

November 26, 1996

Martin J. Chávez, Mayor

R.G. Lee
Lee Engineering
2316 Calle de Rafael NE
Albuquerque, NM 87122

**RE: ENGINEER CERTIFICATION FOR RETAIL CENTER @ 5801 MENAUL
BLVD. NE (H18-D57) CERTIFICATION STATEMENT DATED 11/21/96.**

Dear Mr. Lee:

Based on the information provided on your November 25, 1996 submittal, Engineer Certification for the above referenced site is acceptable.

Please be advised that a temporary Certificate of Occupancy released until the issue of the public alley is addressed and approved.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
Pete Daskalos
File





Martin J. Chávez, Mayor

R.G. Lee
Lee Engineering
2316 Calle de Rafael NE
Albuquerque, NM 87122

RE: DRAINAGE PLAN FOR PROPOSED RETAIL CENTER (H18-D57) ENGINEER'S
STAMP DATED 3/19/96.

Dear Mr. Lee:

Based on the information provided on your April 30, 1996 submittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, Engineer Certification per the D.P.M. checklist will be required prior to Certificate of Occupancy release.

The Building Permit will not be issued until the preliminary meeting at DRC has been completed for the alley grades and improvements.

If I can be of further assistance, please feel free to contact me at 768-2667.

Sincerely,

A handwritten signature in cursive script that reads 'Bernie J. Montoya'.

Bernie J. Montoya, CE
Engineering Associate

BJM/dl

c: Andrew Garcia
Jim Miller
File

Good for You, Albuquerque!



DRAINAGE CALCULATIONS

1. REFERENCES:

- A. SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS
ALBUQUERQUE, NEW MEXICO, IN COOPERATION WITH
BERNALILLO COUNTY, NEW MEXICO AND THE ALBUQUERQUE
METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY.
B. FLOODWAY, FLOOD BOUNDARY AND FLOODWAY MAP, CITY OF
ALBUQUERQUE, NEW MEXICO, PANEL 24 OF 50.
C. ZONE ATLAS PAGE H-18-2.

II. GENERAL INFORMATION:

- A. SITE LIES IN ZONE THREE(3) (SEE REF. A, PAGE A-1)
B. 100 YEAR, 6 HOUR RAINFALL CRITERIA
C. TIME OF CONCENTRATION, $T_c = 0.2$ hr (12 MINUTES)

III. IMPERVIOUSNESS:

TREATMENT TYPE	SQ. FT.	ACRES	PROPOSED
A. UNDEVELOPED	0	0.0000	0
B. LANDSCAPING	0	0.0000	1.155
C. LANDSCAPING/VACANT	18,900	0.4339	0.0000
D. IMPERVIOUS	18,900	0.4339	17.340
TOTAL AREA (TA)	18,900	0.4339	18,900

IV. PEAK DISCHARGE, 100 YEAR (REF. A, TABLE A-9):

TREATMENT TYPE	SQ. FT.	ACRES	PROPOSED
A. UNDEVELOPED	0	0.0000	0
B. LANDSCAPING	0	0.0000	0.07
C. LANDSCAPING/VACANT	2,60	0.00	3.45
D. IMPERVIOUS	3.45	0.00	2.04
PEAK DISCHARGE FROM SITE	5.02	2.18	5.02

V. PEAK DISCHARGE, 10 YEAR (REF. A, TABLE A-9):

TREATMENT TYPE	SQ. FT.	ACRES	PROPOSED
A. UNDEVELOPED	0	0.00	0.58
B. LANDSCAPING	1.19	0.00	1.19
C. LANDSCAPING/VACANT	2.00	0.00	2.00
D. IMPERVIOUS	3.39	0.00	3.39
PEAK DISCHARGE FROM SITE	1.47	0.00	1.41

VI. WEIGHTED "E" 100 YEAR, 6 HR. (REF. A, TABLE A-8):

TREATMENT TYPE	SQ. FT.	ACRES	PROPOSED
A. UNDEVELOPED	0	0.00	0.66
B. LANDSCAPING	0.92	0.00	0.92
C. LANDSCAPING/VACANT	1.29	0.00	1.29
D. IMPERVIOUS	2.36	0.00	2.36
WEIGHTED "E" FACTOR	2.36	0.00	2.36

VII. VOLUME, 100 YEAR, V(360) (REF. A, TABLE A-8):

TREATMENT TYPE	SQ. FT.	ACRES	PROPOSED
A. UNDEVELOPED	0	0.00	0.00
B. LANDSCAPING	0.92	0.00	0.92
C. LANDSCAPING/VACANT	1.29	0.00	1.29
D. IMPERVIOUS	2.36	0.00	2.36
WEIGHTED "E" FACTOR	2.36	0.00	2.36

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. HE SHALL INSURE THAT THE EROSION CONTROL MEASURES ARE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. HE SHALL INSURE THAT THE EROSION CONTROL MEASURES ARE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. HE SHALL INSURE THAT THE EROSION CONTROL MEASURES ARE MAINTAINED AT ALL TIMES.

NOTE TO CONTRACTOR

1. An excavation/construction permit will be required before beginning any work within the city limits. The permit application and fee must be submitted at the time of application for permit.
2. All work detailed in this plan to be performed, except as otherwise stated or provided herein, shall be constructed in accordance with the City of Albuquerque Standard Specification for Public Works Construction.
3. Two working days prior to any excavation, contractor must contact the locating Services at (505) 286-1390 for locating existing utilities.
4. Prior to construction, the contractor shall excavate and verify the horizontal and vertical location of all construction. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to arterial street 90.

GENERAL NOTES:

- A. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

GRADING & DRAINAGE PLAN

SCALE: 1"=20.0'

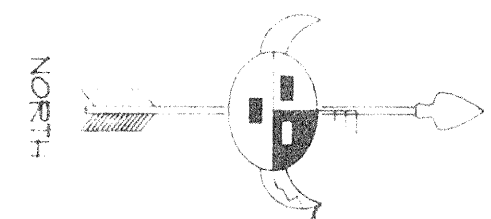
11/1/96

Date

Job Number

5214

0 5' 10' 20'



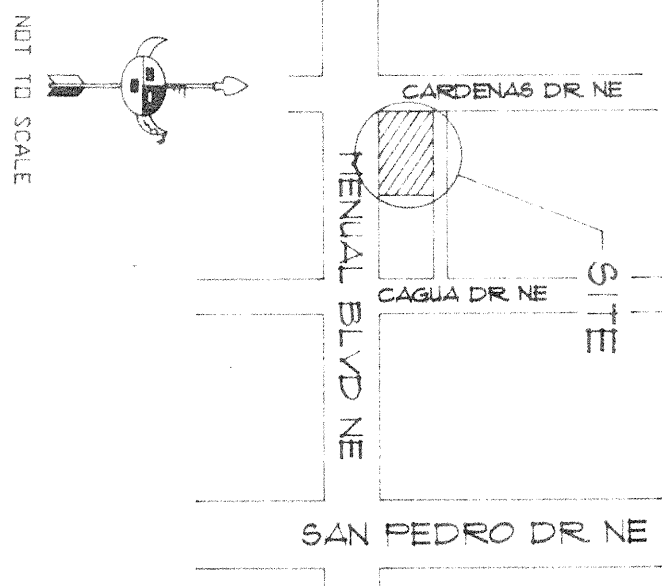
BENCHMARK INFORMATION

TEMPORARY BENCHMARK BEING THE TOP OF CURB BEARING TO CITY BENCHMARK THIS BEARING ELEVATION 5253.75 (M.S.L.)

LEGAL DESCRIPTION

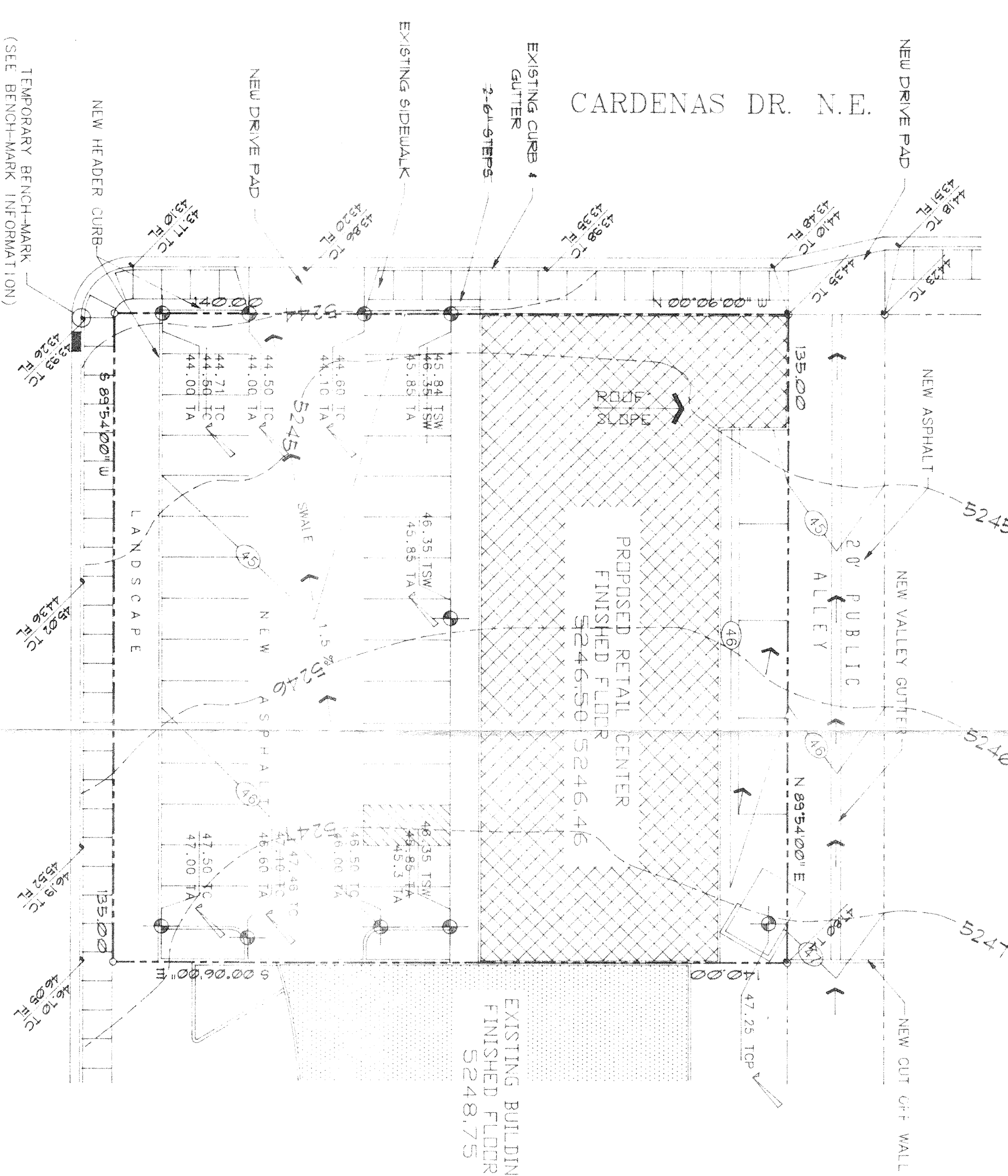
Lots 1 & 2, Tract A, Block 15,
Miramontes Park Unit 1, Albuquerque,
Bernalillo County, New Mexico

VICINITY MAP



NOT TO SCALE

ZONE ATLAS H-18-2



MENAU BLVD. N.E.

ABBREVIATION LEGEND

- TOP OF CURB - TC
TOP OF ASPHALT - TA
FLOWLINE - FL
TOP OF CONC. PAD - TOP

SYMBOL LEGEND

- EXISTING CONTOUR
AS-BUILT EXISTING CONTOUR
PROPERTY LINE
EASEMENT LINE
FLOW DIRECTION
EXISTING SPOT ELEVATION

ALBUQUERQUE, NEW MEXICO

ARCHITECTS

SHEET TITLE

2210 WEST 11TH AVENUE

DATE

DESIGNED BY

CHECKED BY

DATE

SCALE

PROJECT

CLIENT

LOCATION

DATE

SCALE

PROJECT

CLIENT

LOCATION

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