



# *City of Albuquerque*

March 9, 2000

Bruce Stidworthy, P.E.  
Bohannon Huston, Inc  
7500 Jefferson NE,  
Albuquerque, NM 87109

RE: ENGINEER'S CERTIFICATION FOR the VIDEO RENTAL STORE at the  
NORTHEAST CORNER OF SAN PEDRO AND MENAUL, (H-18/D060),  
ENGINEER'S STAMP DATED SEPTEMBER 5, 1999, CERTIFICATION DATED  
FEBRUARY 25, 2000.

Dear Mr. Stidworthy,

Based upon the information provided in your submittal dated  
February 25, 2000, the Engineering Certification for Certificate  
of Occupancy for the project referred to above is approved.

If you have any questions, please call me at 924-3988.

Sincerely,

*Stuart Reeder, P.E.*

Stuart Reeder, P.E.  
Hydrology Division

xc: Whitney Reiersen  
—File

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: San Pedro & Manual ZONE ATLAS/DRNG. FILE # H-18/D60

DRB #: 99-130 EPC #:  WORK ORDER #:

LEGAL DESCRIPTION: Lot 20-A, Block 1, Vista Encantada Subdivision

CITY ADDRESS: Northeast Corner of San Pedro & Manual

ENGINEERING FIRM: BOHANNAN-HUSTON INC.

ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

OWNER: World Premier Investments

ADDRESS:

ARCHITECT:

ADDRESS:

SURVEYOR:

ADDRESS:

CONTRACTOR:

ADDRESS:

CONTACT: Bruce Stidworthy

PHONE: (505) 823-1000

CONTACT: Gary Sherrow

PHONE:

CONTACT:

PHONE:

CONTACT:

PHONE:

CONTACT:

PHONE:

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ FINAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

## PRE-DESIGN MEETING:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBCD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ SUBDIVISION CERTIFICATION
- ☐ OTHER FEB 25 2000 (SPECIFY)

DATE SUBMITTED: 2/25/00

BY: Bohannon Huston, Bruce Stidworthy

Revised 02/98



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 22, 1999

Bruce Stidworthy, P.E.  
Bohannon-Huston, Inc.  
7500 Jefferson NE  
Albuquerque, NM 87109

***RE: NORTHEAST CORNER OF SAN PEDRO & MENAUL NE ( VIDEO RENTAL STORE) Former Site Of Fiesta Lanes (H18-D60). GRADING AND DRAINAGE PLAN FOR GRADING PERMIT AND BUILDING PERMIT APPROVALS. ENGINEER'S STAMP DATED SEPTEMBER 15, 1999.***

Dear Mr. Stidworthy:

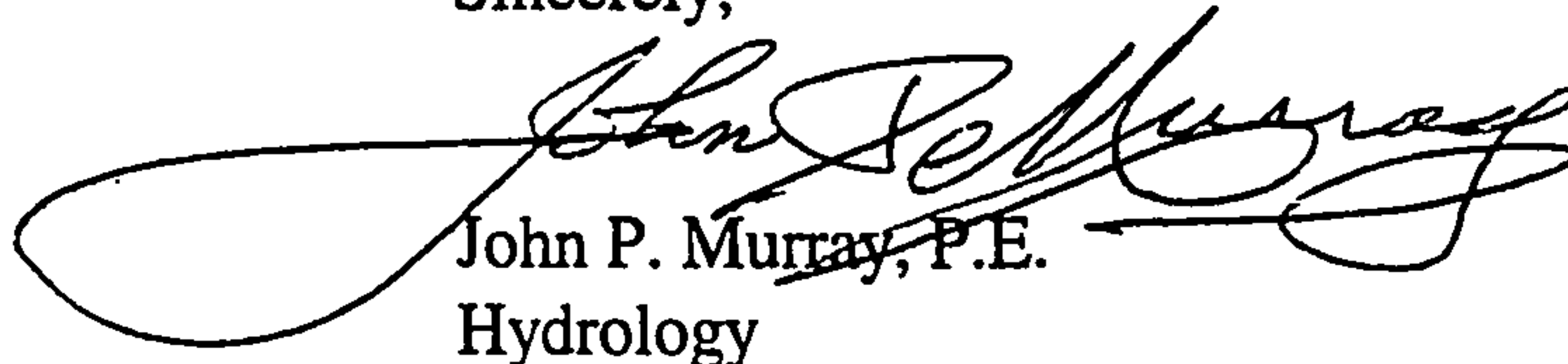
Based on the information provided on your September 15, 1999 submittal, the above referenced project is approved for Grading and Building Permits. Site redevelopment does not materially alter the drainage patterns or runoff volumes.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to call me at 924-3984.

Sincerely,

  
John P. Murray, P.E.  
Hydrology

c:

WR  
✓ File

DRAINAGE INFORMATION SHEET

PROJECT TITLE: San Pedro & Manual ZONE ATLAS/DRNG. FILE # H-18 / 1060

DRB #: 99-130 EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Lot 20-A, Block 1, Vista Encantada Subdivision

CITY ADDRESS: Northeast Corner of San Pedro & Manual

ENGINEERING FIRM: BOHANNAN-HUSTON INC.

ADDRESS: 7500 JEFFERSON NE, ALB. NM 87109

OWNER: World Premier Investments

ADDRESS: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CONTACT: Bruce Stidworthy

PHONE: (505) 823-1000

CONTACT: Gary Sherrow

PHONE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

CONTACT: \_\_\_\_\_

PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☒ FINAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

PRE-DESIGN MEETING:

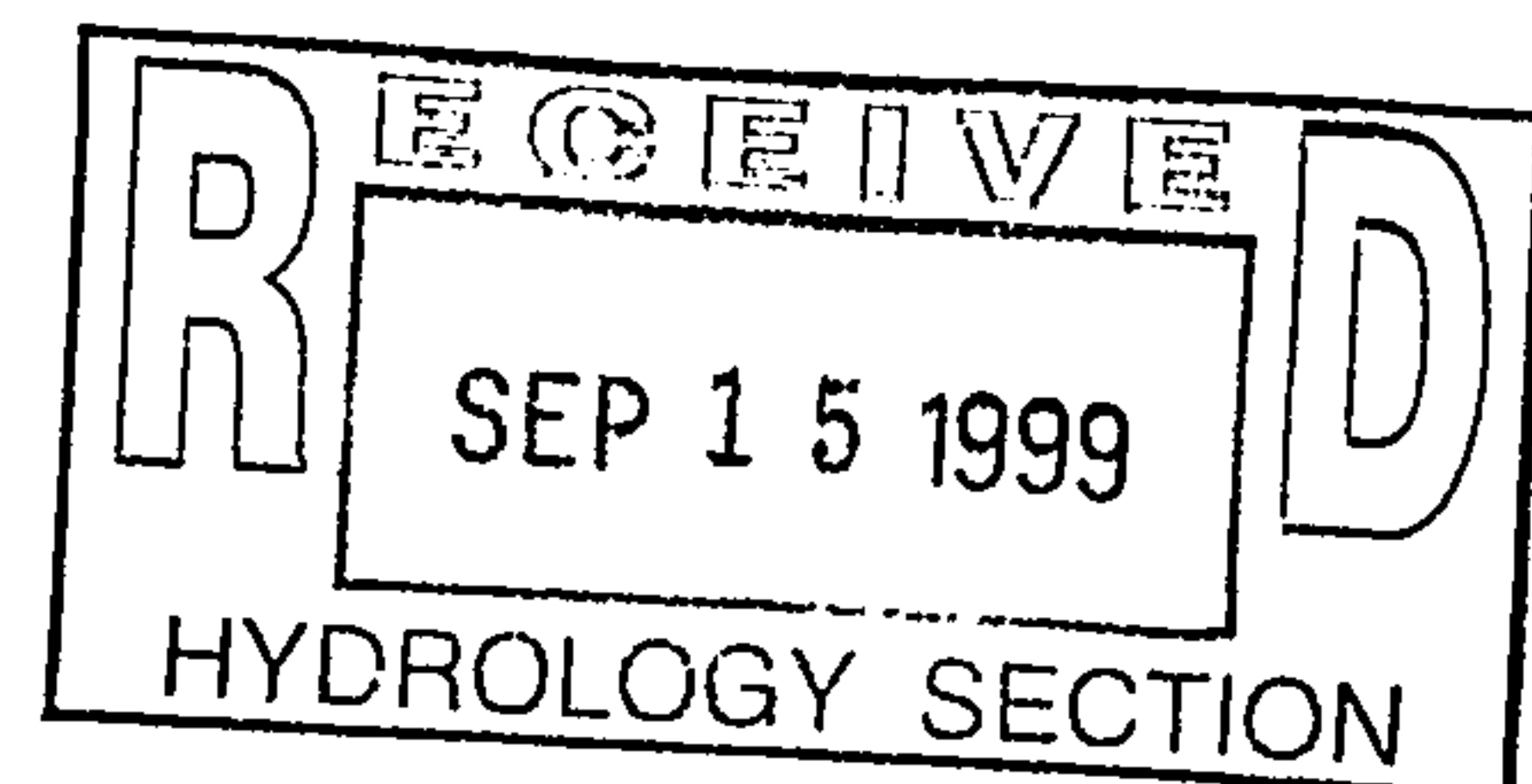
☐ YES  
☐ NO  
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB&D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ SUBDIVISION CERTIFICATION  
☐ OTHER \_\_\_\_\_ (SPECIFY)

DATE SUBMITTED: 9/15/99

BY: Bohannon Huston, Bruce Stidworthy



Revised 02/98



# CLIENT/COURIER TRANSMITTAL



BOHANNAN HUSTON

Courtyard One

7500 JEFFERSON NE

Albuquerque

NEW MEXICO 87109

voice 505.823.1000

fax 505.821.0892

**To:** Susan Calongne  
City/County Floodplain Administrator  
City of Albuquerque  
600 2nd Street NW - 2nd Floor

phone: 924-3982

**Requested By:** Bruce Stidworthy

**Date:** September 16, 1999

**Time Due:** ☒ This A.M. by 12:00.  
☐ Rush ☐ By Tomorrow

**Job No.:** 00119A1.01  
99447

**Job Name:** Cinemark  
San Pedro & Menaul

## DELIVERY VIA

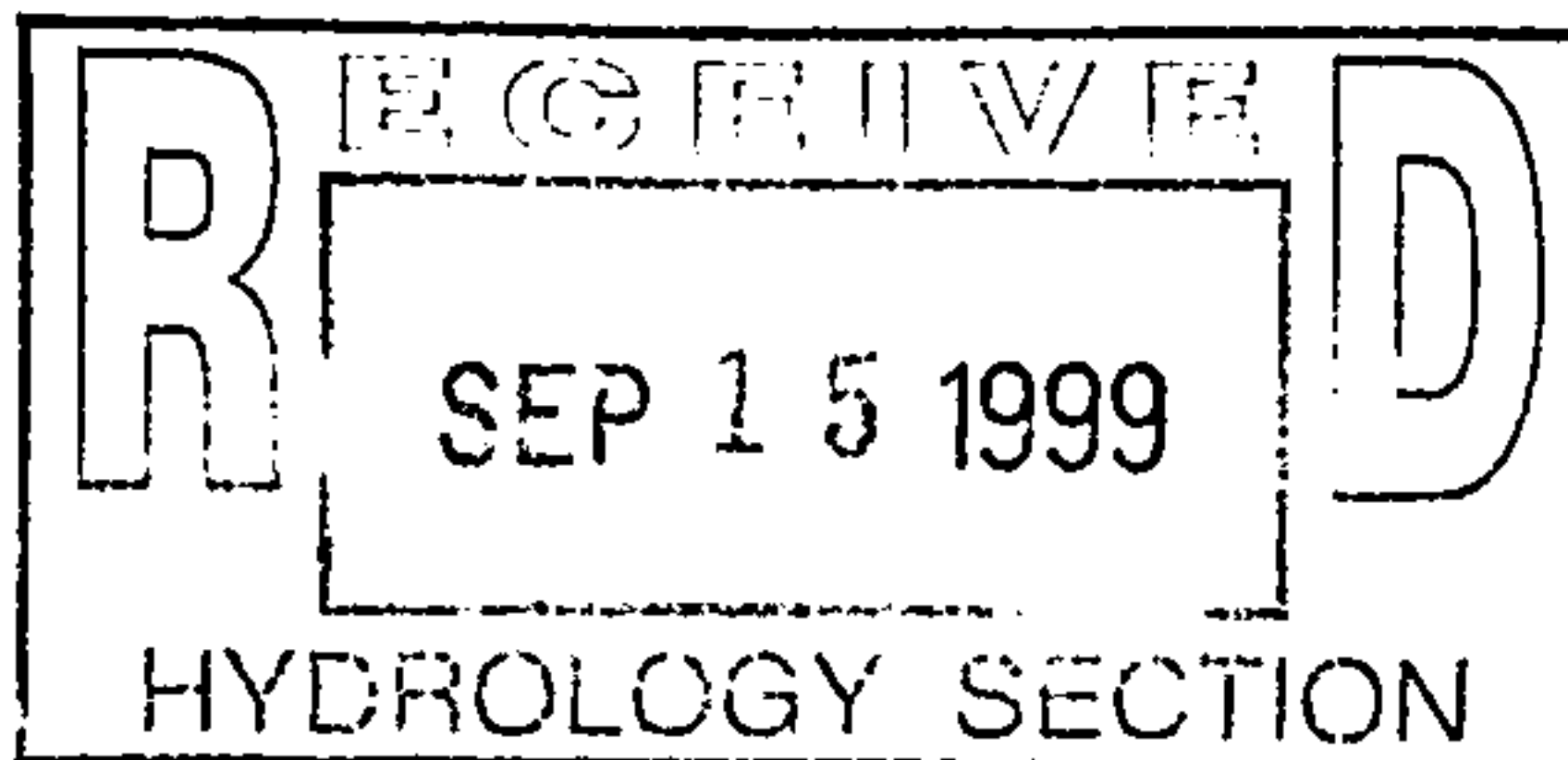
- ☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other \_\_\_\_\_

## PICK UP

Item: \_\_\_\_\_  
\_\_\_\_\_

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Cinemark Drainage Information Sheet.
2	1	Cinemark Drainage Report.
3	1	San Pedro & Menaul Drainage Information Sheet.
4	1	San Pedro & Menaul Grading & Drainage Plan.

## COMMENTS / INSTRUCTIONS



**REC'D BY:** \_\_\_\_\_ **DATE:** \_\_\_\_\_ **TIME:** \_\_\_\_\_



# *City of Albuquerque*

October 18, 1999

Bruce J. Stidworthy, Reg. Eng.,  
Bohannon/Huston Engineers  
7500 Jefferson N.E.  
Albuquerque, New Mexico 87109

Re: Site Plan submittal for building permit approval for San Pedro/Menaul Development, 2600 San Pedro N.E., Vista Encantada Subdivision, Block 1, Lot 20A [D-18/D060],  
Engineer's Stamp dated 9/15/99.

Dear Mr. Stidworthy,

The location referenced above requires modification to the Site Plan prior to Building Permit release as stated on the attached comments.

Please provide all revised Site Plans having addressed typed comments along with comments and all red-lined, marked up copies.

Sincerely,

Mike Zamora,  
Commercial Plan Checker

cc:  
Engineer  
Hydrology File  
Office File

- For this Plan, and all others following, submit street address of site.
- Only one Site Plan is needed per Permit submittal. Multiple copies of Site Plans will need to match exactly.
- New and existing elements noted on the Site Plan must be shown, labelled, and dimensioned correctly and accurately, this includes site sidewalks, driveways and landscaping (if on separate landscape plan, submit plan).  
\_Need to see clear differentiation between new construction and existing on Site Plan.
- The south curb cut on San Pedro must be minimum width of 30'. \_A 36'- 40' foot curb cut is required at north driveway on San Pedro for access from left turn access lane and entrance needs striping and arrows, painted per DPM. \_Label - "Construct all new driveways per City of Albuquerque. Std. Detail Dwg. No. 2426.
- 25' radius curve needed on end islands along large (refuse, service) vehicle route.
- At middle group of stalls, at north parking area, assign small car parking to the south portion and move HC. parking to north group of buildings. Verify with Zoning. \_28' width needed on drive aisle north of this group.  
\_Center HC. sign and place concrete wheel stops, 2'-0" from sign as shown.
- Property description on application sheet does not match current Albuquerque Zone Atlas. Need copy of current plat or replat for office files. Must be recorded and signed at County Clerk's Office.
- All Civil Sheets (Drainage Plan and Site Plan) and Landscape Plan must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match Site Plan exactly. \_Per DPM, 23.6B.11a, drive apron grade max. is 6% for curb return drives.
- Callout to label on asphalt "COMPACT" or equal at small car stalls at end of stall.
- Any pending City Street Projects adjacent to project site must be verified with Art Kelly, Public Works, Transportation, Planning at 505-768-2768.
- Show and label new or existing H.C. ramp at all street corners, must be A.D.A.
- Place concrete wheel stop 18'-0" from rear of stall, use #6 rebar anchors, 18" in length.
- For future reference, show full width of all streets on Site Plan, unless shown and dimensioned on Grading and Drainage Plan, to include ``median and opening, if it exists (including any left turn lanes into this site). Without medians show traffic lanes up to and including middle turn lane.



# CLIENT/COURIER TRANSMITTAL



BOHANNAN HUSTON

Courtyard One

7500 JEFFERSON NE

Albuquerque

NEW MEXICO 87109

voice 505.823.1000

fax 505.821.0892

To: Mike Zamora  
City of Albuquerque  
Transportation Dept.  
600 2nd St. NW  
2nd Floor

Job No.:

Requested By: Bruce S.

Date: September 17, 1999

Time Due: ☐ This A.M. ☒ This P.M.  
☐ Rush \_\_\_\_\_ ☐ By Tomorrow

Job Name: Cinemark and NE Corner San Pedro & Menaul

## DELIVERY VIA

- ☒ Courier ☐ Federal Express  
☐ Mail ☐ UPS  
☐ Other \_\_\_\_\_

## PICK UP

Item: \_\_\_\_\_

<u>ITEM NO.</u>	<u>QUANTITY</u>	<u>DESCRIPTION</u>
1	1	Traffic Control Plan – Cinemark Site
2	1	Traffic Control Plan – NE Corner San Pedro & Menaul

## COMMENTS / INSTRUCTIONS

PUBLIC WORKS FRONT DESK:

WITH THE ATTACHED INFO, PLEASE  
COMPLETE THE LOGIN OF BOTH PROJECTS  
FOR HYDROLOGY REVIEW FOR  
BUILDING PERMIT APPROVAL.

REC'D BY: \_\_\_\_\_ DATE: \_\_\_\_\_ TIME: Bruce