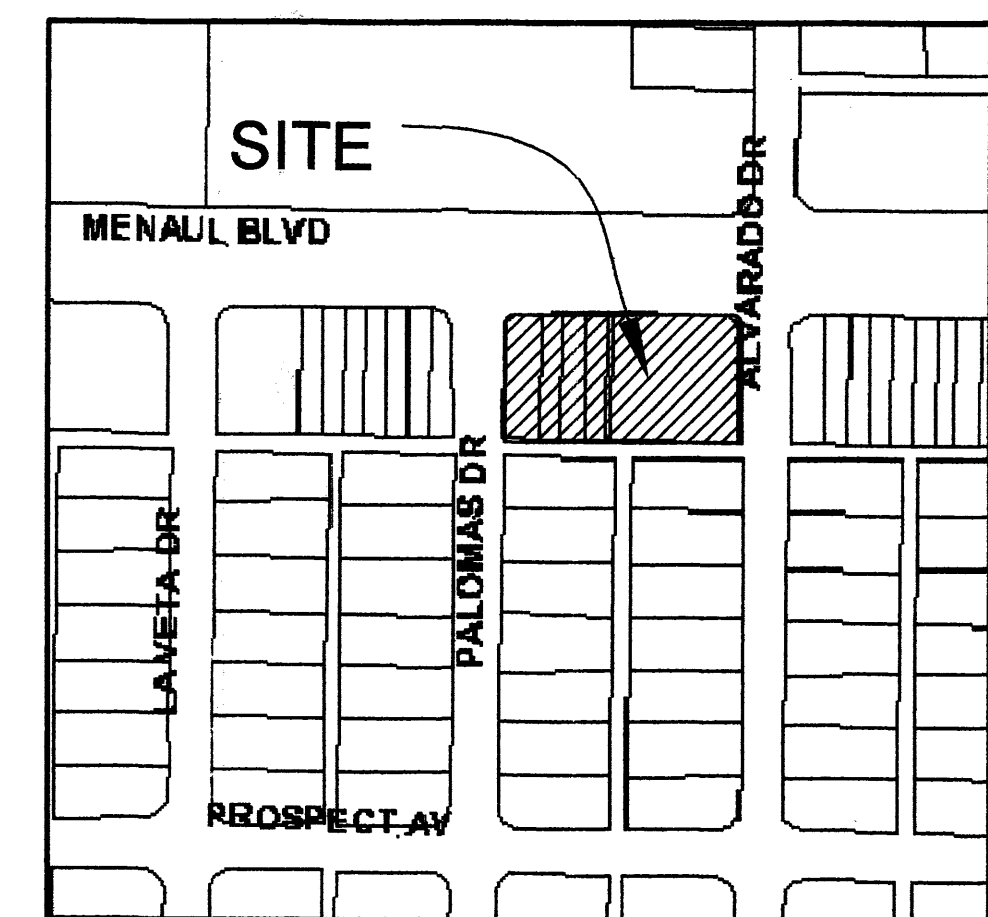




VICINITY MAP ZONE MAP H18

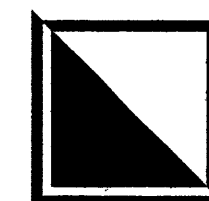
ADDRESS: 5504 MENAUL BLVD. NE.

LEGAL DESCRIPTION:
LOT(S) 6 THRU 10, BLOCK(S) 105,
TRACT(S) A, BEL AIR SUBDIVISION,
ALBUQUERQUE, NM.

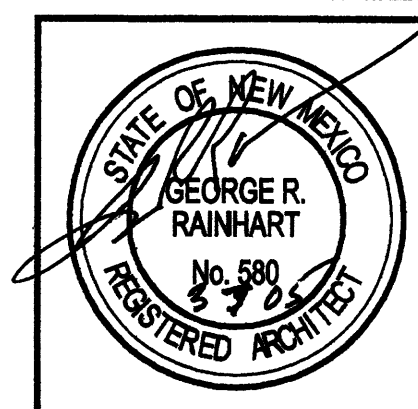
TRAFFIC CIRCULATION LAYOUT
APPROVED

[Signature] 3-7-05
Signed Date

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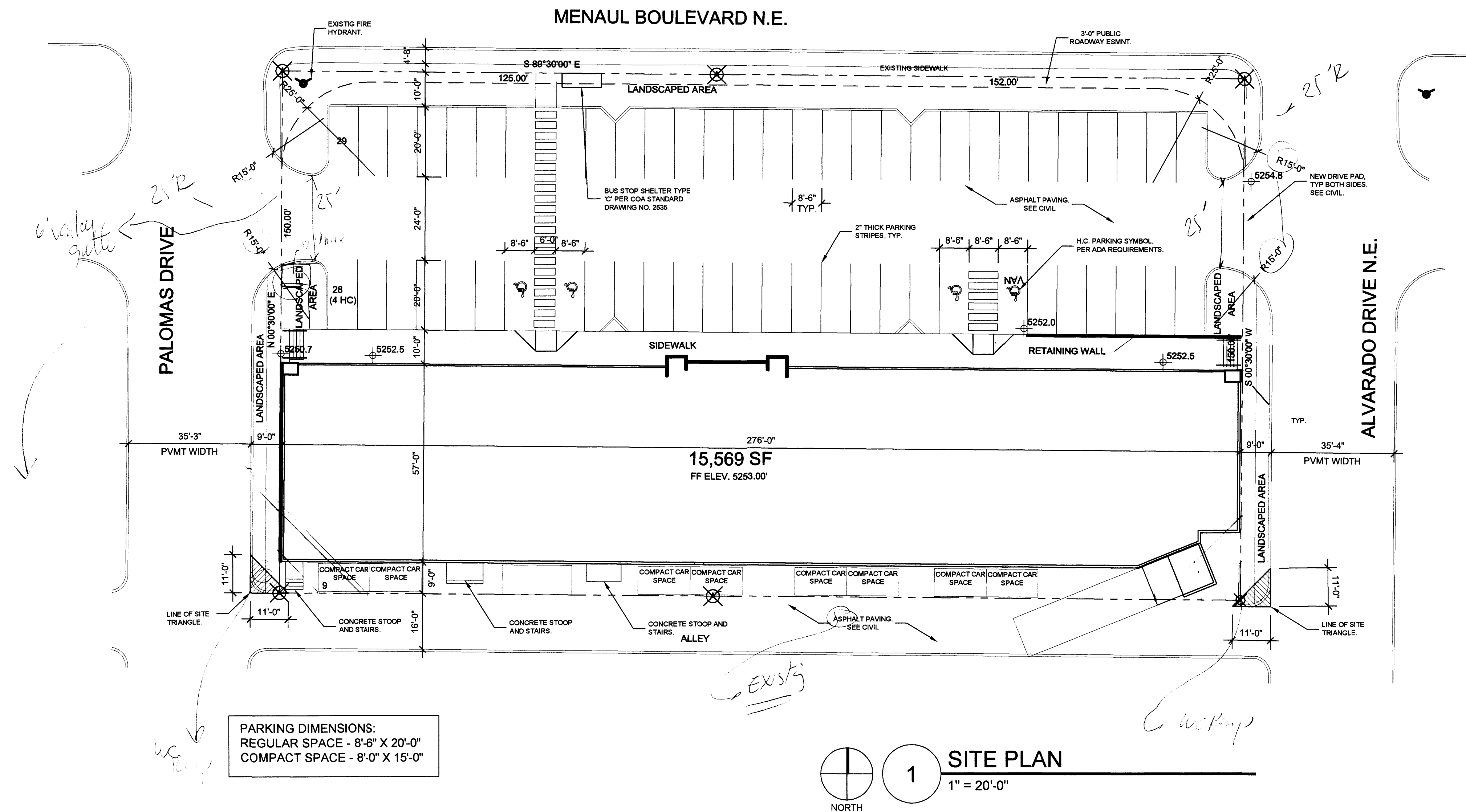


GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

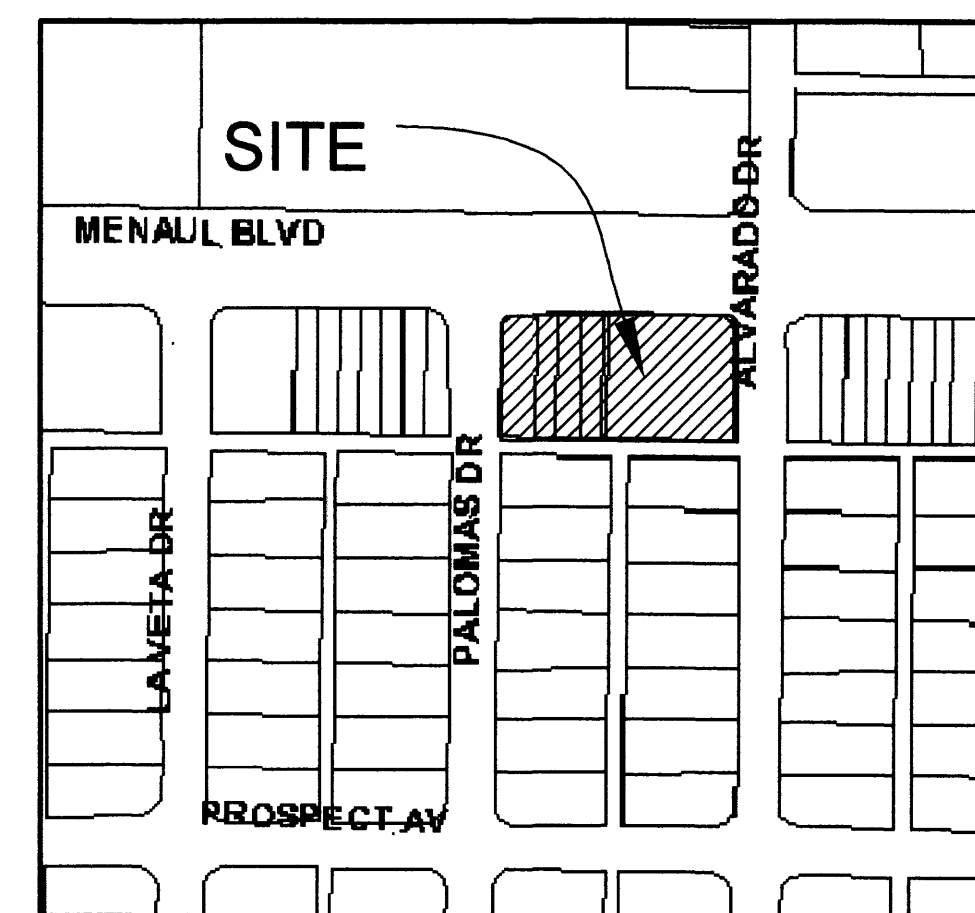


PROJECT TITLE Daskalos Menaul 5504 MENAUL BLVD. NE ALBUQUERQUE, NM		JOB NO. 0458		DRAWN BY: JS	
PROJECT MANAGER JOHN STERNI		SHEET TITLE SITE PLAN/DETAILS			

DATE: 12.20.04	sheet- TCL
SCALE: AS NOTED	of.



SITE DATA:			
LOT ACREAGE .954 ac. +/- (41,550 sf)			
BLDG. FLOOR AREA 15,569 sf			
NET LEASABLE AREA 15264 sf			
NET LOT AREA 25,981 sf			
PARKING REQUIRED			
RETAIL 15,264/200=76			
TRANSIT ROUTE DISCOUNT			
76 - 15% = 65			
TOTAL SPACES REQ.=65			
(INCLUDING 4 ACCESSIBLE)			
TOTAL SPACES PROVIDED = 66			
-58 REGULAR CAR SPACES			
-8 COMPACT CAR SPACES			
LANDSCAPE AREA REQUIRED =			
15% NET LOT AREA = 15% X 25,981 sf =			
3897 sf			
LANDSCAPE AREA PROVIDED = 3984 sf			



VICINITY MAP ZONE MAP H18

ADDRESS: 5504 MENAUL BLVD. NE.

LEGAL DESCRIPTION:
LOT(S) 6 THRU 10, BLOCK(S) 105,
TRACT(S) A, BEL AIR SUBDIVISION,
ALBUQUERQUE, NM.

TRAFFIC CIRCULATION LAYOUT APPROVED	
<i>[Signature]</i>	3-7-05
Signed	Date

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APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	
	H-18-Z	

TEMPORARY BENCHMARK

CUT "X" IN CONCRETE BACK OF CURB • NE CORNER OF SITE - ELEVATION 5254.64 M.S.L.E.

PROJECT BENCHMARK

CITY OF ALBUQUERQUE STATION "18-118" HAVING AN ELEVATION OF 5250.11 M.S.L.E.

LEGAL DESCRIPTION

TRACT A, THE WESTERLY 33' OF LOT 6 AND LOTS 1 THRU 10 BEL-AIR SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

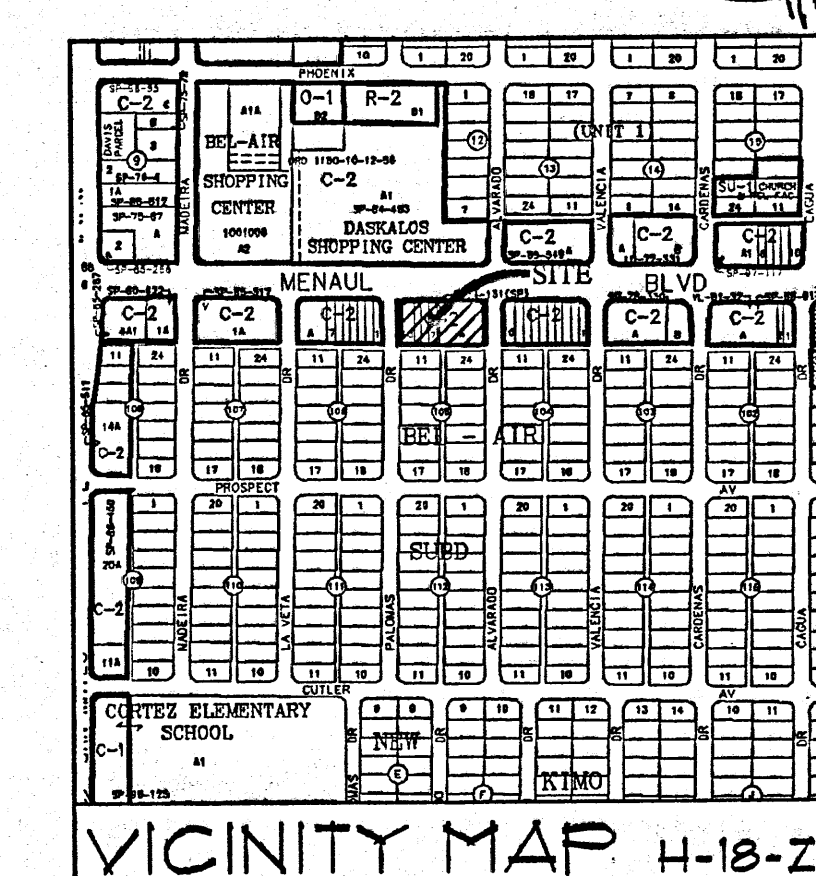
DESIGN NARRATIVE

THIS PROJECT IS THE DEMOLITION OF TWO EXISTING BUILDINGS AND PARKING LOT TO CONSTRUCT A NEW RETAIL CENTER. NEW DRIVEWAY ENTRANCES WILL REPLACE EXISTING DRIVE PADS • PALOMAS DRIVE & ALVARADO DRIVE WHERE ACCESS TO THE SITE CURRENTLY EXISTS. THE SITE WILL PRIMARILY DRAIN WEST WITH SURFACE FLOWS TO PALOMAS AS IT CURRENTLY DOES. ROOF DRAINAGE WILL BE DIRECTED TO THE ALLEY BORDERING THE SITE ON THE SOUTH. THIS ALLEY CURRENTLY DRAINS TO PALOMAS DRIVE AS WELL. NO NEW CONSTRUCTION WILL OCCUR IN THE ALLEY. SOME C.O.A. SIDEWALK MAY HAVE TO BE REMOVED AND REPLACED DURING THIS CONSTRUCTION. STORM DRAIN FACILITIES ON MENAUL WILL RECEIVE FLOWS FROM THIS SITE. DRAINAGE FLOWS FROM THIS SITE WILL EXIT TO DRAINAGE FACILITIES THROUGH THE DRIVEWAY ENTRANCE OR TO THE ALLEY AND WILL NOT CROSS C.O.A. SIDEWALKS. THERE ARE NO OFFSET FLOWS IMPACTING THIS SITE NOR WILL THERE BE ONCE CONSTRUCTION IS COMPLETE. PROPOSED SITE IMPROVEMENTS CAUSE VERY LITTLE CHANGE TO THE CURRENT DEVELOPED DRAINAGE FLOW FROM THE SITE TO PUBLIC FACILITIES (LESS THAN 2% CHANGE).

ENGINEERS CERTIFICATION

I, MIKE WALLA NPE 10320, OF THE FIRM WALLA ENGINEERING LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12-14-04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY PHIL TURNER SURVEYING. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-15-05 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

MIKE WALLA
DATE 9/16/05
NPE 10320
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER



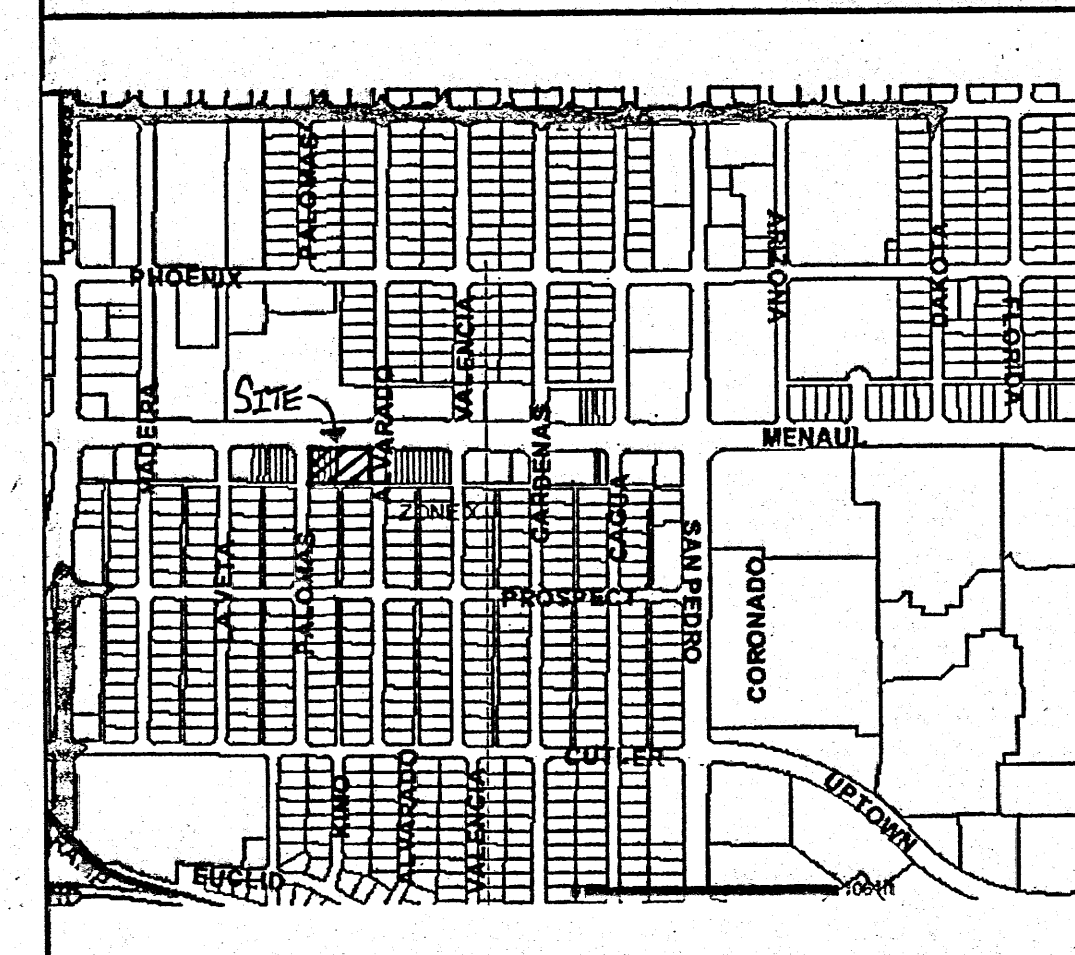
KEYED NOTES

- 1 CONCRETE VALLEY GUTTER-CONSTRUCT PER CITY OF ALBUQUERQUE STANDARD DETAIL 2420 • PRIVATE ACCESS DRIVEWAY.
- 2 ASPHALT PAVING PER SECTION 1/C10
- 3 6" CONCRETE CURB-CONSTRUCT PER 2/C10
- 4 4 EA. 6" RISER CONCRETE STEPS PER 3/C10
- 5 CONCRETE SIDEWALK PER DETAIL 4/C10.

LEGEND

- PROPERTY LINE
- - - - - 5255 - - - EXISTING CONTOUR
- - - - - 55 - - - NEW CONTOUR
- 5450.0 NEW SPOT ELEVATION
- 52.60 EXISTING SPOT ELEVATION
- FLOW DIRECTION
- FF FINISHED FLOOR
- FG FINISHED GRADE
- TC TOP OF CONCRETE/TOP OF CURB
- FL FLOWLINE
- TA TOP OF ASPHALT
- BOC BACK OF CURB
- CI CHANNEL INVERT
- EDGE OF NEW ASPHALT
- SWALE
- NEW BUILDING
- NEW CONCRETE PAVING

FEMA FLOOD PLAIN MAP



HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 3 DESIGN STORM (IN)				1hr	6hr	24hr	4day	10day		
				2.14	2.60	3.10	3.95	4.90		
EXISTING CONDITIONS										
LAND TRTMENT	AREA (ACRE)	AREA %	P6	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.66	156	0.00	0	0	0	0	
B	0.000	0%	0.92	228	0.00	0	0	0	0	
C	0.186	18%	1.29	3.14	0.58	0.11	0.11	0.11	0.11	
D	0.168	81%	2.36	4.70	3.61	6.579	7.973	10.343	12.991	
TOTALS				0.354	100%	4.19	7.450	8.244	11.214	13.862
PROPOSED CONDITIONS										
LAND TRTMENT	AREA (ACRE)	AREA %	P6	Q (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)	
A	0.000	0%	0.66	156	0.00	0	0	0	0	
B	0.016	8%	0.92	2.28	0.11	0.11	0.11	0.11	0.11	
C	0.000	0%	1.29	3.14	0.00	0	0	0	0	
D	0.878	92%	2.36	4.70	4.13	7.522	9.115	11.824	14.852	
TOTALS				0.954	100%	4.30	7.715	9.369	12.078	15.106

Walla
ENGINEERING LTD.
6100 Indian School Road NE • Suite 210
Albuquerque, New Mexico 87110
881-3008 • Facsimile 884-5390

Structural Engineering
Civil Engineering
HYDROLOGY SECTION
DATE 12/14/04
SCALE AS SHOWN
REVISED
SEP 16 2005

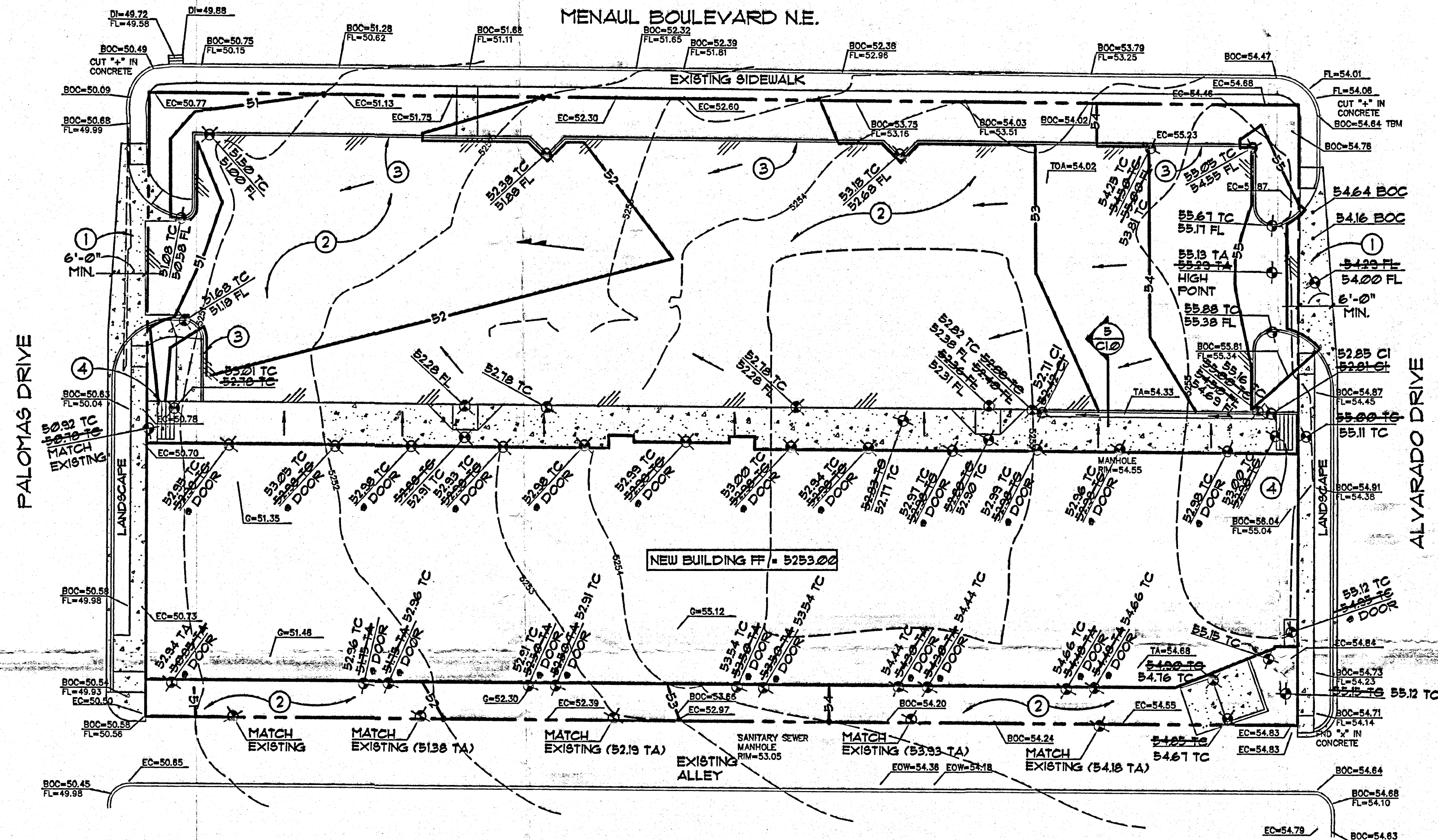
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GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

MIKE L. WALLA
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
121104

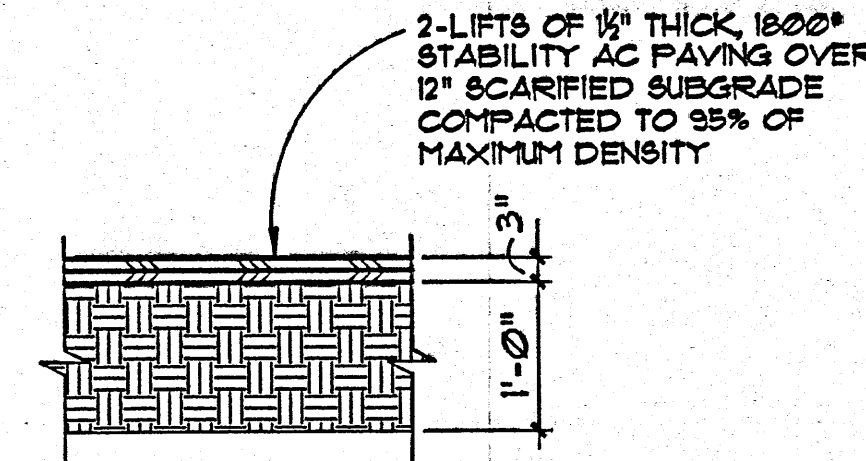
PROJECT TITLE
Daskalos Menaul
5504 MENAUL BLVD. NE
ALBUQUERQUE, NM
PROJECT MANAGER
JON STERN
DRAWN BY
KGG
JOB NO.
648
SHEET TITLE
GRADING and DRAINAGE PLAN

DATE 12/14/04
SCALE AS SHOWN
REVISED
SEP 16 2005
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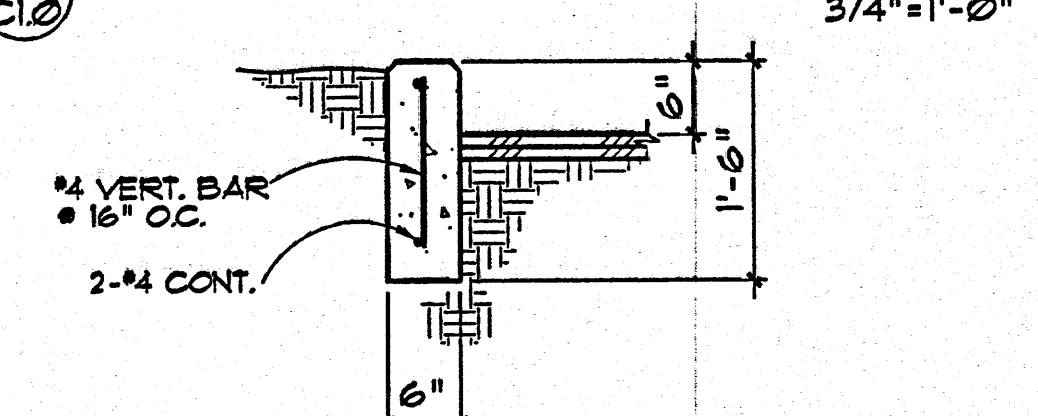


GRADING and DRAINAGE PLAN

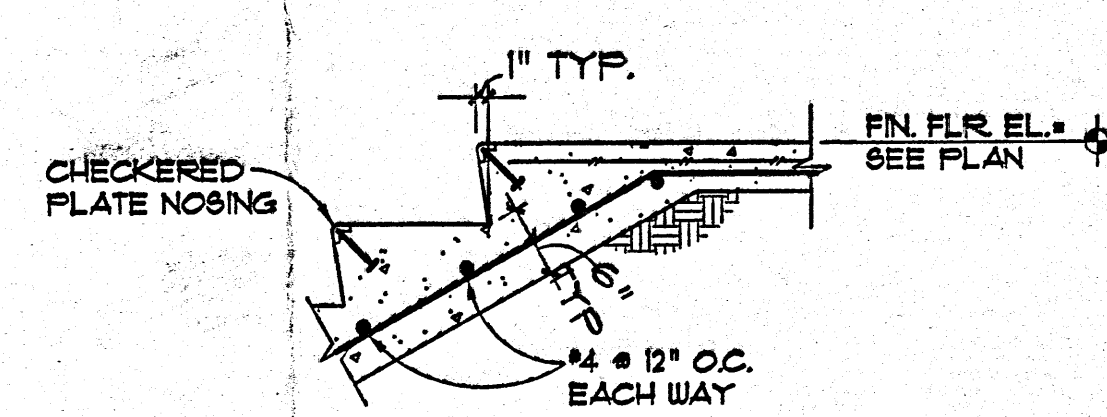
SCALE: 1"=20'



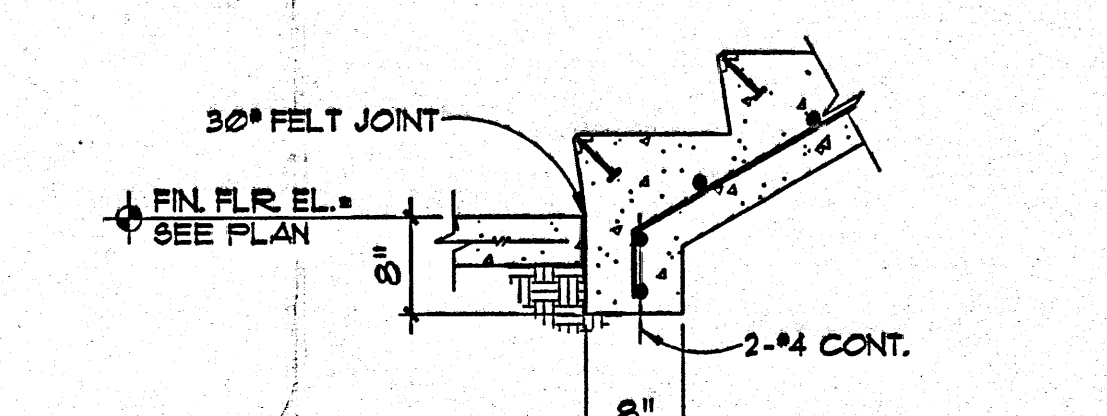
1 TYPICAL PAVING SECTION 3/4"=1'-0"



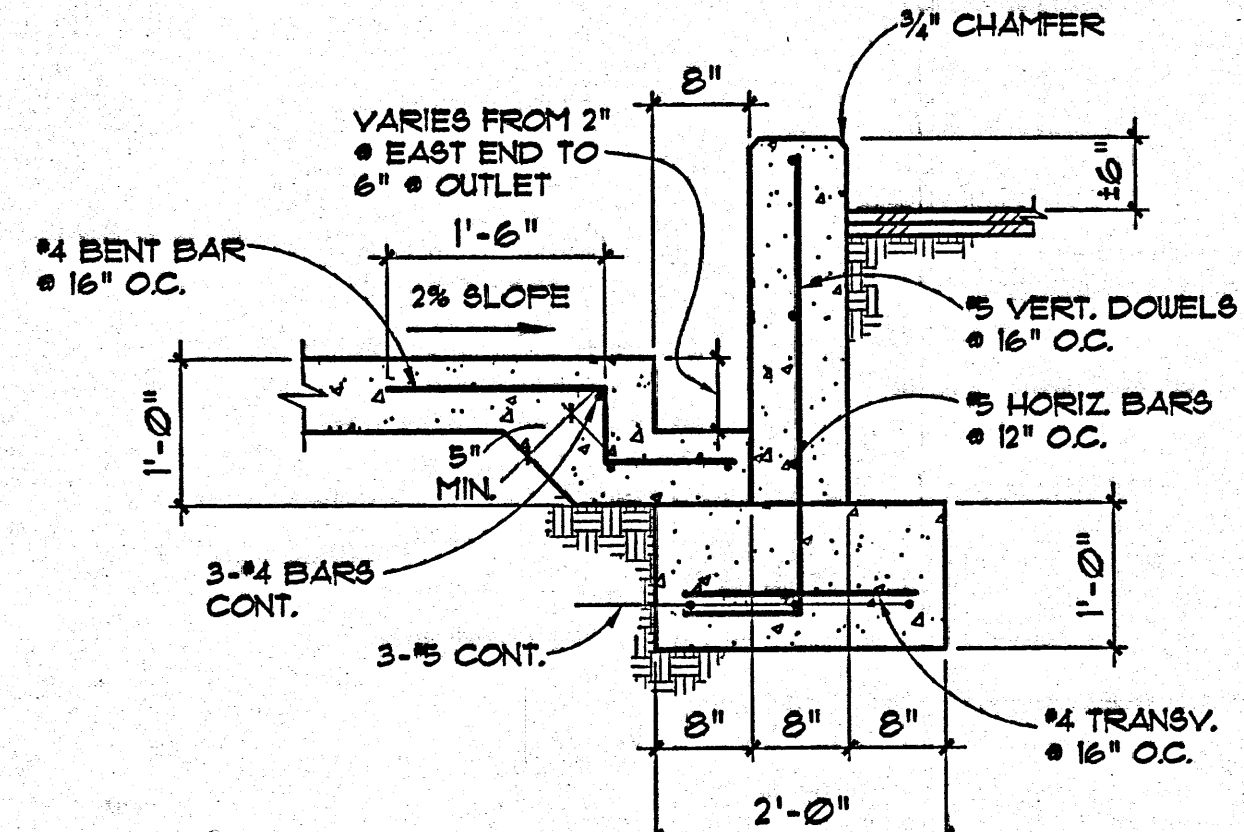
2 TYPICAL CONCRETE CURB DETAIL 3/4"=1'-0"



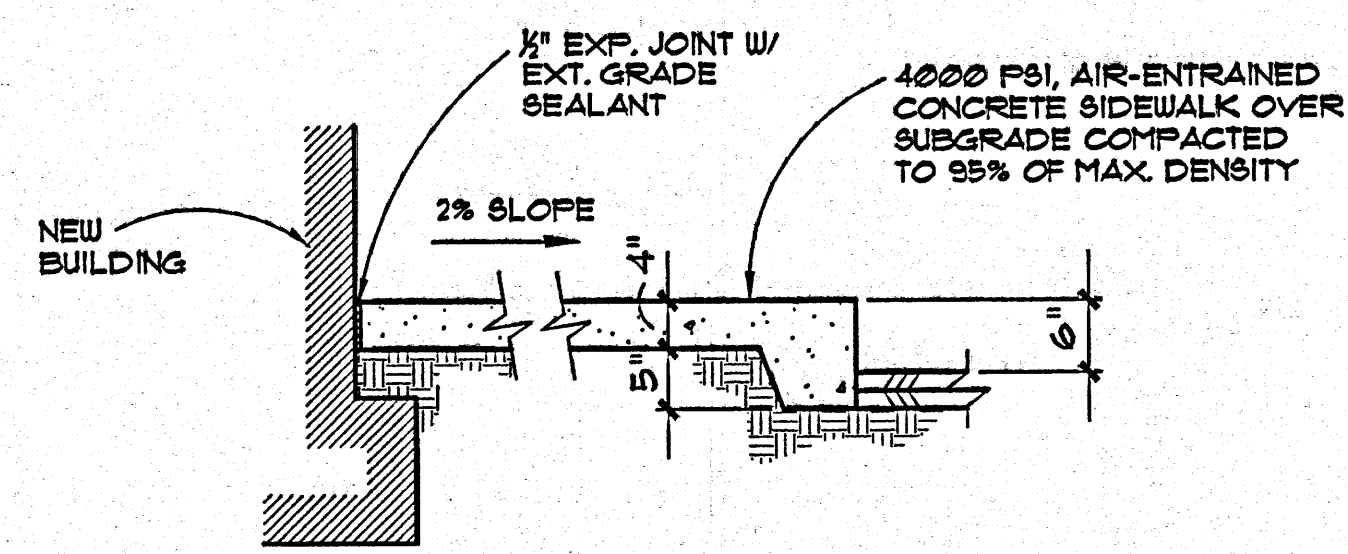
3 TYPICAL CHECKERED PLATE NOBING 1" TYP.



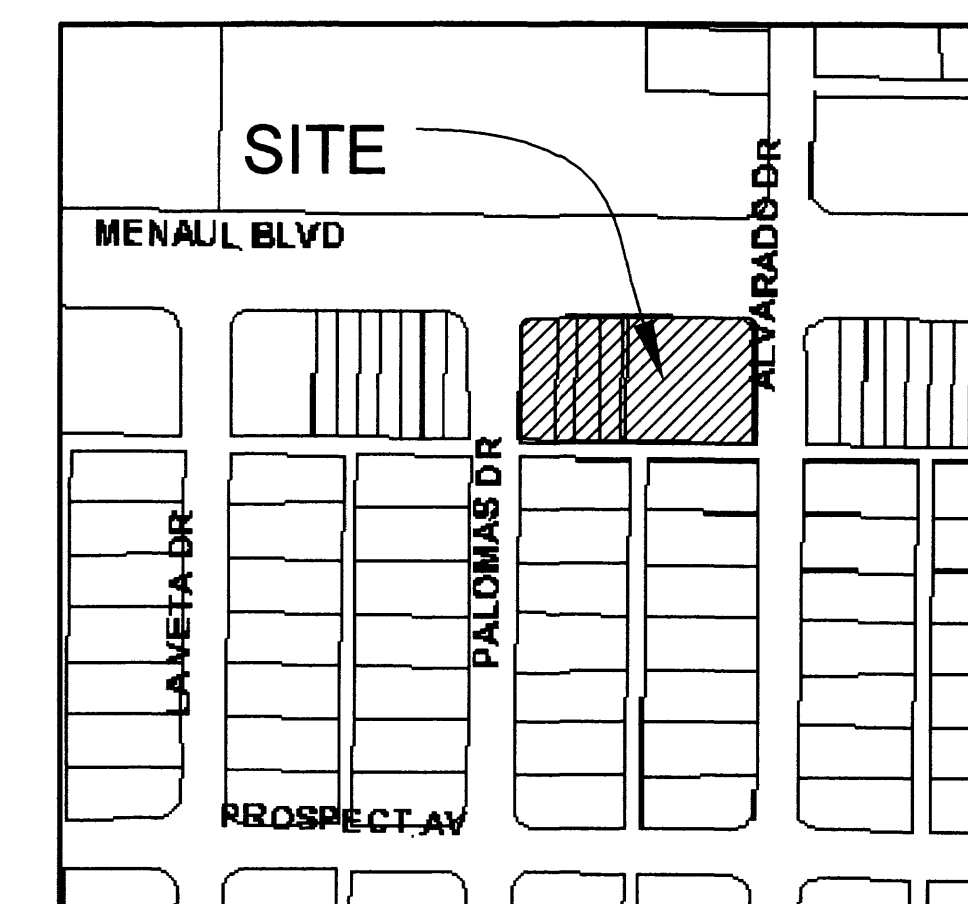
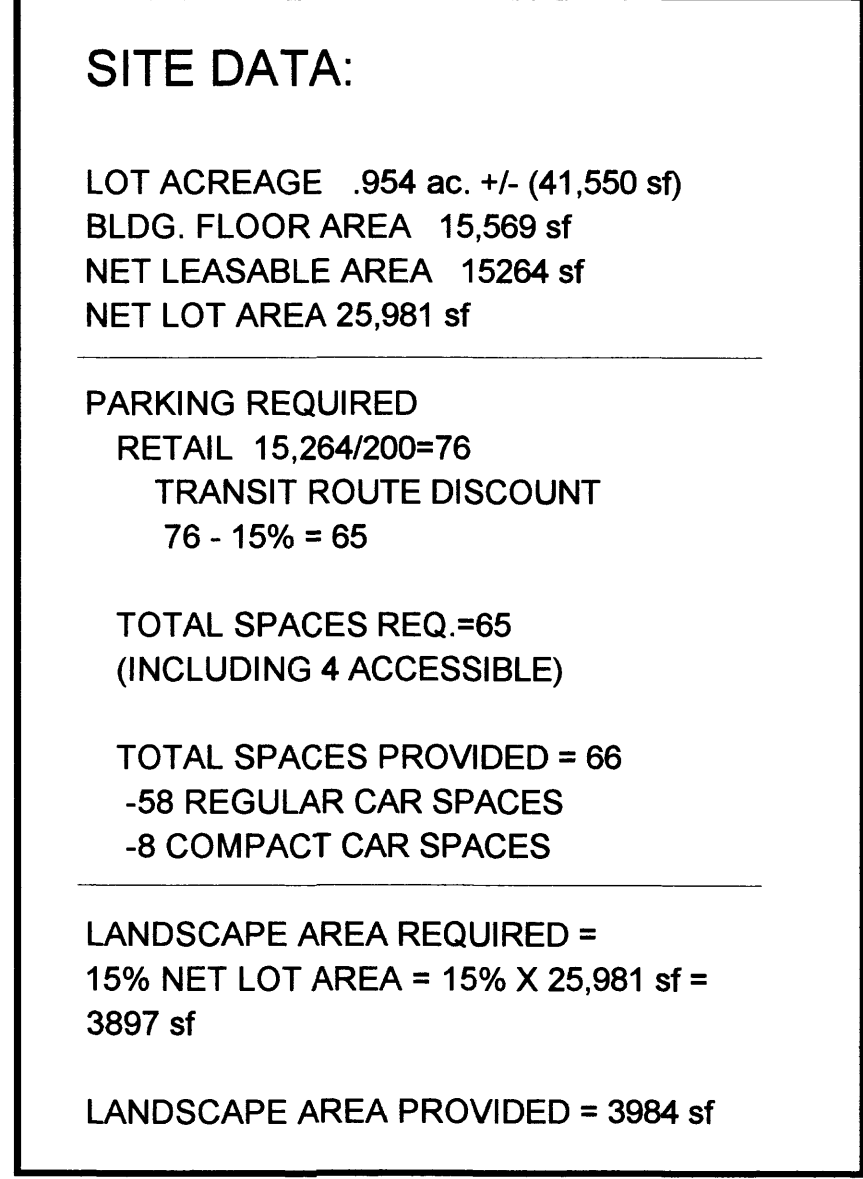
4 TYPICAL SIDEWALK DETAIL 3/4"=1'-0"



5 TYPICAL CONCRETE CURB DETAIL 3/4"=1'-0"



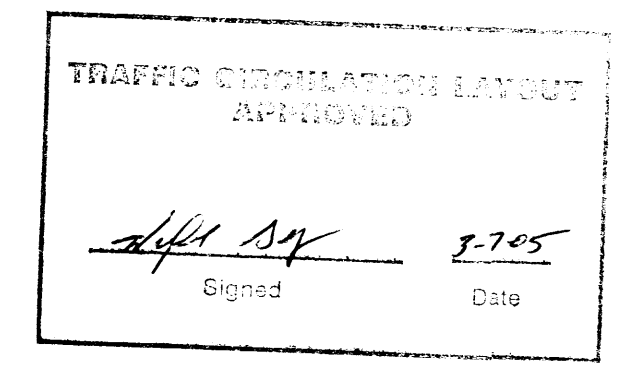
6 TYPICAL SIDEWALK DETAIL 3/4"=1'-0"



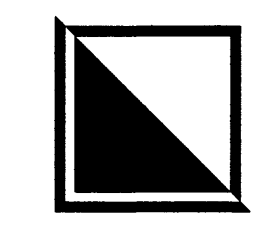
VICINITY MAP ZONE MAP H18

ADDRESS: 5504 MENAUL BLVD. NE.

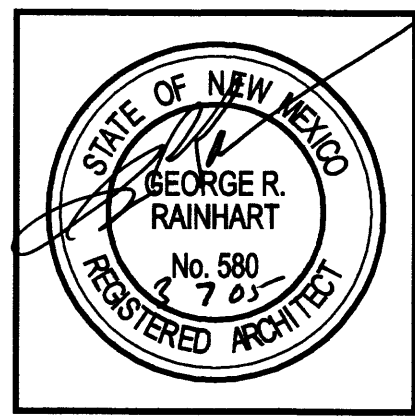
LEGAL DESCRIPTION:
LOT(S) 6 THRU 10, BLOCK(S) 105,
TRACT(S) A, BEL AIR SUBDIVISION,
ALBUQUERQUE, NM.



REV	DATE	BY	REVISION
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△1	2/24/05	JCS	PARKING COUNT UPDATE



GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE Daskalos Menaul 5504 MENAUL BLVD. NE ALBUQUERQUE, NM		JOB NO. 0438	DRAWN BY: JS
PROJECT MANAGER JON STERN		SHEET TITLE SITE PLAN/DETAILS	
DATE: 12.20.04	sheet-		
SCALE: AS NOTED	TCL of-		

APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	
	H-18-Z	

TEMPORARY BENCHMARK

CUT "X" IN CONCRETE BACK OF CURB • NE CORNER OF SITE • ELEVATION=5254.64 M.S.L.E.

PROJECT BENCHMARK

CITY OF ALBUQUERQUE STATION "18-H18" HAVING AN ELEVATION OF 5232.11 M.S.L.E.

LEGAL DESCRIPTION

TRACT A, THE WESTERLY 35' OF LOT 6 AND LOTS 1 THRU 10 BEL-AIR SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

KEYED NOTES

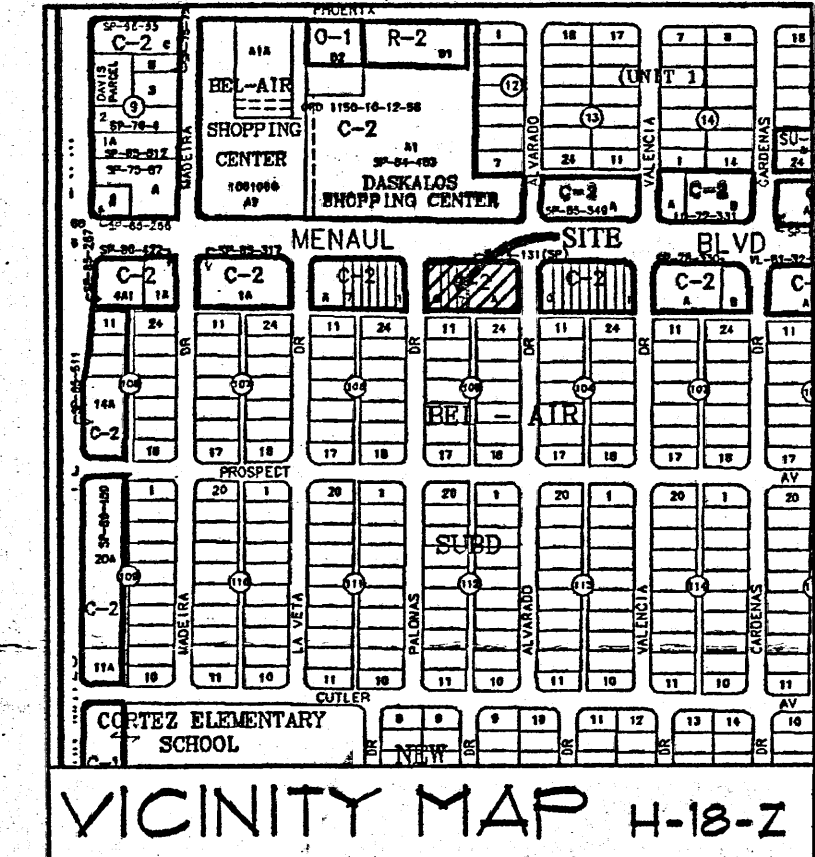
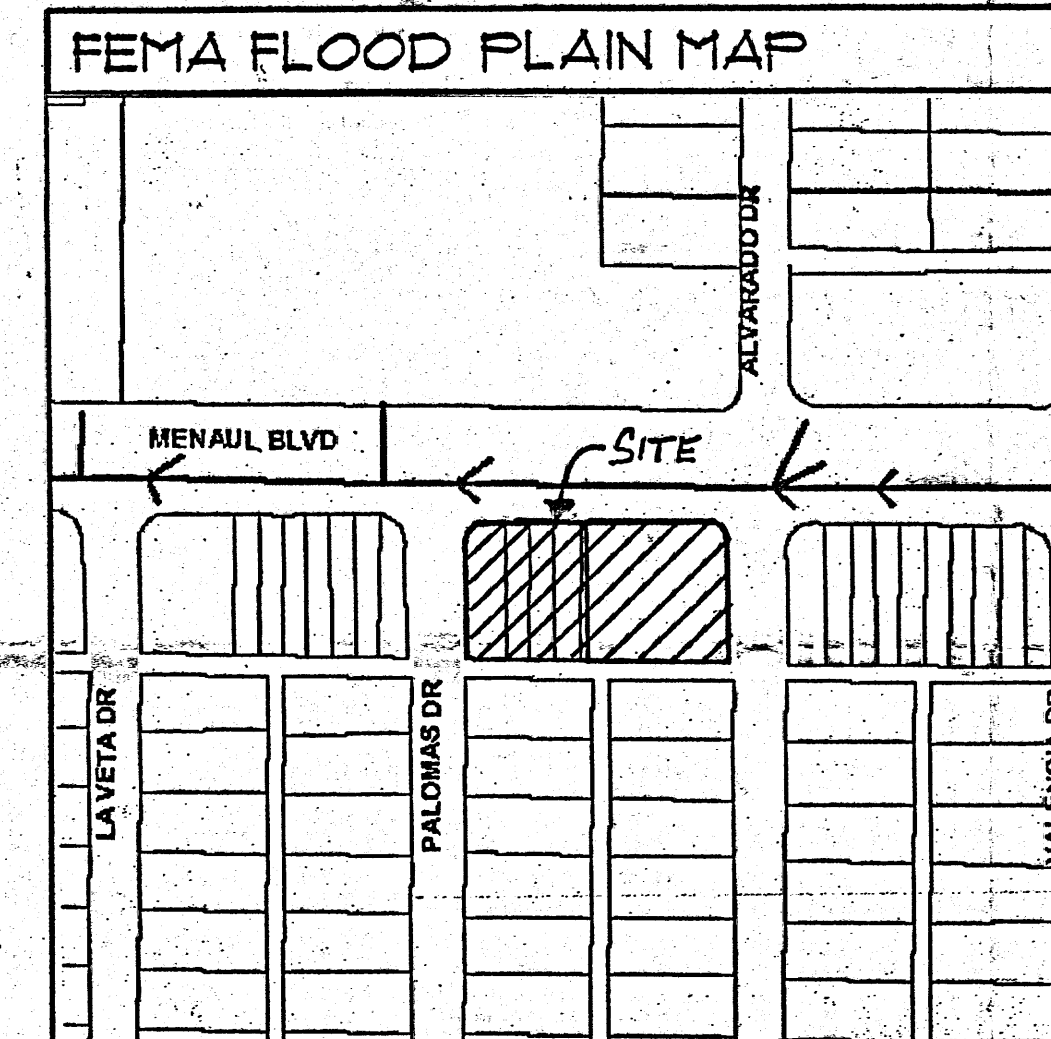
- 1 CONCRETE VALLEY GUTTER-CONSTRUCT PER CITY OF ALBUQUERQUE STANDARD DETAIL 2420 • PRIVATE ACCESS DRIVEWAY.
- 2 ASPHALT PAVING PER SECTION 1/C10
- 3 6" CONCRETE CURB-CONSTRUCT PER 2/C10
- 4 EA- 6" RISER CONCRETE STEPS PER 3/C10
- 5 CONCRETE SIDEWALK PER DETAIL 4/C10

HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 3
DESIGN STORM: (IN)

EXISTING CONDITIONS	LAND TRMT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.66	156	0.00	0	0	0	0
B	0.000	0%	0.52	228	0.00	0	0	0	0
C	0.186	19%	1.29	3.14	0.58	8.71	8.71	8.71	8.71
D	0.168	81%	2.36	4.70	3.61	6.579	7.973	10.343	12.991
TOTALS	0.954	100%			4.19	7.450	8.844	11.214	13.862

PROPOSED CONDITIONS	LAND TRMT	AREA (ACRE)	AREA %	P6 (CF8/AC)	Q (CF8)	V6 (CF)	V24 (CF)	V4DAY (CF)	V10DAY (CF)
A	0.000	0%	0.66	156	0.00	0	0	0	0
B	0.016	8%	0.52	228	0.17	25.4	25.4	25.4	25.4
C	0.000	0%	1.29	3.14	0.00	0	0	0	0
D	0.218	92%	2.36	4.70	4.13	7.522	9.115	11.824	14.852
TOTALS	0.954	100%			4.30	7.775	9.369	12.078	15.106

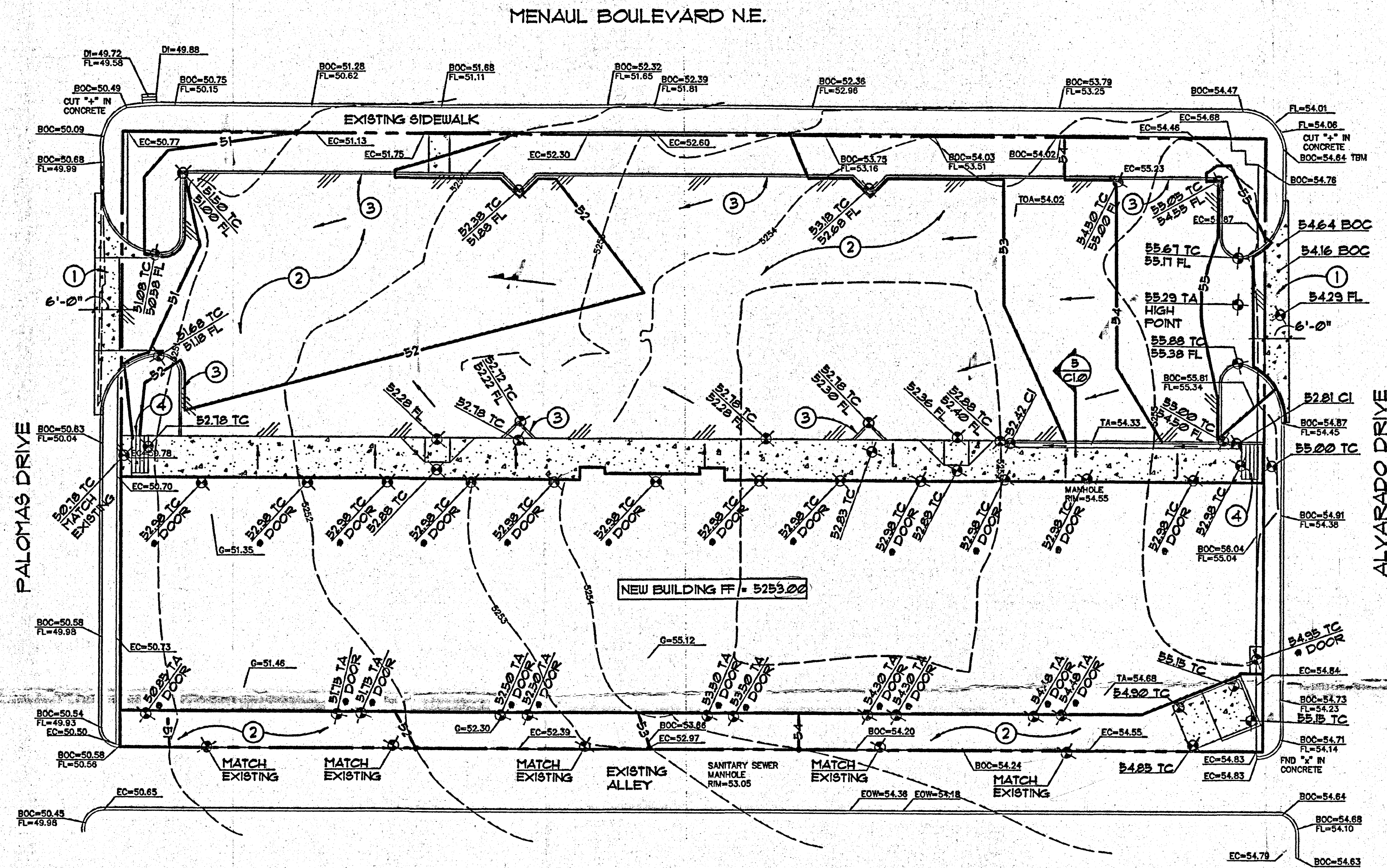


DESIGN NARRATIVE

THIS PROJECT IS THE DEMOLITION OF TWO EXISTING BUILDINGS AND PARKING LOT TO CONSTRUCT A NEW RETAIL CENTER. NEW DRIVEWAY ENTRANCES WILL REPLACE EXISTING DRIVE PADS • PALOMAS DRIVE • ALVARADO DRIVE WHERE ACCESS TO THE SITE CURRENTLY EXISTS. THE SITE WILL PRIMARILY DRAIN WEST WITH SURFACE FLOWS TO PALOMAS AS IT CURRENTLY DOES. ROOF DRAINAGE WILL BE DIRECTED TO THE ALLEY BORDERING THE SITE ON THE SOUTH. THIS ALLEY CURRENTLY DRAINS TO PALOMAS DRIVE AS WELL. NO NEW CONSTRUCTION WILL OCCUR IN THE ALLEY. SOME C.O.A. SIDEWALK MAY HAVE TO BE REMOVED AND REPLACED DURING THIS CONSTRUCTION. STORM DRAIN FACILITIES ON MENAUL WILL RECEIVE FLOWS FROM THIS SITE. DRAINAGE FLOWS FROM THIS SITE WILL EXIT TO DOWNSTREAM FACILITIES THROUGH THE DRIVEWAY ENTRANCE OR TO THE ALLEY AND WILL NOT CROSS C.O.A. SIDEWALKS. THERE ARE NO OFFSET FLOWS IMPACTING THIS SITE NOR WILL THERE BE ONCE CONSTRUCTION IS COMPLETE. PROPOSED SITE IMPROVEMENTS CAUSE VERY LITTLE CHANGE TO THE CURRENT DEVELOPED DRAINAGE FLOW FROM THE SITE TO PUBLIC FACILITIES (LESS THAN 2% CHANGE).

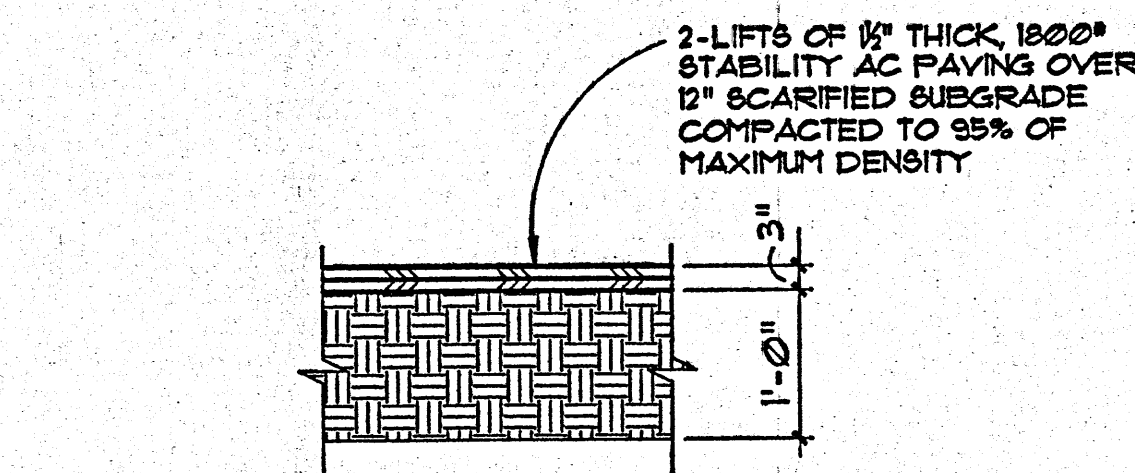
LEGEND

---	PROPERTY LINE
---	5255 -- EXISTING CONTOUR
---	55 -- NEW CONTOUR
54.50	NEW SPOT ELEVATION
52.60	EXISTING SPOT ELEVATION
---	FLOW DIRECTION
FF	FINISHED FLOOR
FG	FINISHED GRADE
TC	TOP OF CONCRETE/TOP OF CURB
FL	FLOWLINE
TA	TOP OF ASPHALT
BOC	BACK OF CURB
DI	DRAINAGE INLET
CI	CHANNEL INVERT
---	EDGE OF NEW ASPHALT
---	SWALE
---	NEW BUILDING
---	NEW CONCRETE PAVING

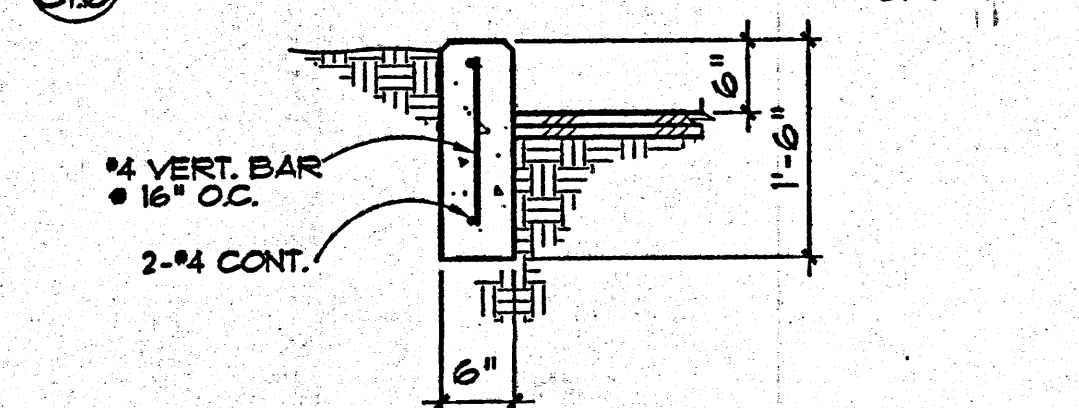


GRADING and DRAINAGE PLAN

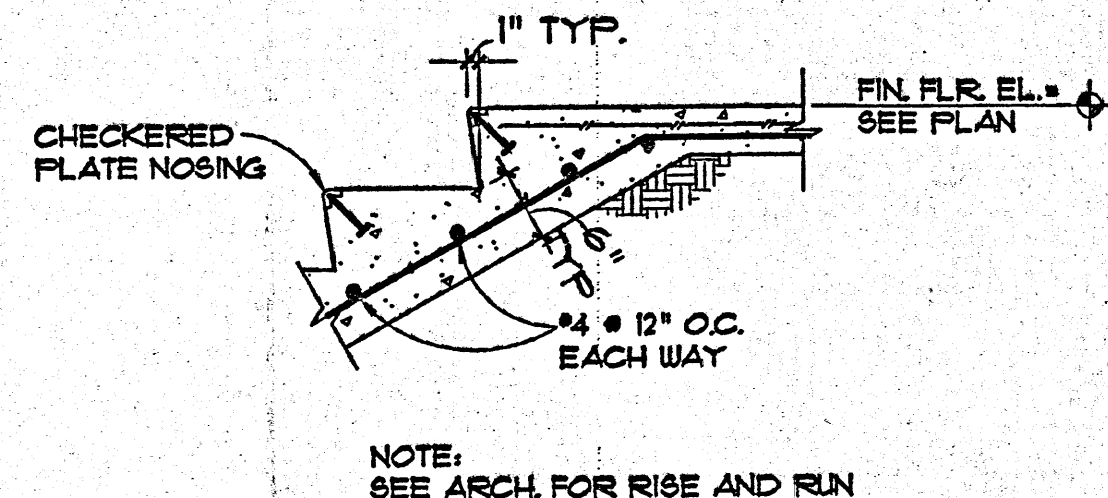
SCALE: 1"=20'



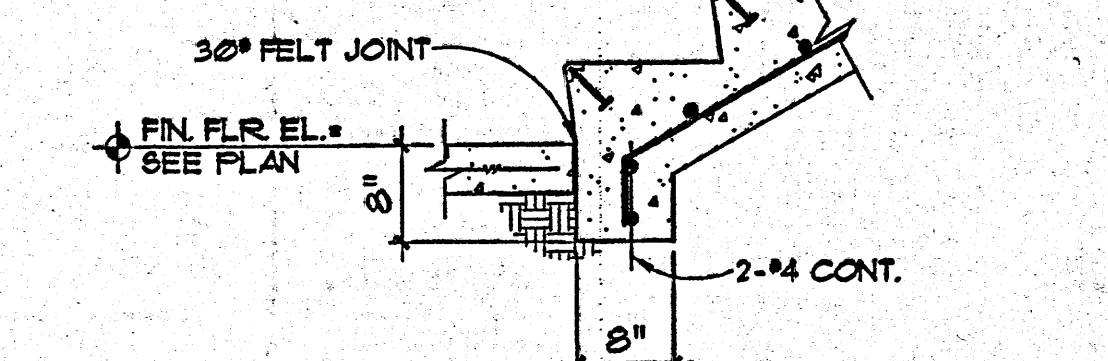
1 TYPICAL PAVING SECTION 3/4"=1'-0"



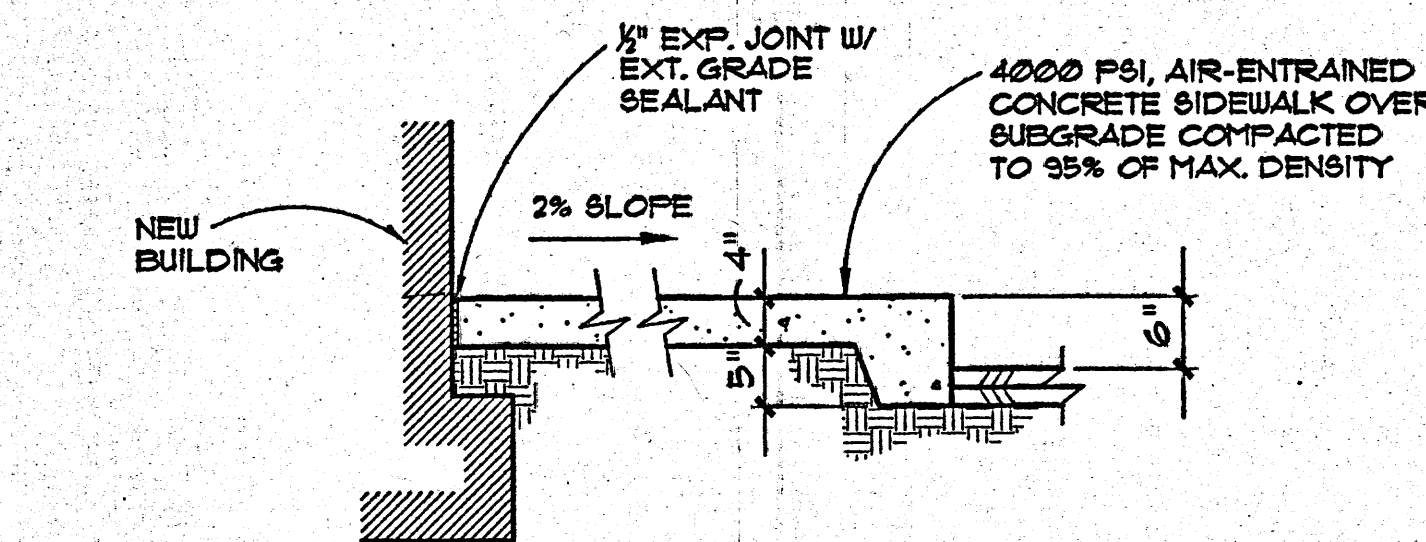
2 TYPICAL CONCRETE CURB DETAIL 3/4"=1'-0"



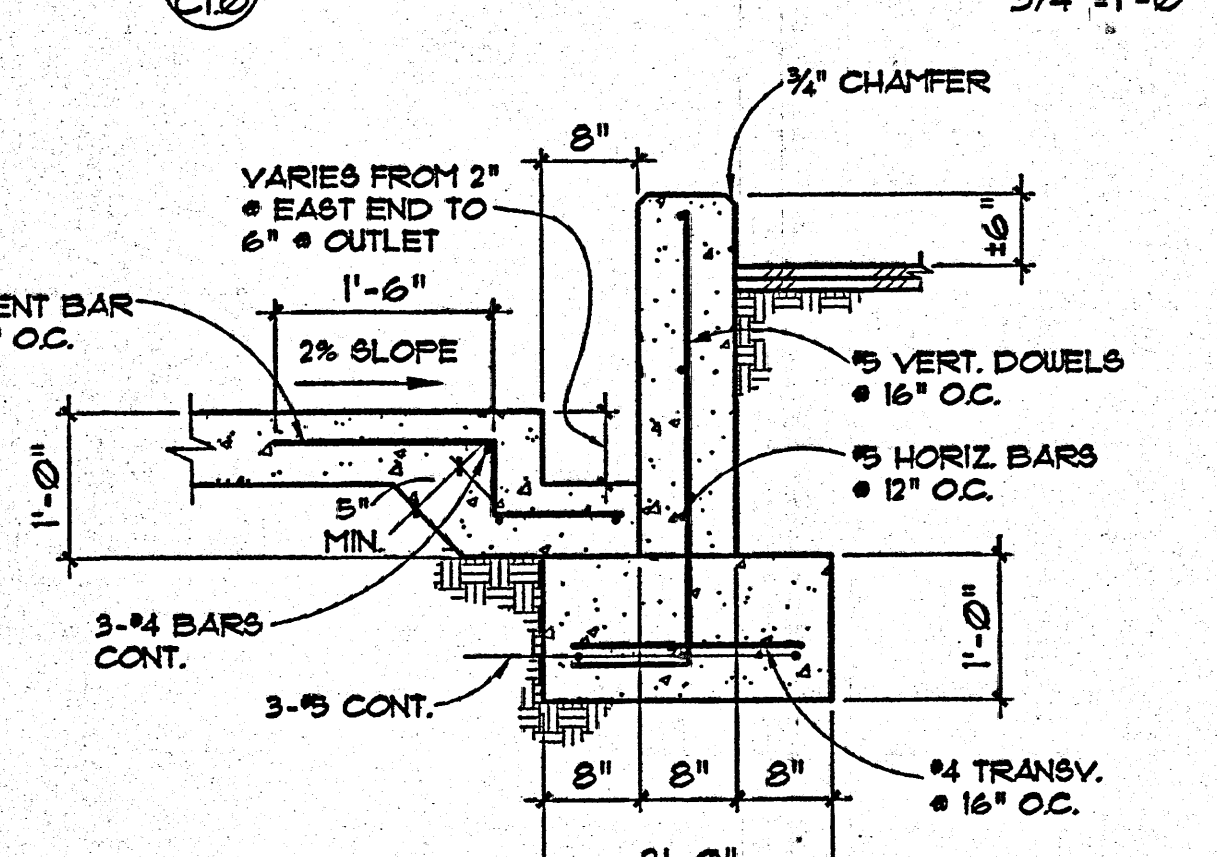
3 TYPICAL SIDEWALK DETAIL 3/4"=1'-0"



3 TYPICAL SIDEWALK DETAIL 3/4"=1'-0"



4 TYPICAL SIDEWALK DETAIL 3/4"=1'-0"



5 TYPICAL SIDEWALK DETAIL 3/4"=1'-0"

GEORGE RAINHART, ARCHITECT AND ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877



PROJECT TITLE: Daskalos Menaul
5504 MENAUL BLVD. NE. ALBUQUERQUE, NM
PROJECT MANAGER: JON STERN
JOB NO.: 0038
DRAWN BY: KKG
DATE: 12/14/04
SCALE: AS SHOWN
SHEET: C1.0

Walla Structural Engineering
8100 Indian School Road NE, Suite 210
Albuquerque, New Mexico 87110
881-3005 • Facsimile 884-5390

APPROVALS	NAME	DATE
HYDROLOGY		
PERMIT NO.	MAP NO.	
	H-18-Z	

TEMPORARY BENCHMARK

CUT "X" IN CONCRETE BACK OF CURB • NE CORNER OF SITE- ELEVATION=5254.64 M.S.L.E.

PROJECT BENCHMARK

CITY OF ALBUQUERQUE STATION "18-H18" HAVING AN ELEVATION OF 5230.11 M.S.L.E.

LEGAL DESCRIPTION

TRACT A, THE WESTERLY 3.5' OF LOT 6 AND LOTS 7 THRU 10 BEL-AIR SUBDIVISION, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

KEYED NOTES

- 1 CONCRETE VALLEY GUTTER-CONSTRUCT PER CITY OF ALBUQUERQUE STANDARD DETAIL "2420" • PRIVATE ACCESS DRIVEWAY.
- 2 ASPHALT PAVING PER SECTION 1/C10
- 3 6" CONCRETE CURB-CONSTRUCT PER 2/C10
- 4 EA- 6" RISER CONCRETE STEPS PER 3/C10
- 5 CONCRETE SIDEWALK PER DETAIL 4/C10.

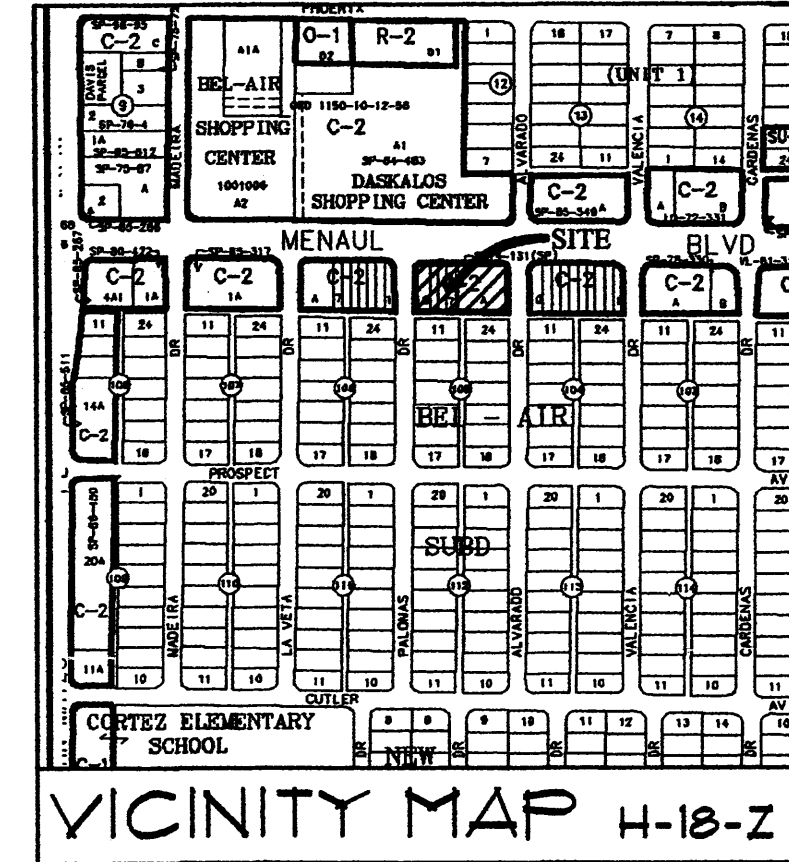
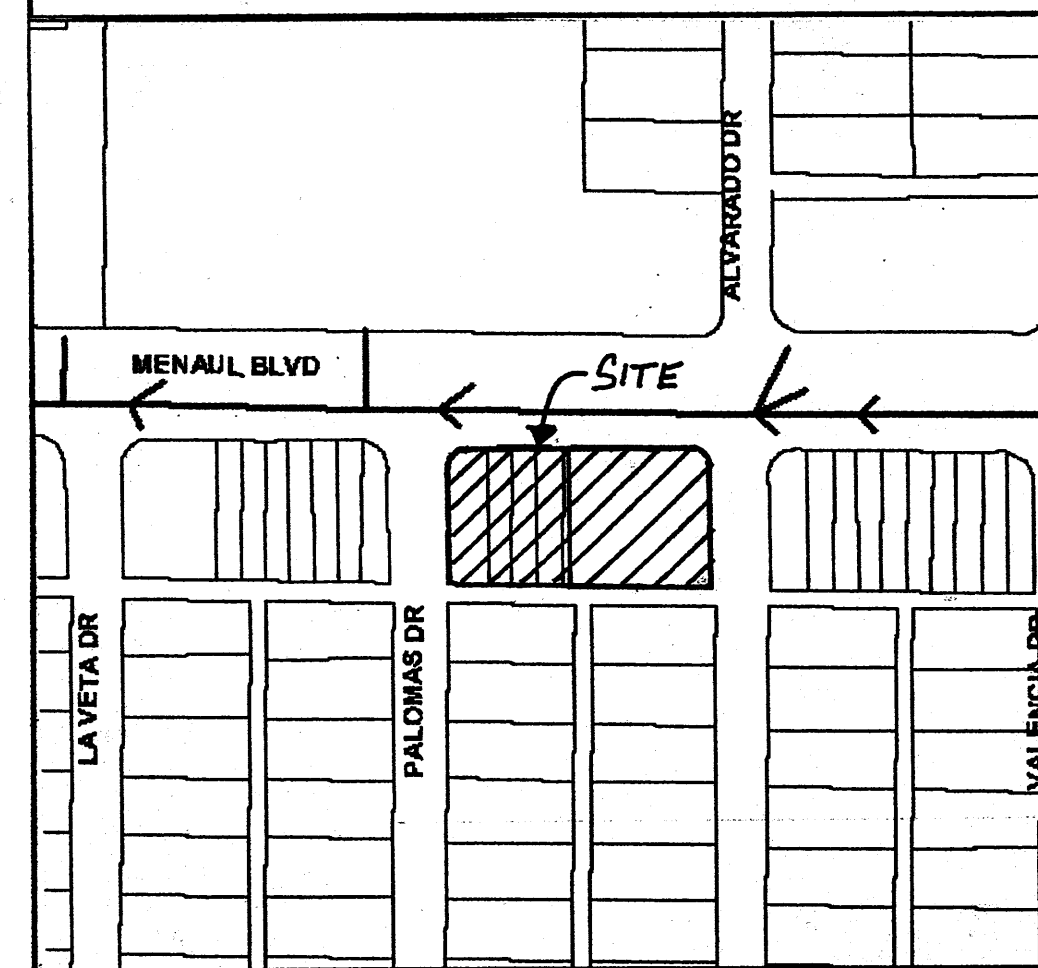
HYDROLOGY CALCULATIONS

PRECIPITATION ZONE 3
DESIGN STORM: (IN)

EXISTING CONDITIONS	1hr	6hr	24hr	4day	10day
LAND TRTMT	AREA (ACRE)	AREA (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)
A	0.000	0%	0.66	156	0.00
B	0.000	0%	0.92	228	0.00
C	0.186	19%	1.29	3.14	0.58
D	0.168	8%	2.36	4.10	3.61
TOTALS	0.354	100%	4.19	7.450	8.844

PROPOSED CONDITIONS	1hr	6hr	24hr	4day	10day
LAND TRTMT	AREA (ACRE)	AREA (CF)	V6 (CF)	V24 (CF)	V4DAY (CF)
A	0.000	0%	0.66	156	0.00
B	0.016	8%	0.92	2.28	0.17
C	0.000	0%	1.29	3.14	0.58
D	0.018	92%	2.36	4.10	4.13
TOTALS	0.034	100%	4.30	7.175	9.363

FEMA FLOOD PLAIN MAP

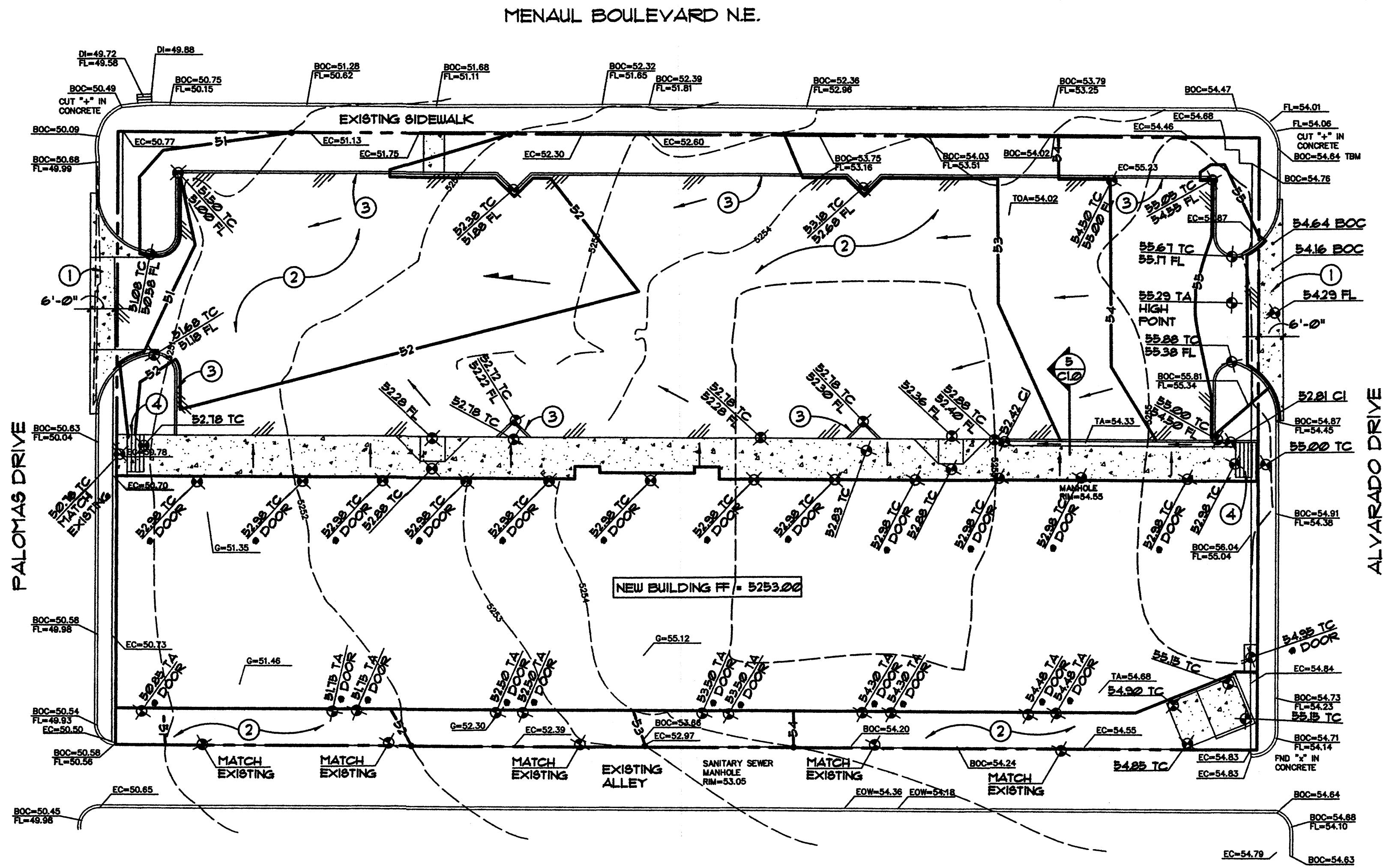


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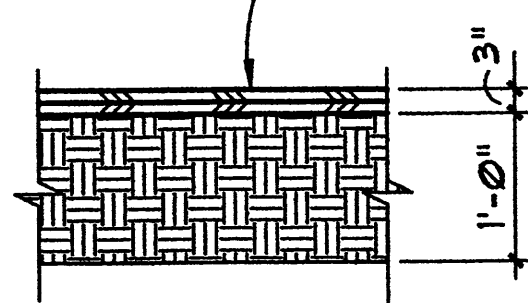
LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR
---	NEW CONTOUR
5250	NEW SPOT ELEVATION
52.60	EXISTING SPOT ELEVATION
→	FLOW DIRECTION
FF	FINISHED FLOOR
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---	NEW CONCRETE PAVING

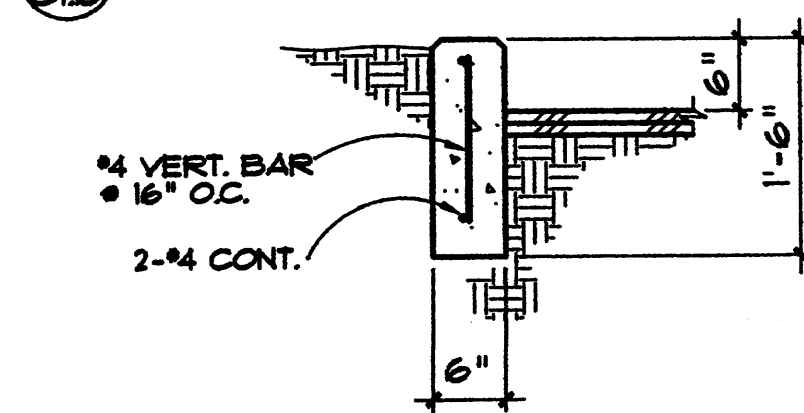


GRADING and DRAINAGE PLAN
SCALE: 1"=20'

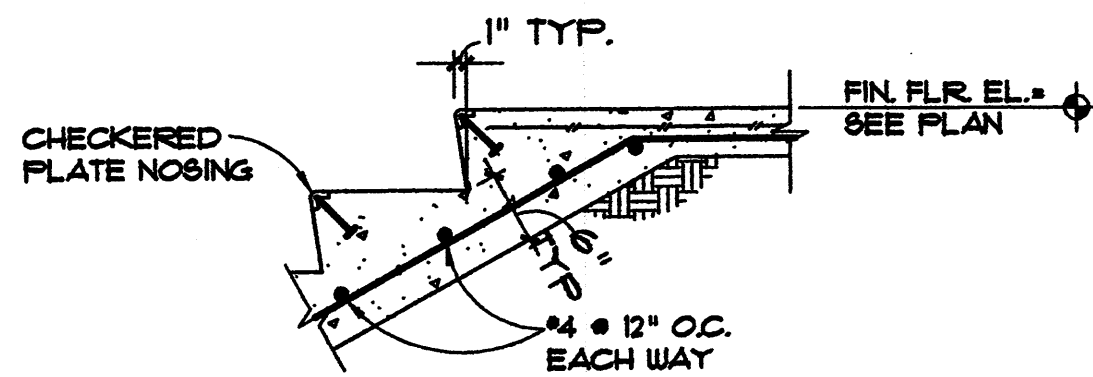
2-LIFTS OF 1/2" THICK 1800# STABILITY AG PAVING OVER 12" SCARIFIED SUBGRADE COMPACTED TO 95% OF MAXIMUM DENSITY



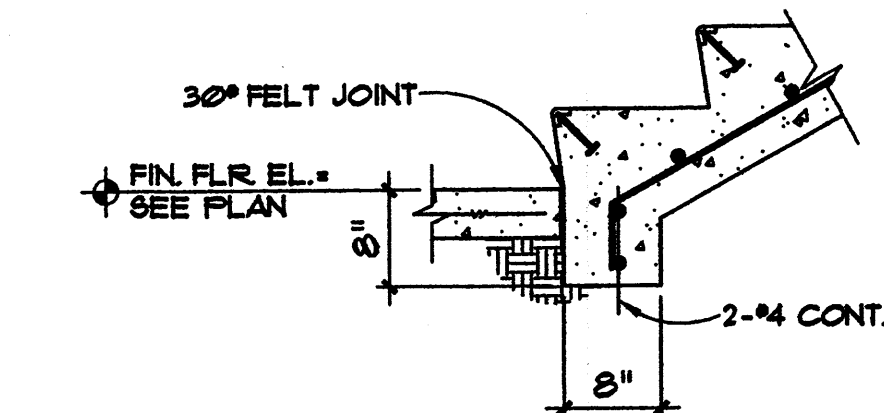
1 TYPICAL PAVING SECTION
3/4"=1'-0"



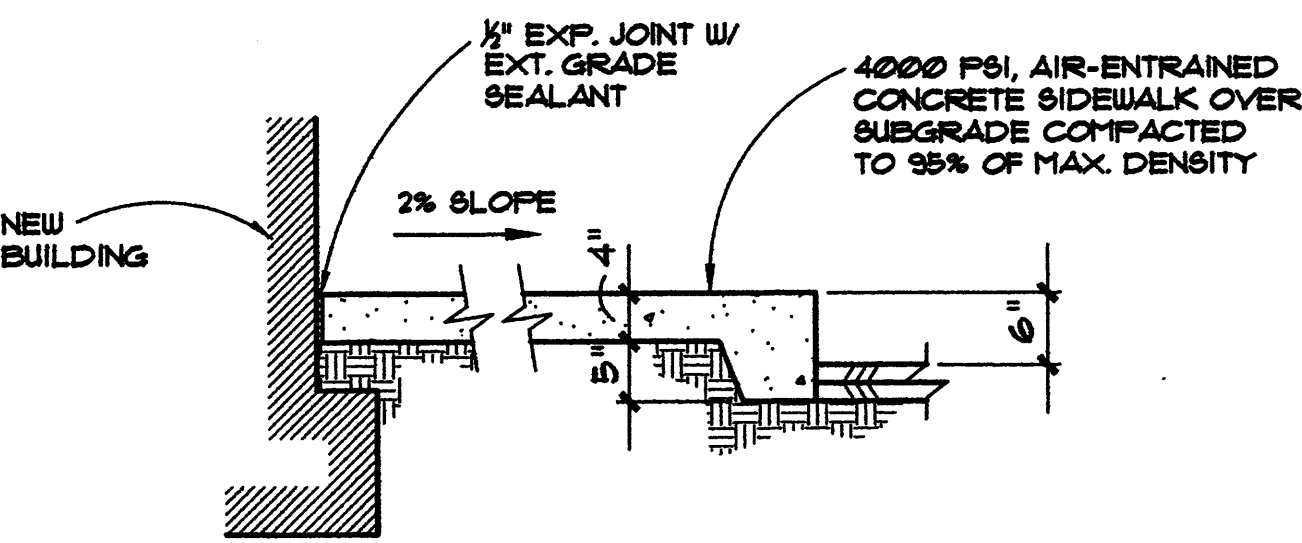
2 TYPICAL CONCRETE CURB DETAIL
3/4"=1'-0"



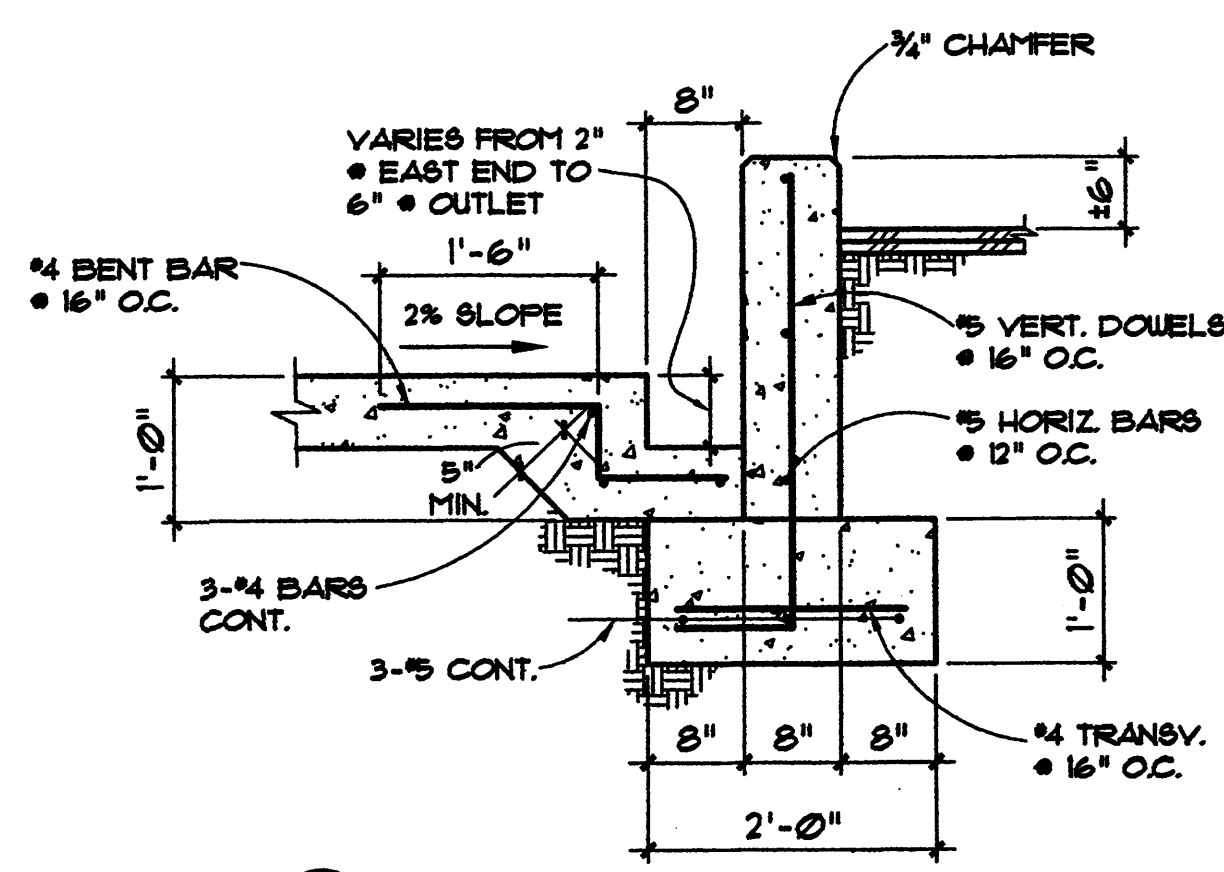
NOTE: SEE ARCH. FOR RISE AND RUN



3 TYPICAL CONCRETE CURB DETAIL
3/4"=1'-0"

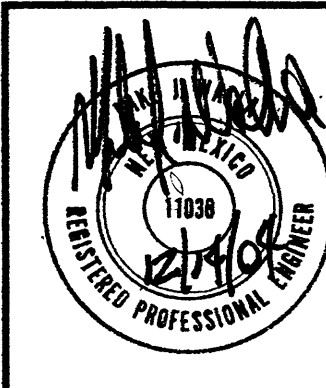


4 TYPICAL SIDEWALK DETAIL
3/4"=1'-0"



5 TYPICAL CONCRETE CURB DETAIL
3/4"=1'-0"

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PROJECT MANAGER	JON STERN
DRAWN BY	KKG
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SHEET TITLE	GRADING and DRAINAGE PLAN

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