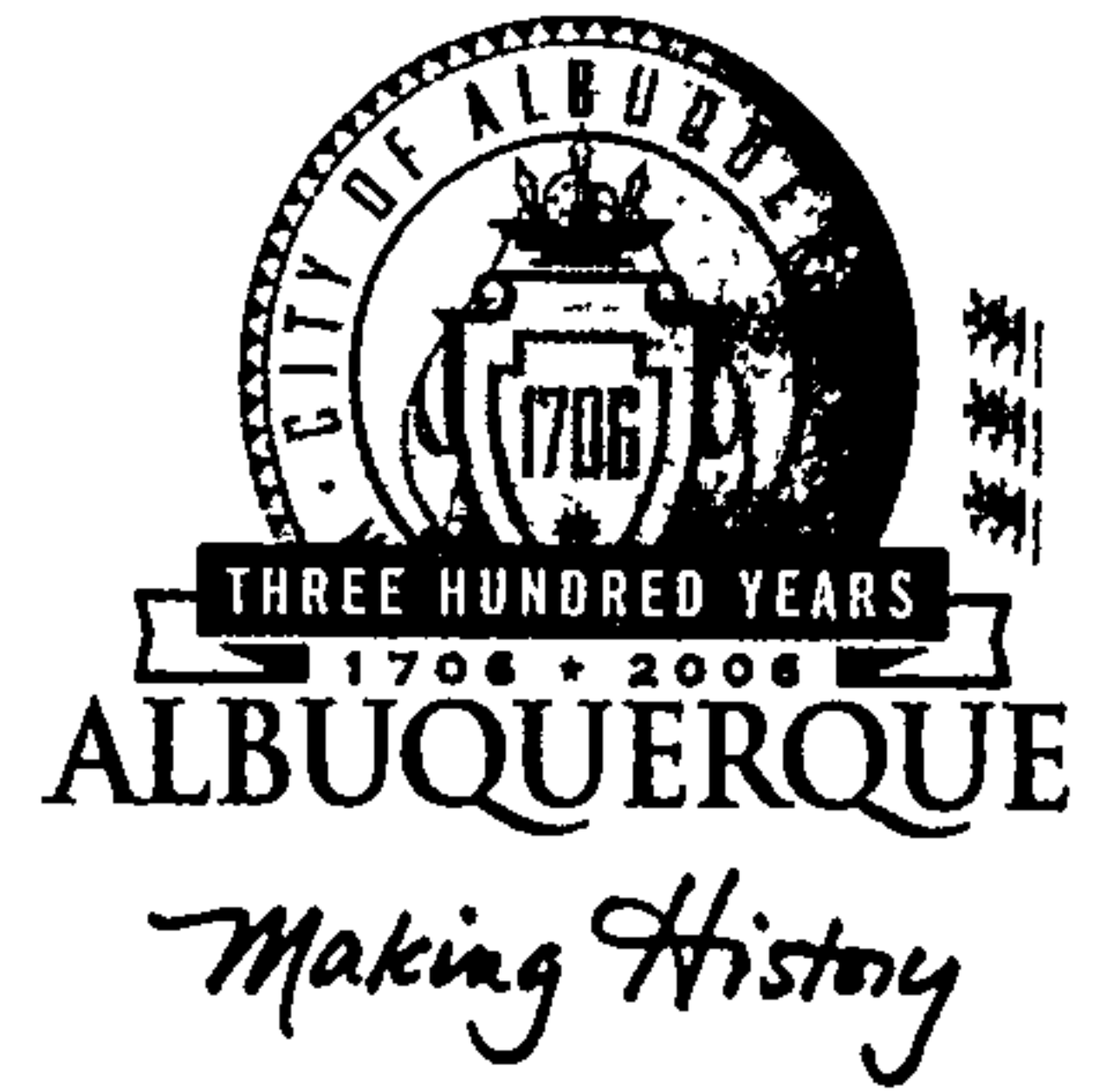
BY: JOHN C SPITZ



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



February 4, 2005

Mike Walla, P.E.  
Walla Engineering LTD.  
6100 Indian School Rd. NE  
Suite 210  
Albuquerque, NM 87110

**Re: Daskalos Menaul, 5504 Menaul Blvd. NE 87110, Grading and Drainage  
Plan, Engineer's Stamp dated 12-14-04 (H-18/D45)**

Dear Mr. Walla,

Based upon the information provided in your submittal received 12-20-04, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O. Box 1293

If you have any questions, please feel free to contact me at 924-3994.

Albuquerque

Sincerely,

New Mexico 87103

Tony Loyd  
Engineer Associate  
Planning Department  
Development and Building Services Division  
Transportation Section  
bub

[www.cabq.gov](http://www.cabq.gov)

C: File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: DASKALOS MENAUL ZONE MAP/DRG. FILE #: H-18/D45  
DRB #: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: TRACT A, THE WESTERLY 3.5' OF LOT 6 AND LOTS 7 THROUGH 10 BEL-AIR  
CITY ADDRESS: SUBDIVISION, CITY OF ALBUQUERQUE, BERN. CO, NEW MEXICO  
5504 MENAUL BLVD NE 87110

ENGINEERING FIRM: WALLA ENGINEERING  
ADDRESS: 6100 INDIAN SCHOOL NE #210  
CITY, STATE: ALBUQ. NM

CONTACT: MIKE WALLA  
PHONE: 881-3008  
ZIP CODE: 87110

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: GEORGE RAINHART ARCH.  
ADDRESS: 2325 SAN PEDRO NE SUITE 2-B  
CITY, STATE: ALBUQ. NM

CONTACT: JOHN STERN  
PHONE: 884-9110  
ZIP CODE: 87110

SURVEYOR: ANTHONY HARRIS ENGINEERING  
ADDRESS: 2412-D MONROE ST NE  
CITY, STATE: ALBUQ. NM

CONTACT: ANTHONY HARRIS  
PHONE: 889-8056  
ZIP CODE: 87110

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

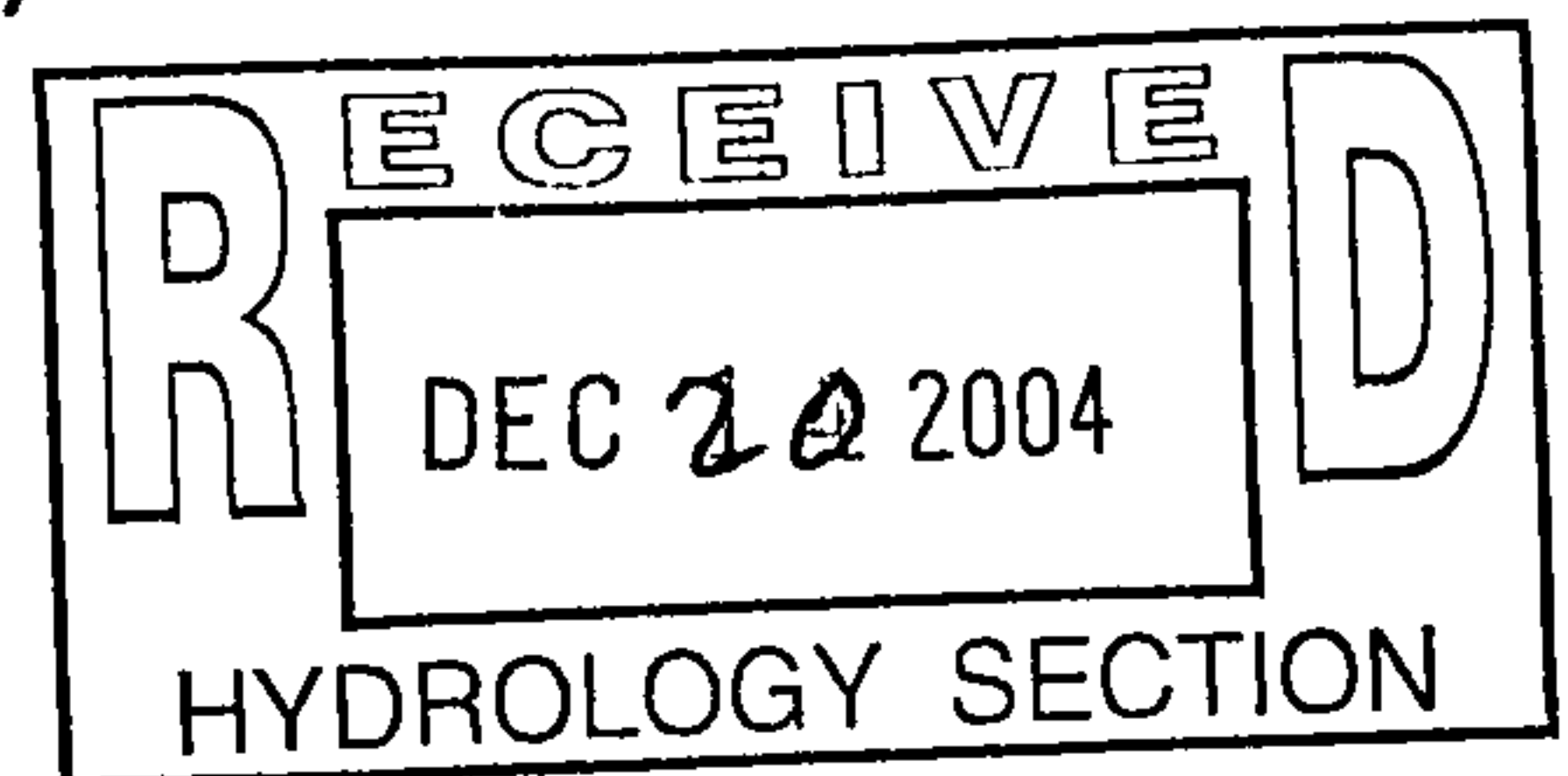
- ☒ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL, *REQUIRES TCL or equal*  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) \_\_\_\_\_

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 12-14-04 BY: MIKE WALLA

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

## LETTER OF TRANSMITTAL

TO CITY OF ALBUQUERQUE  
HYDROLOGY

DATE 12-14-04 JOB NO. 209-1904

ATTENTION \_\_\_\_\_

RE: DASKALOS MANUAL

WE ARE SENDING YOU ☒ Attached ☐ Under Separate Cover Via \_\_\_\_\_ the following items:

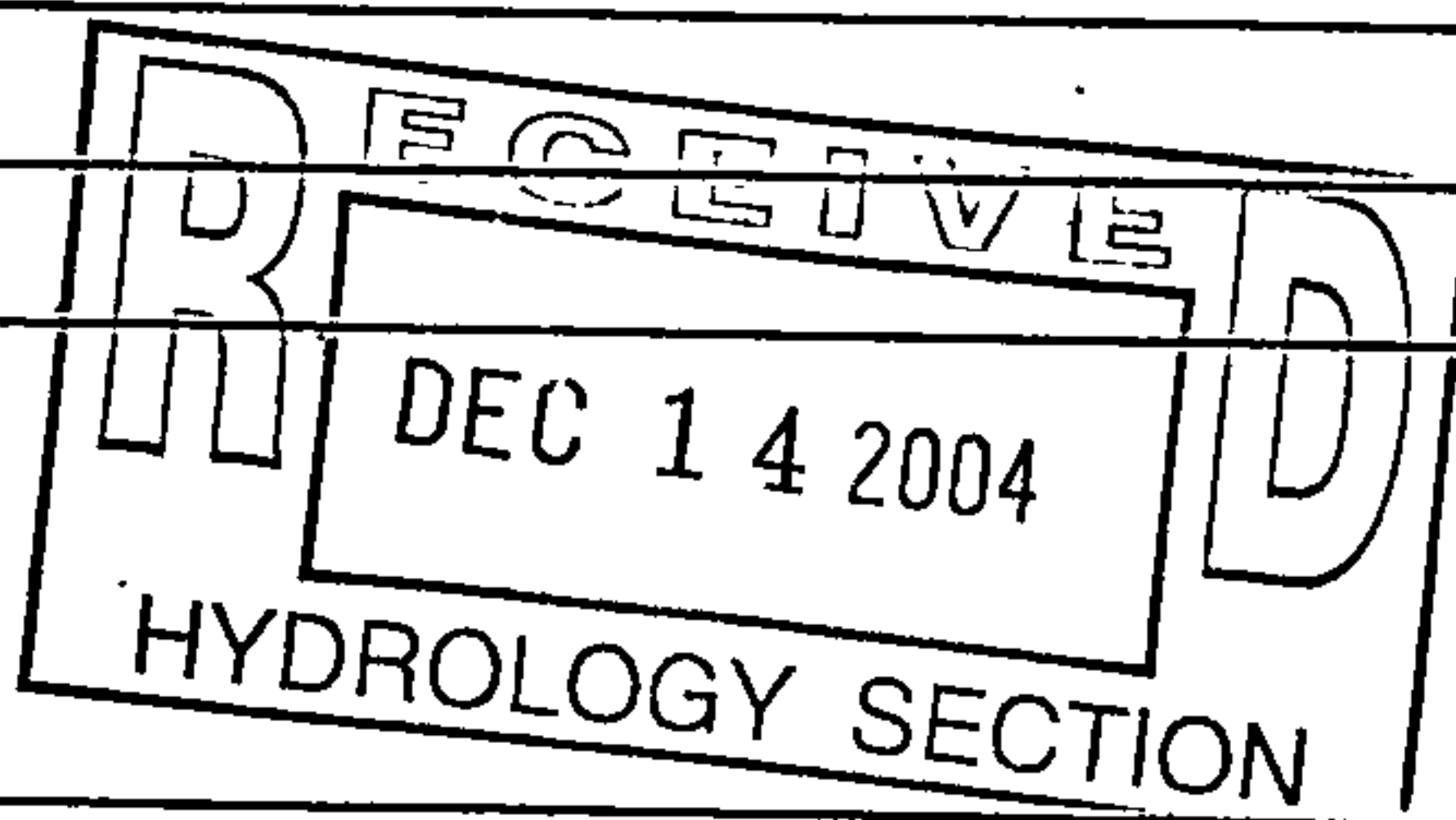
- |   |                                       |   |   |   |
|---|---------------------------------------|---|---|---|
| <input checked="" type="checkbox"/> Plans | <input type="checkbox"/> Prints       | <input type="checkbox"/> Diskette       | <input type="checkbox"/> Specifications | <input type="checkbox"/> Calculations         |
| <input type="checkbox"/> Report           | <input type="checkbox"/> Change Order | <input type="checkbox"/> Copy of Letter | <input type="checkbox"/> Shop drawings  | <input type="checkbox"/> Proposal Information |
| <input type="checkbox"/> Samples          | <input type="checkbox"/> _____        |   |   |   |

COPIES	DATE	NO.	DESCRIPTION
2			GRADING AND DRAINAGE PLAN

THESE ARE TRANSMITTED as checked below:

- |  |  |  |
|--|--|--|
| <input checked="" type="checkbox"/> For Your Use | <input checked="" type="checkbox"/> For Review and Comment | <input type="checkbox"/> Returned After Loan To Us   |
| <input type="checkbox"/> As Requested            | <input type="checkbox"/> Correct and Resubmit              | <input type="checkbox"/> Resubmittal Not Required, Revise<br>Per Corrections Noted, If Any |

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



COPIES TO: \_\_\_\_\_ SIGNED: LARRY KENNEDY

If enclosures are not as noted, kindly notify us at once.