



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 16, 2003

Frank D. Lovelady P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

**Re: First Financial Credit Union, 2700 San Mateo Blvd. NE, Certificate of
Occupancy**

Engineer's Stamp dated 8-19-03 (H18/D64)

Certification dated 1-14-04

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 1-15-04, the
above referenced certification is approved for release of permanent Certificate of
Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: Phyllis Villanueva
file

H-18/D64

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/28/2003rd)

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION ZONE MAP/DRG. FILE #: H-18/D64
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 MIRAMONTES PARK UNIT 1
CITY ADDRESS: _____

ENGINEERING FIRM: FRANK D. LOVELADY PE
ADDRESS: 300 ALAMOSA ROAD NW
CITY, STATE: ALBUQUERQUE NM 87107

CONTACT: FRANK D. LOVELADY
PHONE: 345-2267
ZIP CODE: 87107

OWNER: FIRST FINANCIAL CREDIT UNION
ADDRESS: 1106 PARK AVE SW
CITY, STATE: ALBUQUERQUE NM

CONTACT: RICK BENNETT
PHONE: 242-1859
ZIP CODE: 87102

ARCHITECT: RICK BENNETT
ADDRESS: 1106 PARK AVE SW
CITY, STATE: ALBUQUERQUE NM 8

CONTACT: RICK BENNETT
PHONE: _____
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING CO
ADDRESS: 3412 MONROE NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: TONY HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: BROWN DEVELOPMENT
ADDRESS: 1108 PARK AVE SW
CITY, STATE: ALBUQUERQUE NM

CONTACT: MIC VIGIL
PHONE: 242-1859
ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☒ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUBD. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

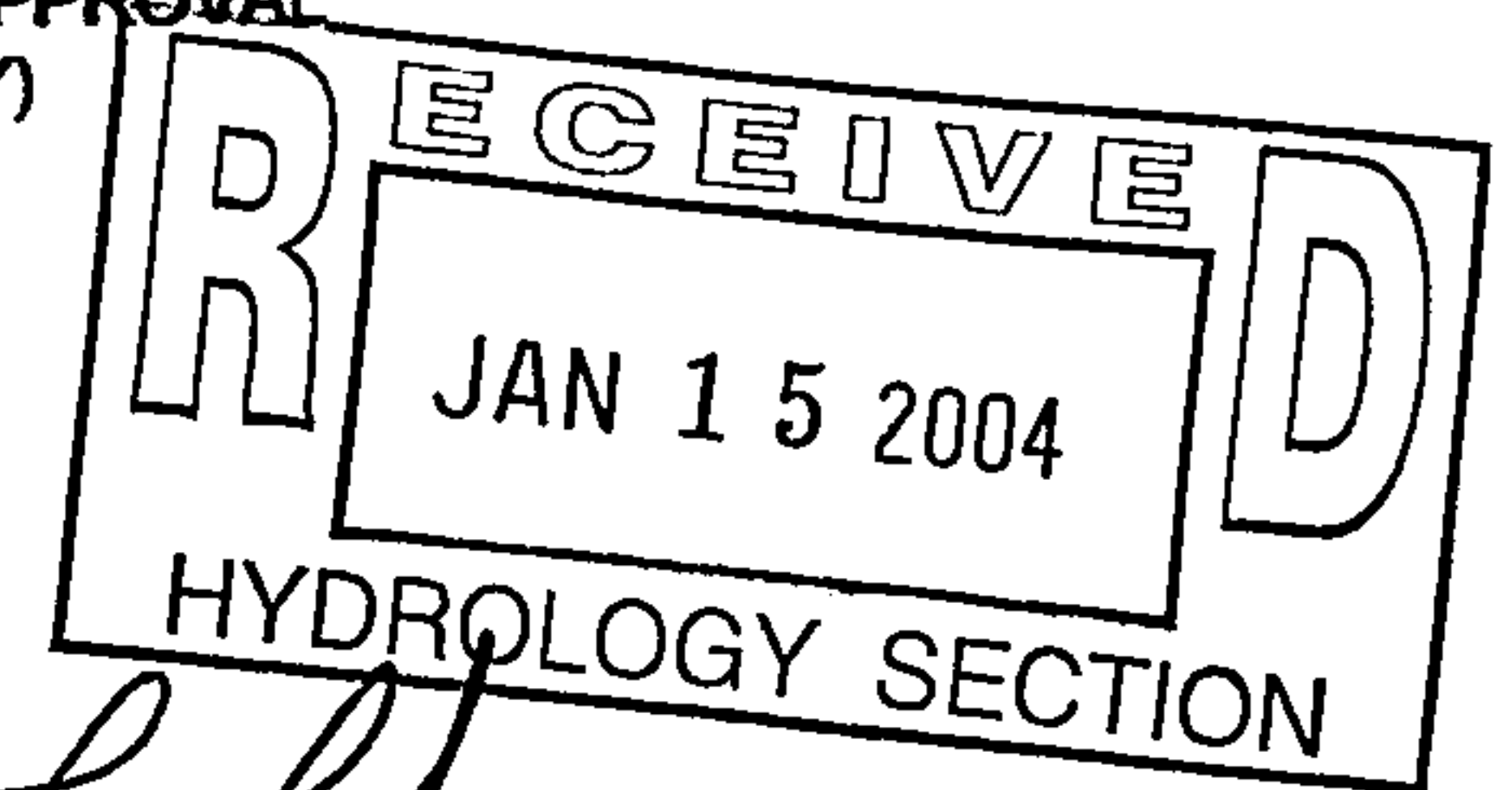
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

Need Stamp date → 8/19/03

DATE SUBMITTED: 01/15/04

BY: Frank D. Lovelady



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

January 8, 2004

Rick P. Bennet, Registered Architect
1104 Park Avenue SW
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for
First Financial Credit Union, [H-18 / D64]
2700 San Mateo NE
Architect's Stamp Dated 01/08/04

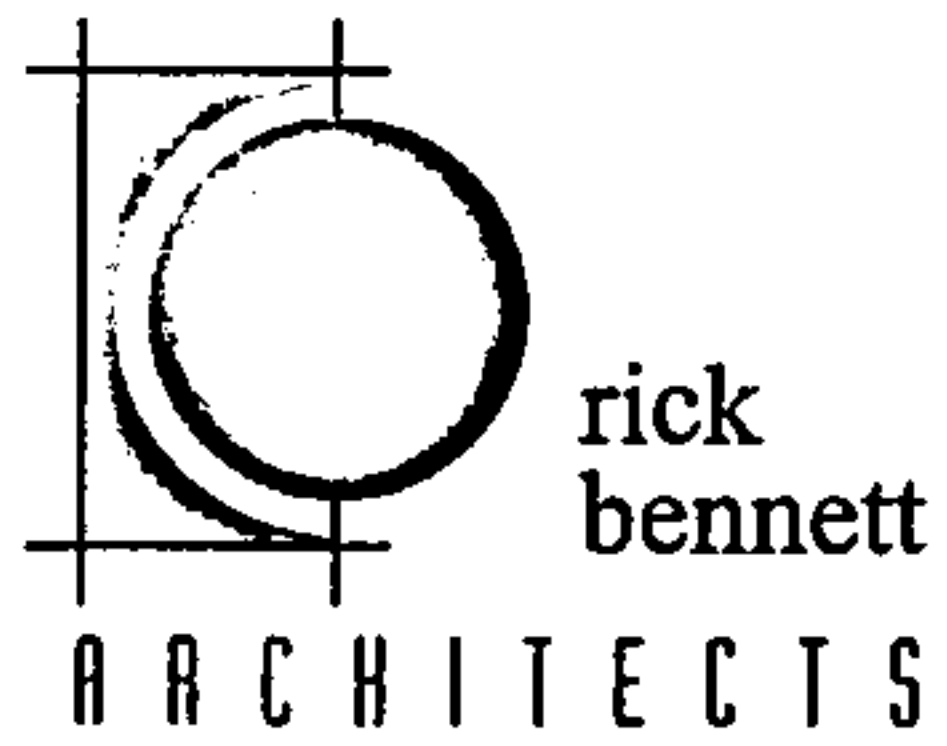
Dear Mr. Bennet:

The TCL / Letter of Certification submitted on January 8, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



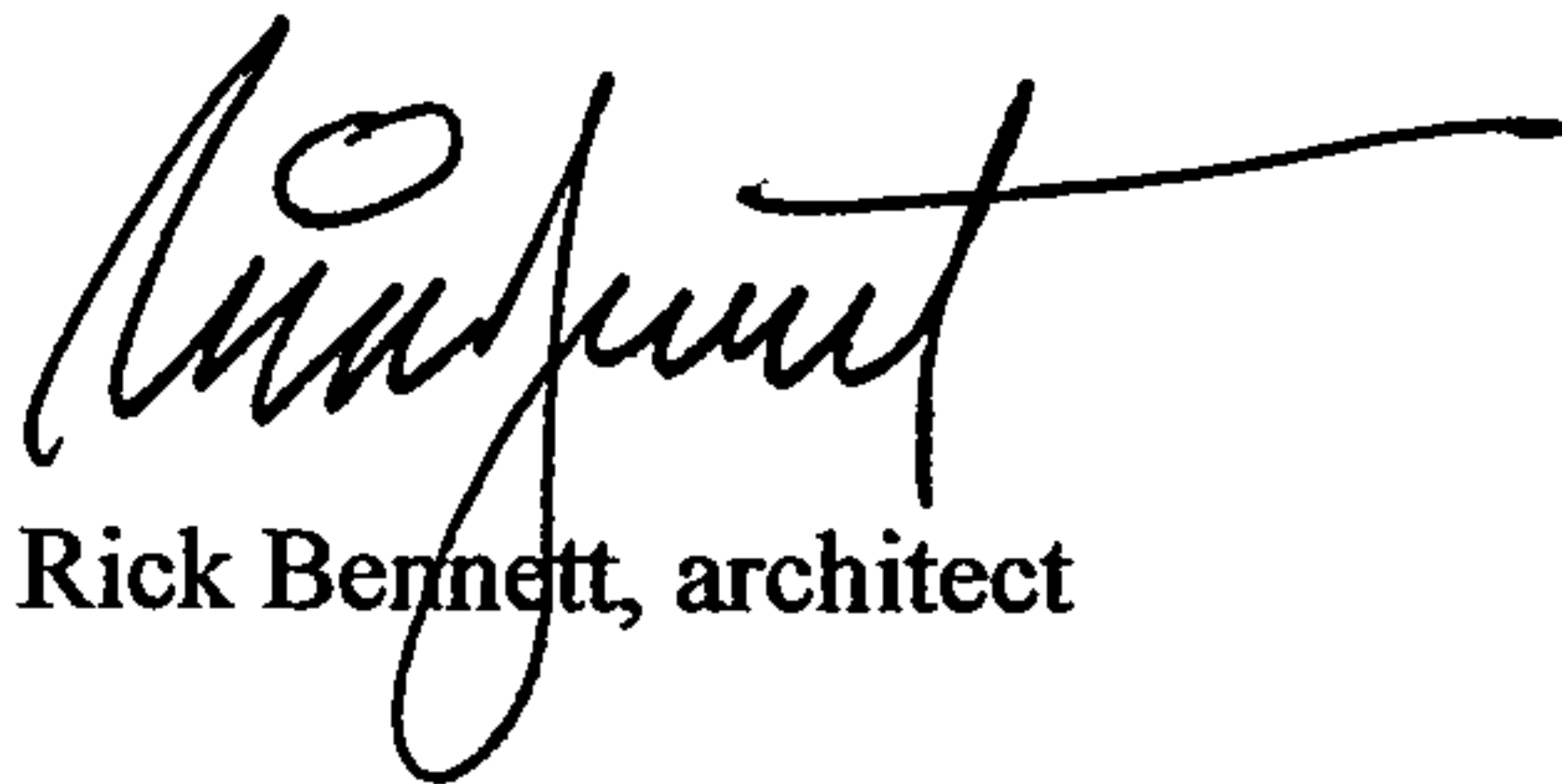
January 8, 2004

Traffic Engineer
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

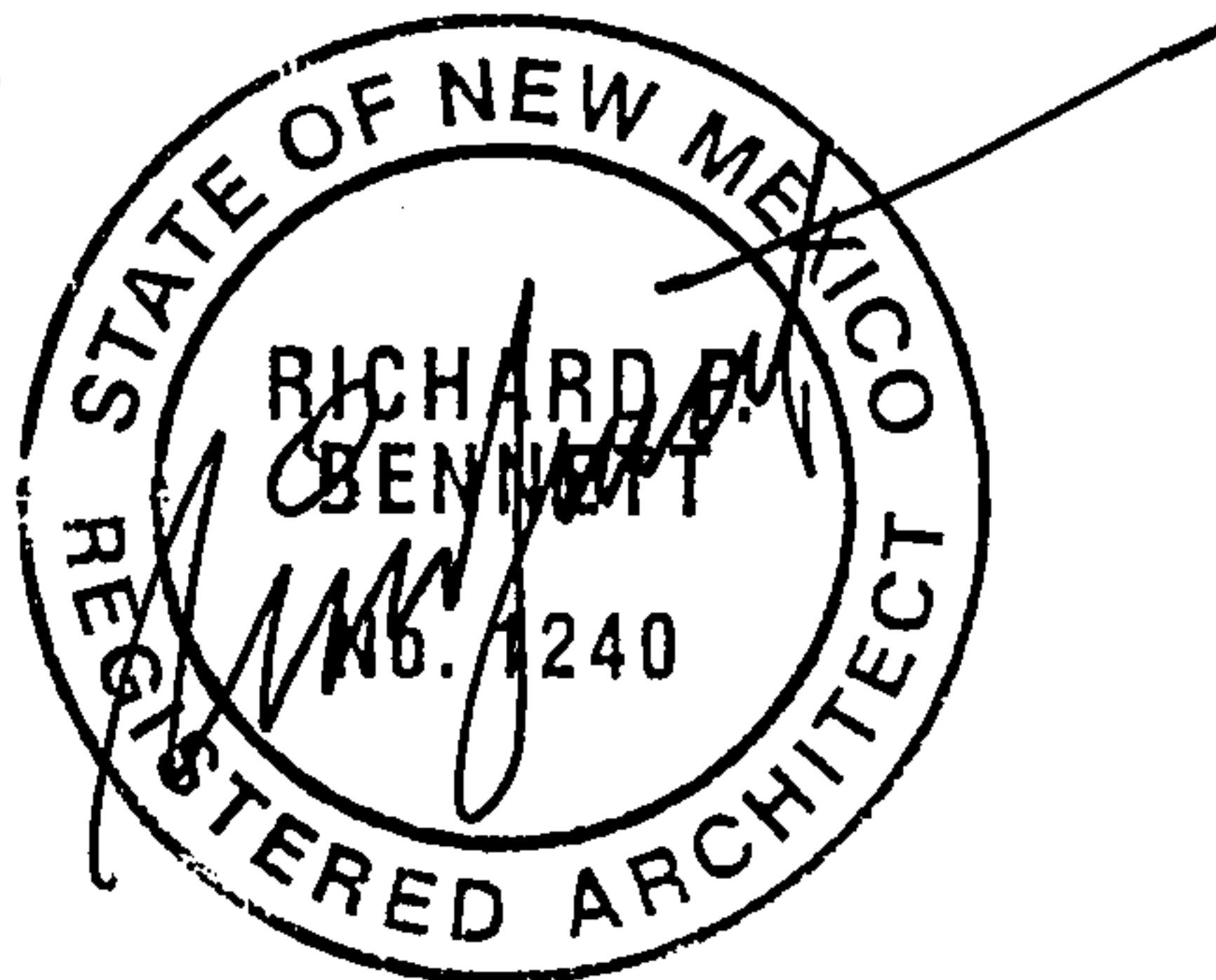
Dear Sir,

I hereby provide Certification that the First Financial Credit Union project at 2700 San Mateo Blvd. NE, has been built in substantial compliance with the approved Traffic Circulation Layout Plan, dated 7/31/03.

Sincerely,



Rick Bennett, architect



DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

H-18/D64

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION ZONE MAP/DRG. FILE #: H-18
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1, MIRAMONTES PARK, UNIT 1
 CITY ADDRESS: 2700 SAN MATEO BLVD. NE

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: FIRST FINANCIAL CREDIT UNION
 ADDRESS: 601 TIJERAS NW
 CITY, STATE: ALB., NM

CONTACT: RANDY AKIN
 PHONE: 766-5600
 ZIP CODE: 87102

ARCHITECT: RICK BENNETT ARCHITECTS
 ADDRESS: 1104 PARK AVE. SW
 CITY, STATE: ALB., NM

CONTACT: PATRICK WHELAN
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: ENTERPRISE BUILDERS
 ADDRESS: PO. BOX 3487
 CITY, STATE: ALB., NM

CONTACT: DARWIN CHINANTI
 PHONE: 857-0050
 ZIP CODE: 87190

CHECK TYPE OF SUBMITTAL:

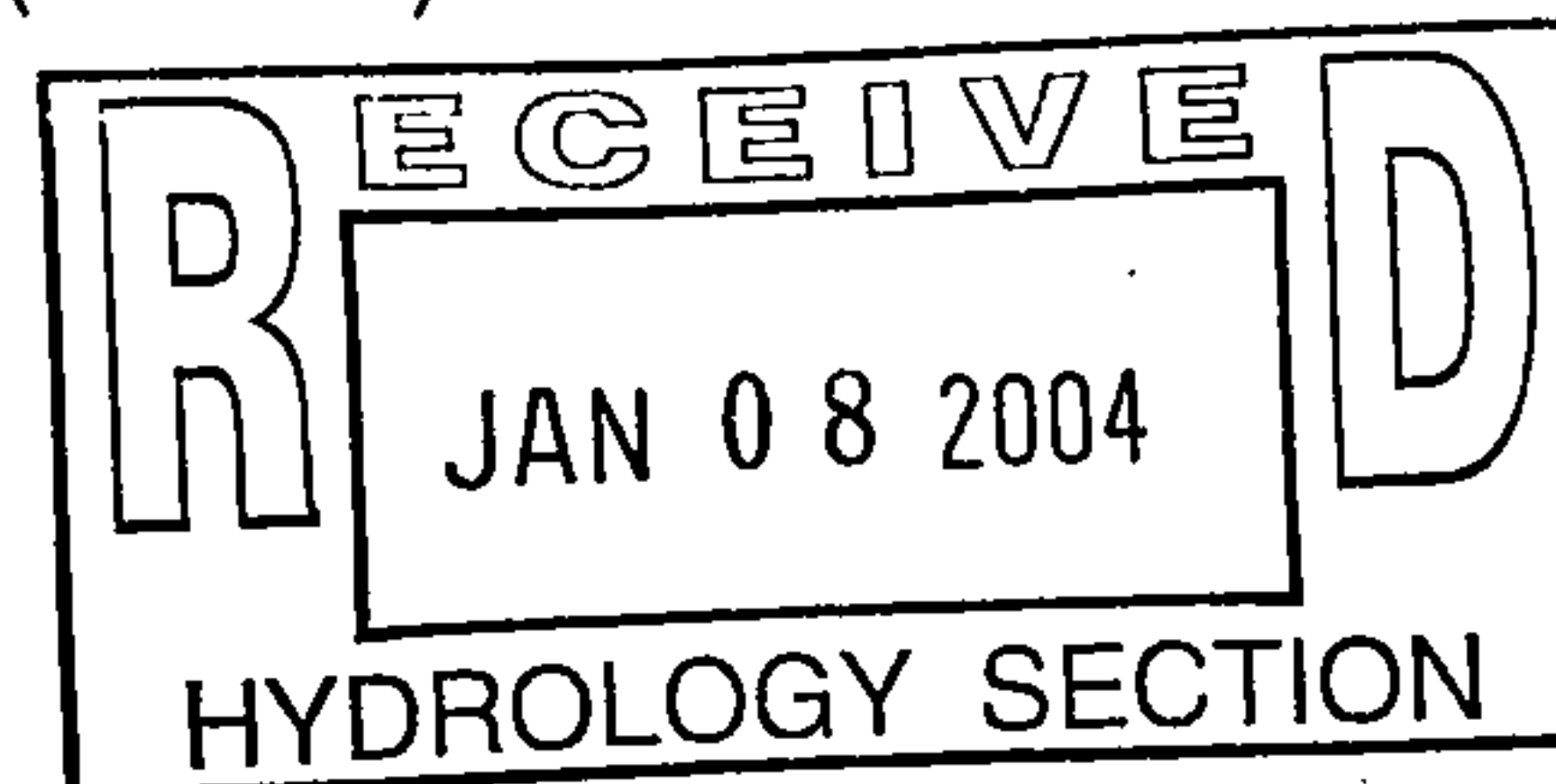
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 1-08-2004 BY: PATRICK WHELAN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

3111

10/27/03 10:27 AM

10/27/03 10:27 AM

10/27/03 10:27 AM

10/27/03 10:27 AM

10/27/03 10:27 AM

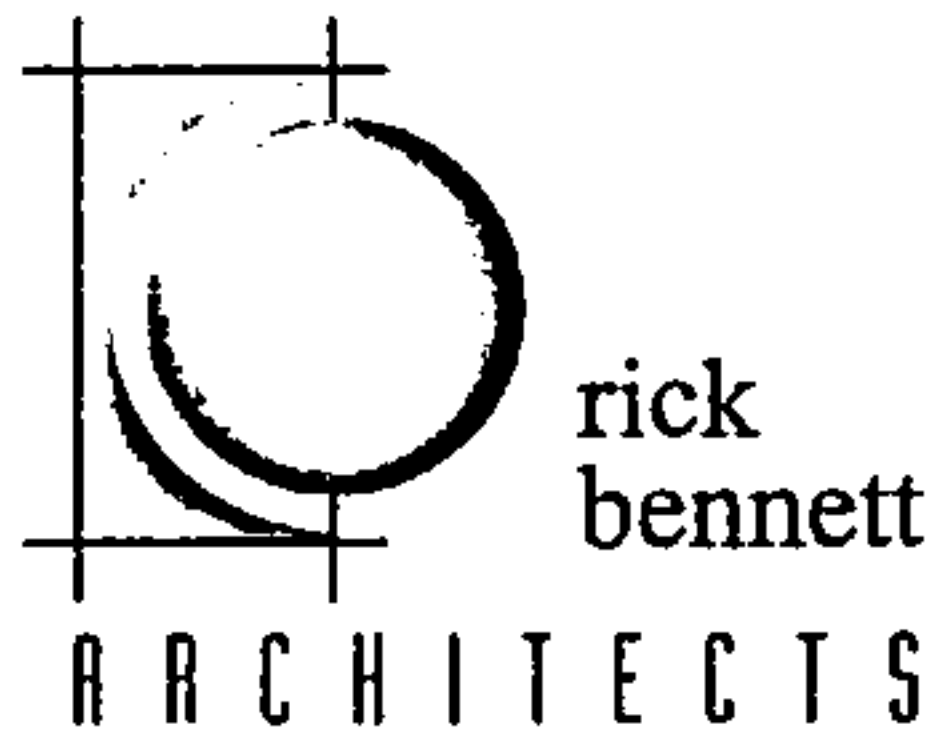
10/27/03 10:27 AM

correct letter for
approved date from 10/27/03
to July 31, 03

left message 2:40pm
1/8/04

10/27/03 10:27 AM

10/27/03 10:27 AM



January 8, 2004

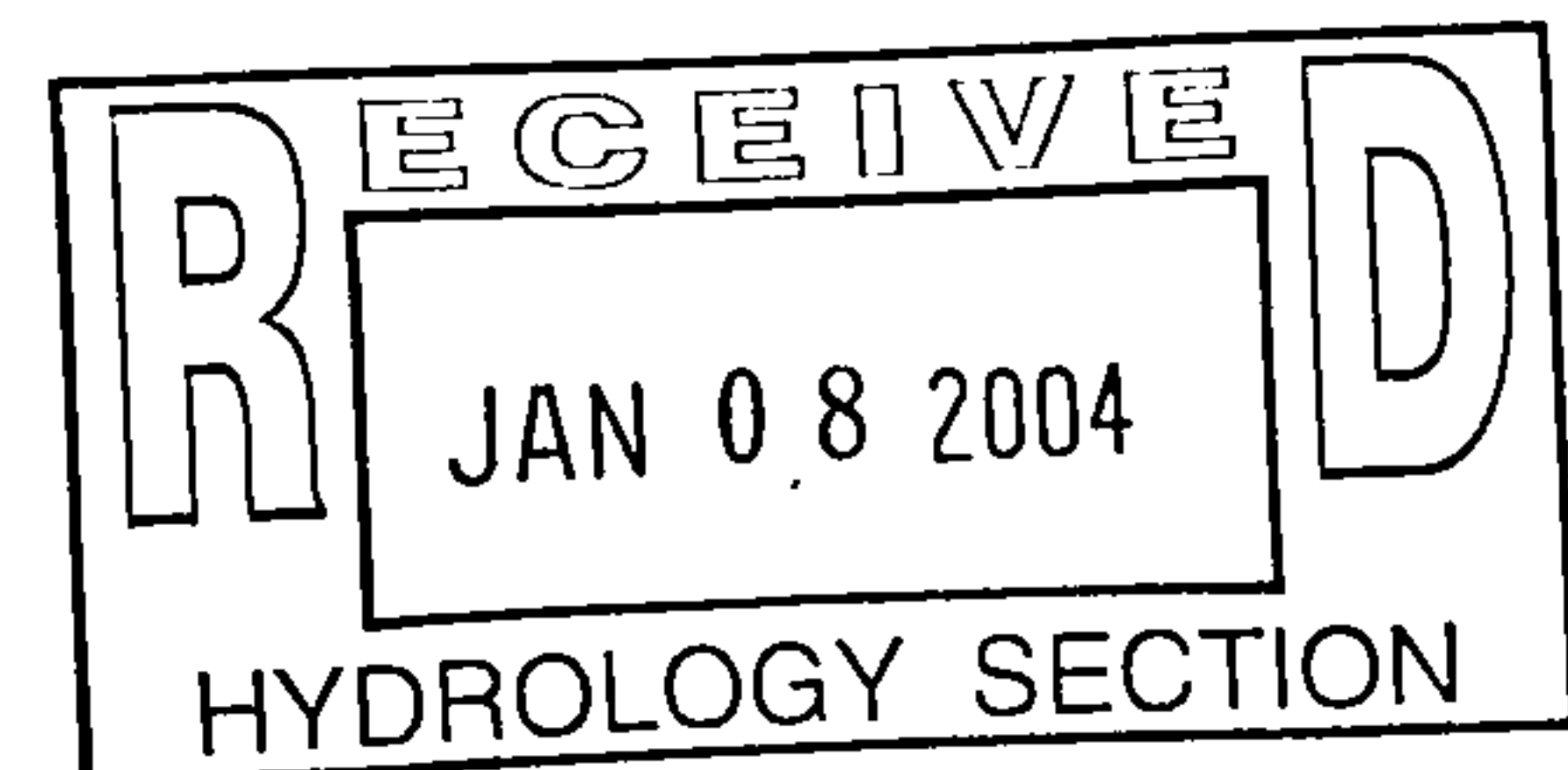
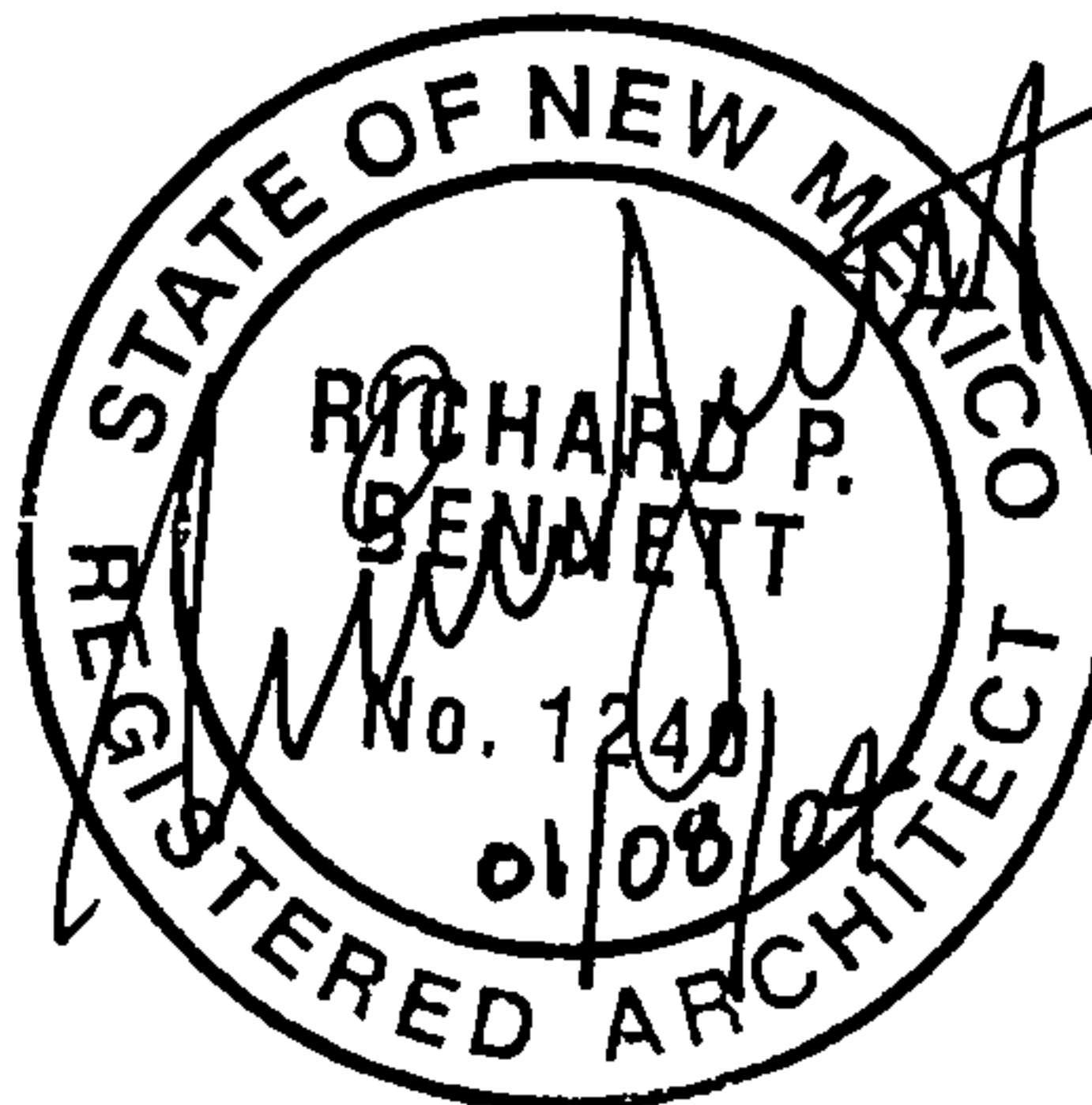
Traffic Engineer
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Dear Sir,

I hereby provide Certification that the First Financial Credit Union project at 2700 San Mateo Blvd. NE, has been built in substantial compliance with the approved Traffic Circulation Layout Plan, dated 10/27/03.

Sincerely,

Rick Bennett, architect





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department
Transportation Development Services Section***

July 31, 2003

Rick Bennett, RA
Rick Bennett Architects
1104 Park Ave. SW
Albuquerque, NM 87102

Re: Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for
First Financial Credit Union [H-18/D64]
Architect's Stamp Dated 4-25-03

Dear Mr. Bennett:

The TCL submittal dated July 24, 2003 is approved, stamped and signed as such. Two copies will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

cc: Hydrology file
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 1/11/2002)

H-18/D64

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION

ZONE MAP/DRG. FILE #:

DRB #: _____ EPC#:

WORK ORDER#:

LEGAL DESCRIPTION: LOT 1, MIRAMONTES PARK, UNIT 1 SUBDIVISION

CITY ADDRESS:

ENGINEERING FIRM:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

OWNER: FIRST FINANCIAL CREDIT UNION

ADDRESS: 601 TILERAS NW

CITY, STATE: ALB., NM

CONTACT: RANDY AKIN

PHONE: 766-5600

ZIP CODE: 87102

ARCHITECT: RICK BENNETT ARCHITECTS

ADDRESS: 1104 PARK AVE SW

CITY, STATE: ALB., NM

CONTACT: PATRICK WHELAN

PHONE: 242-1859

ZIP CODE: 87102

SURVEYOR:

ADDRESS

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR: ENTERPRISE BUILDERS

ADDRESS: P.O. BOX 3987

CITY, STATE: ALB., NM

CONTACT: JASON VIGIL

PHONE: 857-0050

ZIP CODE: 87190

CHECK TYPE OF SUBMITTAL:

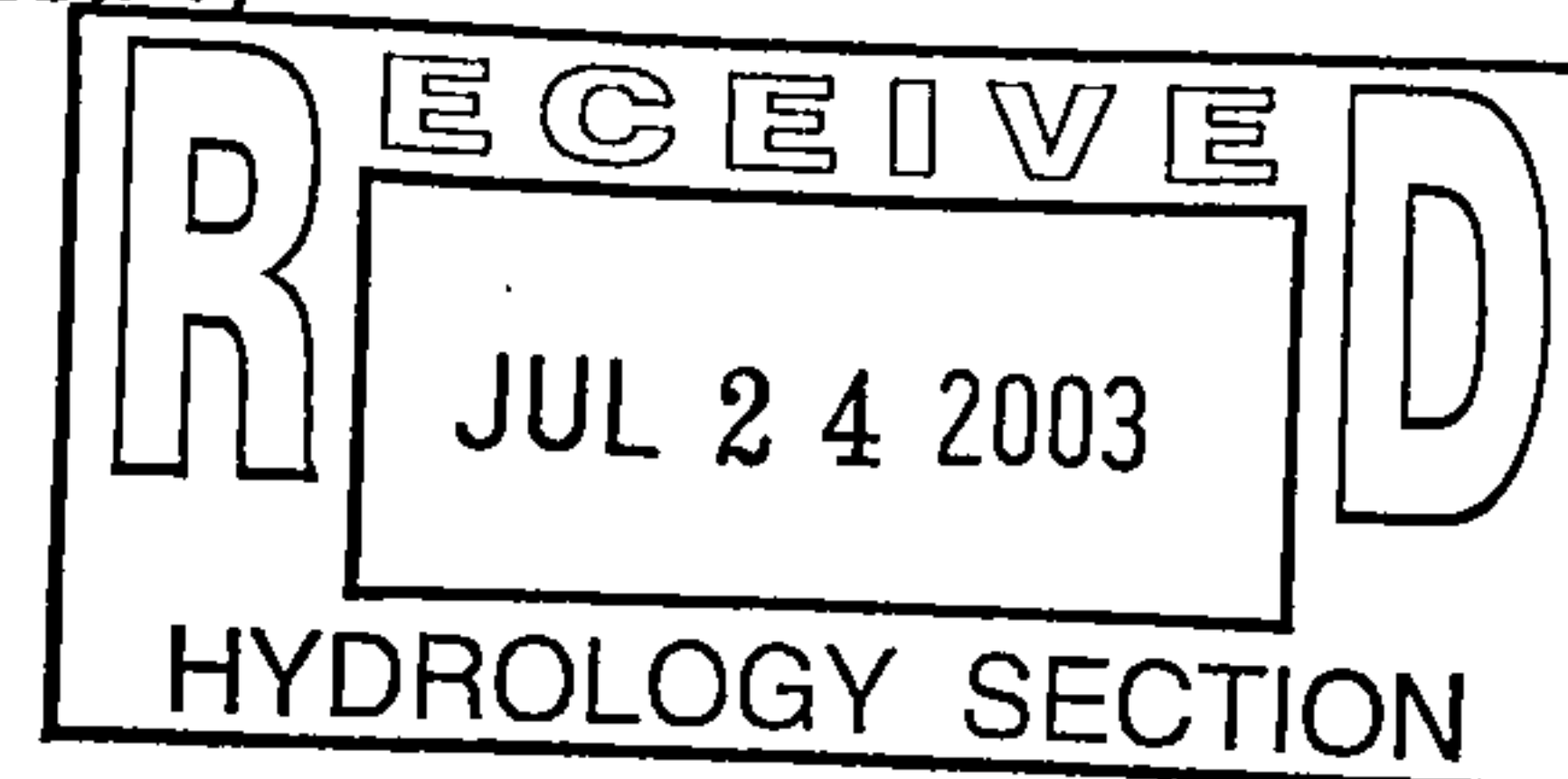
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- ☐ DRAINAGE PLAN
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- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 7/24/03 BY: PATRICK WHELAN

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 12, 2003

Frank D. Lovelady P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

Re: First Financial Credit Union, 2700 San Mateo Blvd. NE, Certificate of Occupancy

Engineer's Stamp dated 8-19-03 (H18/D64)

Certification dated 1-09-04

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 1-09-04, the above referenced certification cannot be approved until the following comments are addressed:

1. The Engineer's certification must be stamped, signed, and dated.
2. The Engineer's stamp must be signed.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file

H-18/D64

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION ZONE MAP/DRG. FILE # H-18/D 64
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 MIRAMONTES PARK UNIT 1
CITY ADDRESS: _____

ENGINEERING FIRM: FRANK D. LOVELAND PE
ADDRESS: 300 ALAMOSA ROAD NW
CITY, STATE: ALBUQUERQUE NM 87107

CONTACT: FRANK D. LOVELAND
PHONE: 345-2267
ZIP CODE: 87107

OWNER: FIRST FINANCIAL CREDIT UNION
ADDRESS: 1106 PARK AVE SW
CITY, STATE: ALBUQUERQUE NM

CONTACT: RICK BENNETT
PHONE: 242-1859
ZIP CODE: 87102

ARCHITECT: RICK BENNETT
ADDRESS: 1106 PARK AVE SW
CITY, STATE: ALBUQUERQUE NM 8

CONTACT: RICK BENNETT
PHONE: _____
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING CO
ADDRESS: 3412 MONROE NE
CITY, STATE: ALBUQUERQUE NM

CONTACT: TONY HARRIS
PHONE: 882-8056
ZIP CODE: 87110

CONTRACTOR: BROWN DEVELOPMENT
ADDRESS: 1106 PARK AVE SW
CITY, STATE: ALBUQUERQUE NM

CONTACT: MIC VIGIL
PHONE: 242-1859
ZIP CODE: 87102

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- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

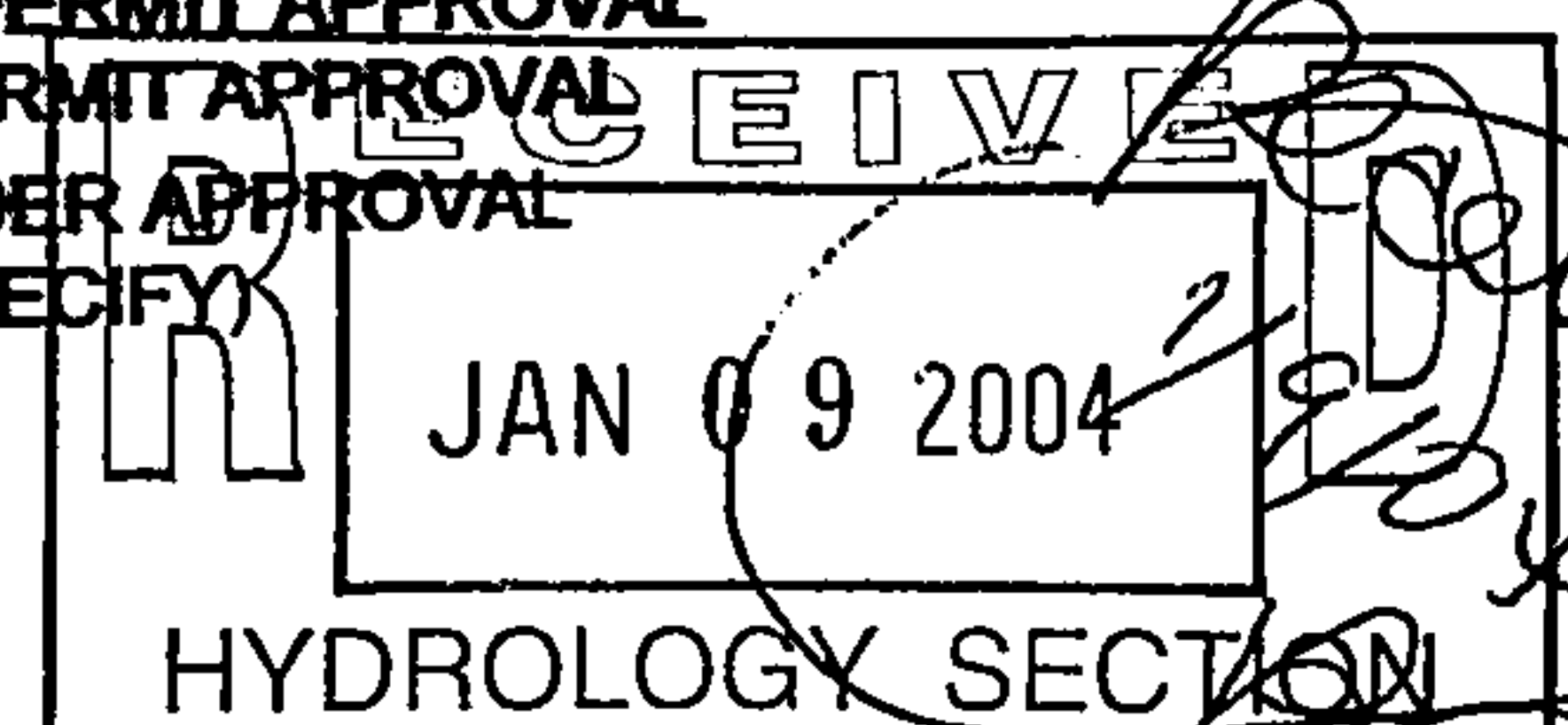
Stamp date 8/19/03

DATE SUBMITTED: 01/09/04 BY: Frank D. Loveland

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☐ S. DEV. PLAN FOR SUBD. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
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☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____



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APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 29, 2003

Frank D. Lovelady P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

**Re: First Financial Credit Union, 2700 San Mateo Blvd. NE, Certificate of
Occupancy (H18/D64)**

Certification dated 12-15-03

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 12-23-03, the above referenced certification cannot be approved until the following comments are addressed:

1. The Engineer's stamp is not signed.
2. Certification must be submitted by the Engineer of record.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

CERTIFICATION
DONE BY SURVEYOR - NEEDED FROM ENGINEER

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION ZONE MAP/DRG. FILE #: H-18/D64
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 MIRAMONTES PARK, UNIT 1 SUBDIVISION
 CITY ADDRESS: 2700 SAN MATEO BLVD. NE

ENGINEERING FIRM: FRANK LOVELADY, P.E.
 ADDRESS: 300 ALAMOSA RD. NW
 CITY, STATE: ALB., NM

CONTACT: FRANK LOVELADY
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: FIRST FINANCIAL CREDIT UNION
 ADDRESS: 601 TIJERAS NW
 CITY, STATE: ALB., NM

CONTACT: RANDY AKIN
 PHONE: 766-5600 X9425
 ZIP CODE: 87125

ARCHITECT: RICK BENNETT ARCHITECTS
 ADDRESS: 1104 PARK AVE. SW
 CITY, STATE: ALB., NM

CONTACT: PATRICK WHELAN
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: MICHAEL SHOOK
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: MICHAEL SHOOK
 PHONE: 896-1716
 ZIP CODE: _____

CONTRACTOR: ENTERPRISE BUILDERS
 ADDRESS: P.O. BOX 3887
 CITY, STATE: ALB., NM

CONTACT: DAMIAN CHIMENTI
 PHONE: 857-0050
 ZIP CODE: 87190

- CHECK TYPE OF SUBMITTAL:
- ☐ DRAINAGE REPORT
 - ☐ DRAINAGE PLAN
 - ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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 - ☐ CLOMR/LOMR
 - ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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 - ☐ OTHER (SPECIFY)

Engineer Stamp → 8/19/03
 ORIGINAL STAMP
 NOT SIGNED

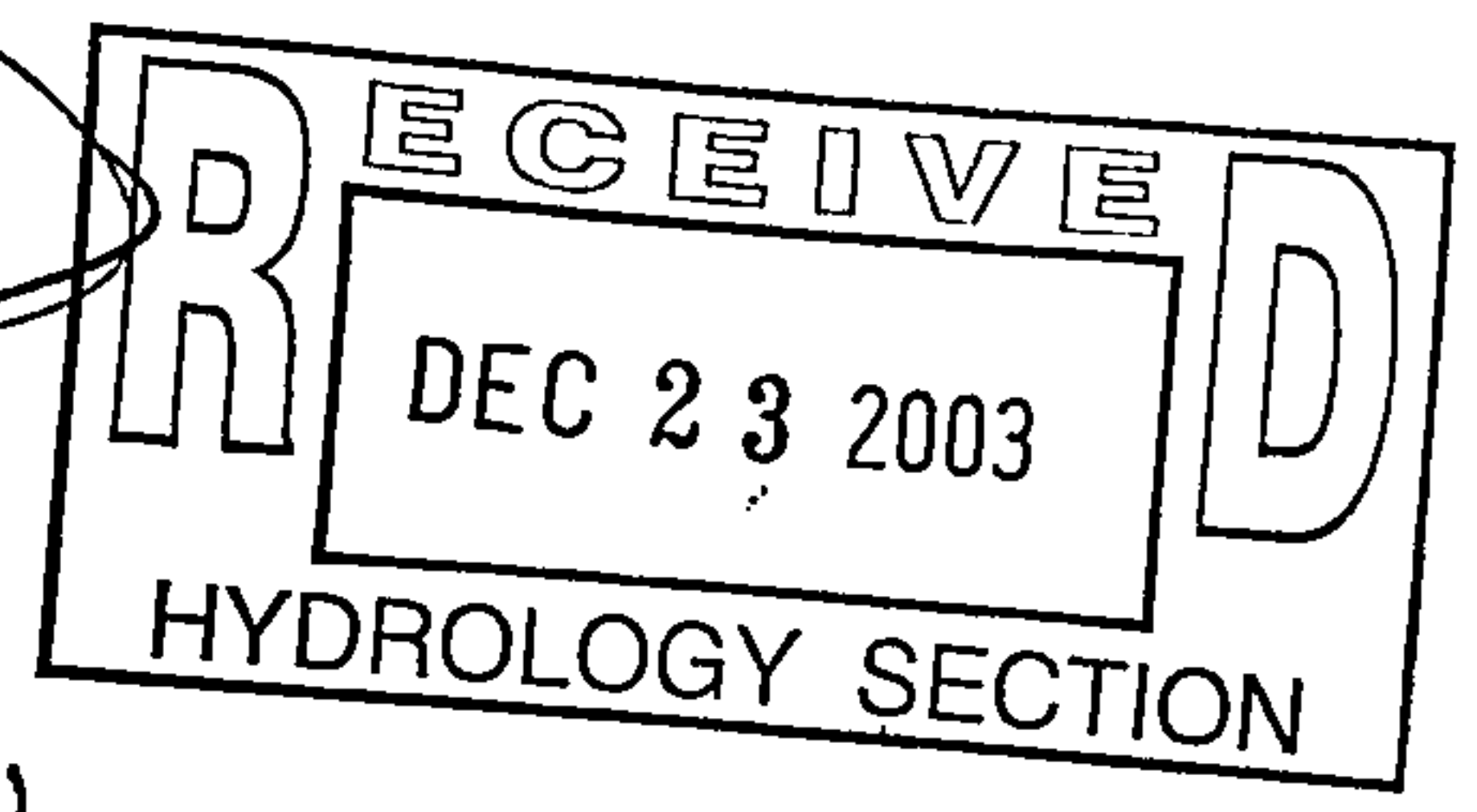
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

Verbal No
 12/29/03 → spoke w/ Frank Lovelady, will talk to owners

DATE SUBMITTED: 12-23-03 BY: PATRICK WHELAN

re: Certification



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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 10, 2003

Frank D. Lovelady P.E.
300 Alamosa Road NW
Albuquerque, NM 87107

**Re: First Financial Credit Union, Grading and Drainage Plan
Engineer's Stamp dated 8-19-03 (H18/D64)**

Dear Mr. Lovelady,

Based upon the information provided in your resubmittal dated ⁸⁻²¹⁻⁰³~~8-19-03~~, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Kristal D. Metro
Engineering Associate, Planning Dept.
Development and Building Services
BUB

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION ZONE MAP/DRG. FILE #: H-18/D64
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 MIRAMONTES PARK UNIT 1
 CITY ADDRESS: 2700 San Mateo Blvd NE

ENGINEERING FIRM: FRANK D. LOVELADY & PE CONTACT: FRANK D. LOVELADY
 ADDRESS: 300 ALAMOSA ROAD NW PHONE: 345-2267
 CITY, STATE: ALBUQUERQUE NM 87107 ZIP CODE: 87107

OWNER: FIRST FINANCIAL CREDIT UNION CONTACT: RICK BENNETT
 ADDRESS: 1106 PARK AVE SW PHONE: 242-1859
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

ARCHITECT: RICK BENNETT CONTACT: RICK BENNETT
 ADDRESS: 1106 PARK AVE SW PHONE: _____
 CITY, STATE: ALBUQUERQUE NM 8 ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING CO CONTACT: TONY HARRIS
 ADDRESS: 3412 MONROE NE PHONE: 889-8056
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87110

CONTRACTOR: BROWN DEVELOPMENT CONTACT: MR VIGIL
 ADDRESS: 1108 PARK AVE SW PHONE: 242-1859
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87102

CHECK TYPE OF SUBMITTAL:

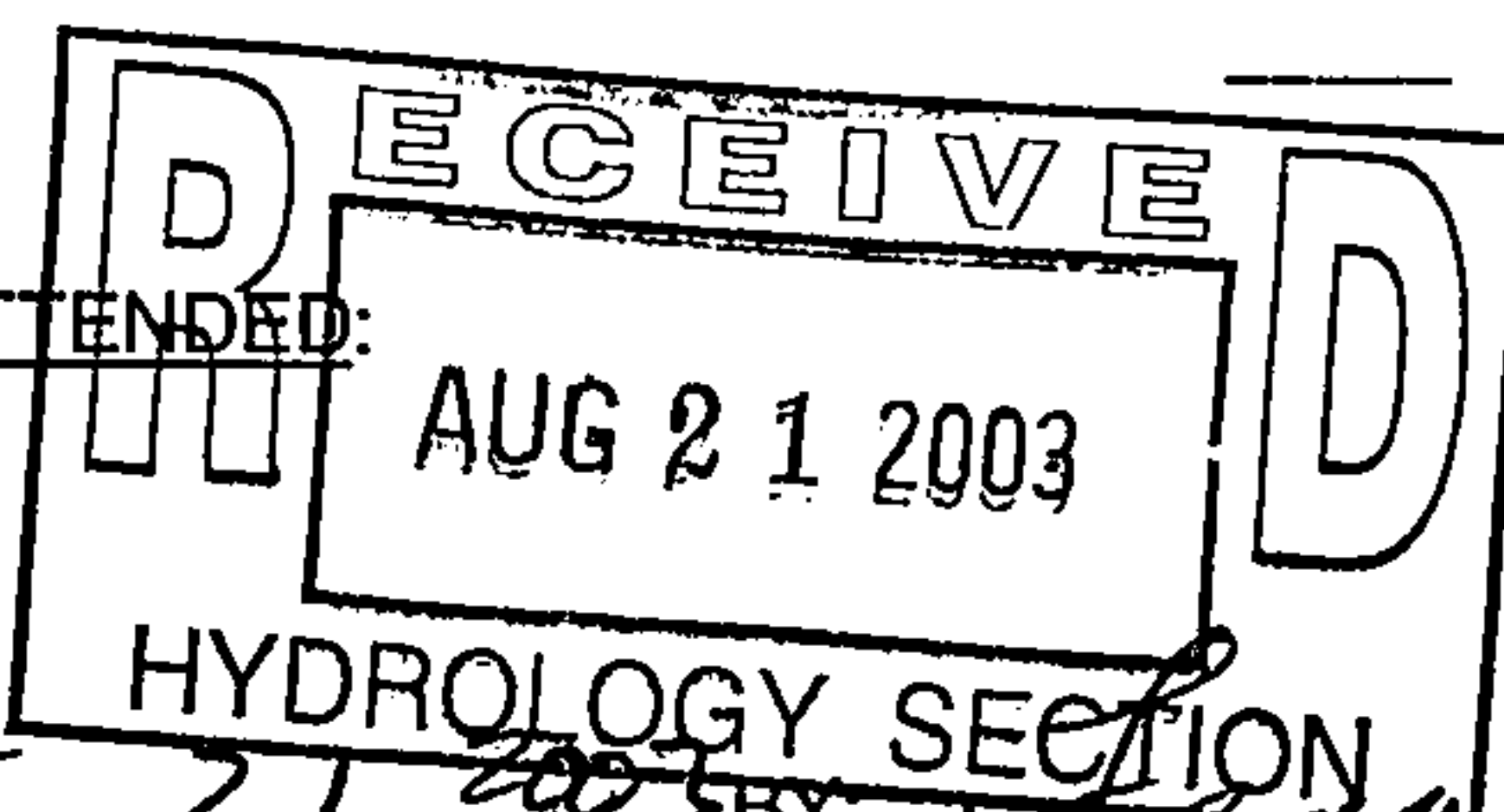
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: August 21, 2003 BY: Frank D. Lovelady

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 21, 2003

Frank Lovelady, PE
300 Alamosa NW
Albuquerque, NM 87107

Re: First Financial Credit Union Grading and Drainage Plan
Engineer's Stamp dated 3-19-03 (H18/D64)

Dear Mr. Lovelady,

Based upon the information provided in your submittal dated 3-26-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- It appears that the building encroaches in the 30' access easement. Please provide written permission from all users to allow this.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

H-18/D64

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION ZONE MAP/DRG. FILE #: H-18/D64
DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 MIRAMONTES PARK SUB.
CITY ADDRESS: _____

ENGINEERING FIRM: FRANK D. LOVELADY PE
ADDRESS: 300 ALAMOSA NW
CITY, STATE: ALB NM

CONTACT: FRANK LOVELADY
PHONE: 345-2267
ZIP CODE: 87107

OWNER: FIRST FINANCIAL CREDIT UNION
ADDRESS: 1804 PARK AVE SW
CITY, STATE: ALB NM

CONTACT: RICK BENNETT
PHONE: 242-1859
ZIP CODE: 87102

ARCHITECT: RICK BENNETT
ADDRESS: 1804 PARK AVE SW
CITY, STATE: ALB NM

CONTACT: RICK BENNETT
PHONE: 242-1859
ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING CO. INC
ADDRESS: 2512 MONROVIE
CITY, STATE: ALB NM

CONTACT: TONY HARRIS
PHONE: 889-8056
ZIP CODE: 87110

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

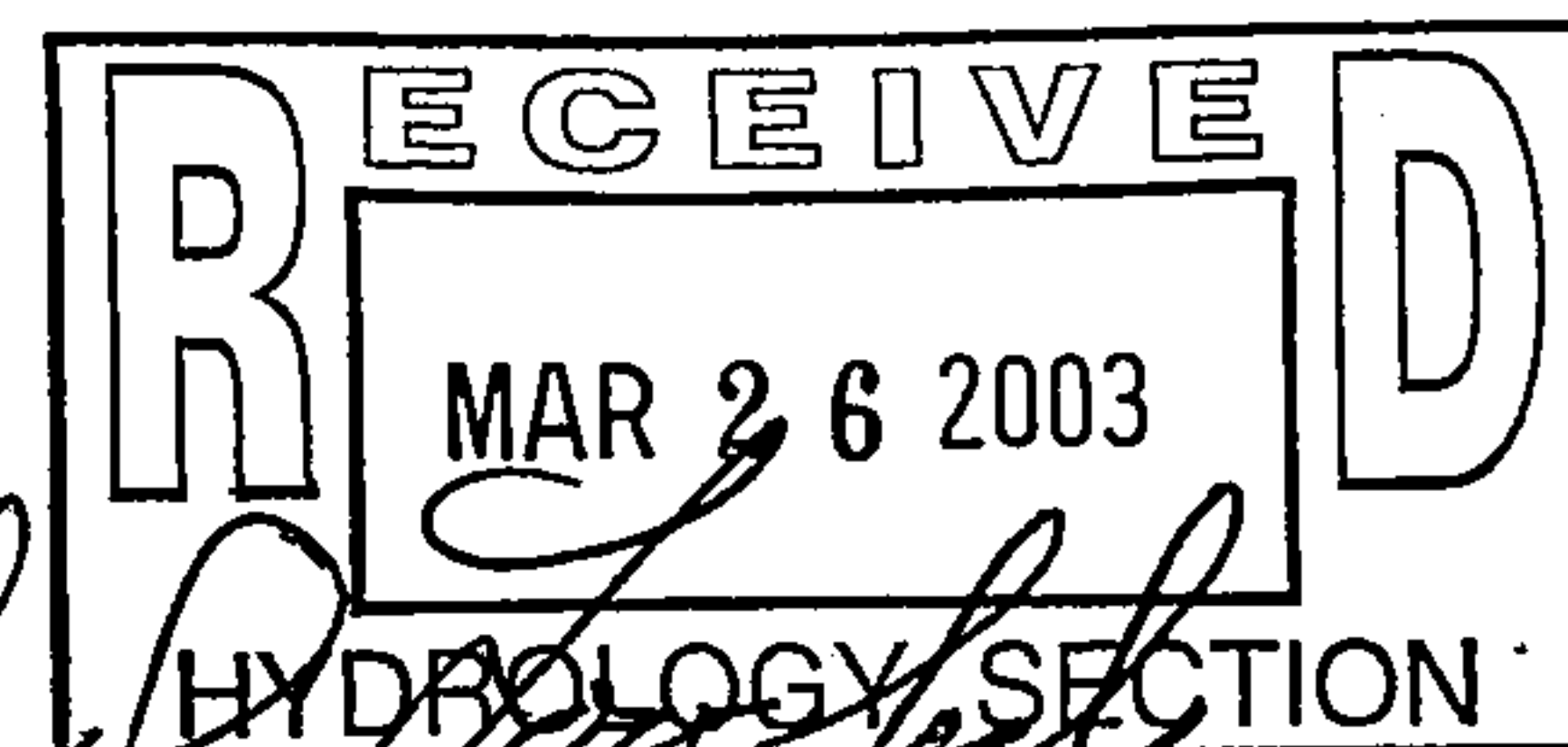
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- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: MARCH 26, 2003 BY: Frank D. Lovelady



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Frank D. Lovelady, PE

300 ALAMOSA ROAD NW
ALBUQUERQUE, NM 87107

Telephone (505)345-2267 Fax(505)345-2115

TO: CITY OF ALBUQUERQUE HYDROLOGY

FROM: FRANK LOVELADY, PE


SUBJECT: GRADING AND DRAINAGE PLAN FOR FIRST FINANCIAL
CREDIT UNION AT SAN MATEO AND PHOENIX (H18/D064).

DATE: March 26, 2003

Attached is the grading and drainage plan for the referenced project. The previous submittal was submitted in two phases. It is now proposed to construct both phases as a single project. The Phase Two grading and drainage plan has been revised to reflect this change.

If you have any questions, please do not hesitate to contact me.

Sincerely,


Frank D. Lovelady, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 21, 2003

Rick Bennett, RA
1804 Park Ave SW
Albuquerque, NM 87102

Re: First Financial Credit Union Site Plan (Traffic Circulation Layout)
Architect's Stamp not dated (H18/D64)

Dear Mr. Bennett,

Based upon the information provided in your submittal dated 3-26-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- New driveways (off Phoenix) must adhere to ADA accessibility requirements. Additional sidewalk will be required in order to provide a 3' path with allowable cross-slope.
- Please add radii dimensions to all curbs to be constructed.

With the resubmittal and all future submittals as well, please date your signature in order to better reference your plan. If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

H-18/D64

PROJECT TITLE: FIRST FINANCIAL CREDIT UNION ZONE MAP/DRG. FILE #: H-18/D64
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 MIRAMUNTES PARK SUB.
 CITY ADDRESS: _____

ENGINEERING FIRM: FRANK D. LOVELADY PE
 ADDRESS: 300 ALAMOSA NW
 CITY, STATE: ALB NM

CONTACT: FRANK LOVELADY
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: FIRST FINANCIAL CREDIT UNION
 ADDRESS: 1804 PARK AVE SW
 CITY, STATE: ALB NM

CONTACT: RICK BENNETT
 PHONE: 242-1859
 ZIP CODE: 87102

ARCHITECT: RICK BENNETT
 ADDRESS: 1804 PARK AVE SW
 CITY, STATE: ALB NM

CONTACT: RICK BENNETT
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING CO. INC
 ADDRESS: 2512 MONROE
 CITY, STATE: ALB NM

CONTACT: TONY HARRIS
 PHONE: 889-8056
 ZIP CODE: 87110

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

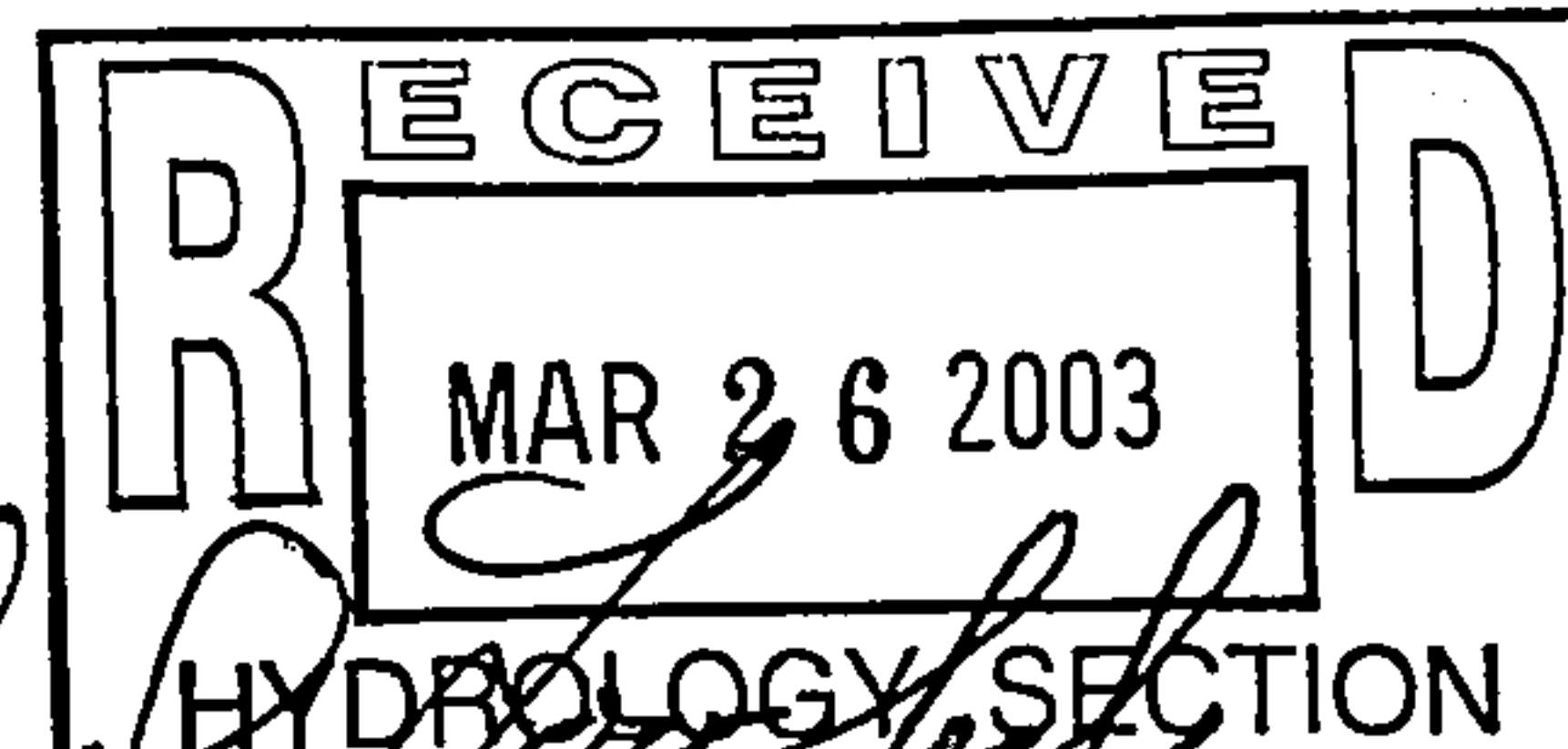
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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
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- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: MARCH 26, 2003 BY: Frank D. Lovelady



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

Frank D. Lovelady, PE

300 ALAMOSA ROAD NW
ALBUQUERQUE, NM 87107

Telephone (505)345-2267 Fax(505)345-2115

TO: CITY OF ALBUQUERQUE HYDROLOGY

FROM: FRANK LOVELADY, PE

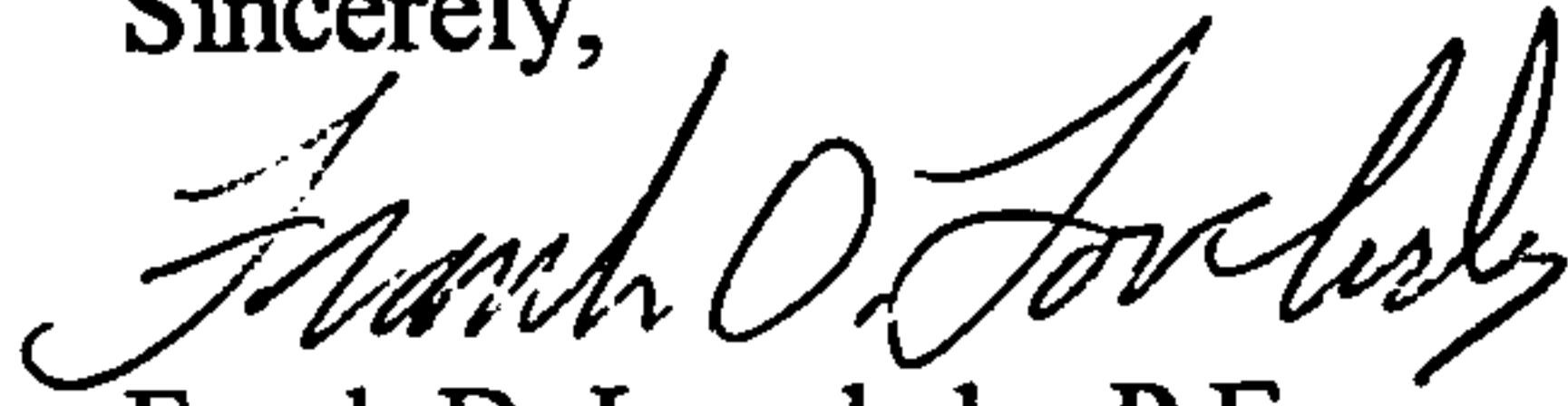
SUBJECT: GRADING AND DRAINAGE PLAN FOR FIRST FINANCIAL
CREDIT UNION AT SAN MATEO AND PHOENIX (H18/D064).

DATE: March 26, 2003

Attached is the grading and drainage plan for the referenced project. The previous submittal was submitted in two phases. It is now proposed to construct both phases as a single project. The Phase Two grading and drainage plan has been revised to reflect this change.

If you have any questions, please do not hesitate to contact me.

Sincerely,


Frank D. Lovelady, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 25, 200²~~1~~

Frank Lovelady, P.E.
300 Alamosa NW
Albuquerque New Mexico 87107

**RE: Grading and Drainage Plan for First Financial Credit Union Phase One (H18-D64)
Dated February 19, 2002**

Dear Mr. Lovelady:

The above referenced drainage plan received February 19, 2002 is approved for building permit.

The plan is also approved for an SO #19 permit for construction within the city right-of-way.

Engineer's Certification for completion of final site grading and drainage per the plan, and sign-off by the City's field inspector for the SO #19, is required for Hydrology final approval and Certificate of Occupancy.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya
City Floodplain Administrator

C: Matt Cline, w/attached plan
Pam Lujan, Excavation Permits

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

H-18/D64

PROJECT TITLE: 1st Financial Credit Union
 DRB #: _____ EPC#: _____ ZONE MAP/DRG. FILE #: H-18/D
 WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 MIRAMONTES PARK Subd. Unit 1
 CITY ADDRESS: _____

ENGINEERING FIRM: FRANK D. LOVELADY, PE
 ADDRESS: 300 ALAMOSA NW
 CITY, STATE: ALBUQUERQUE NM

CONTACT: FRANK LOVELADY
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: 1st Financial Credit Union
 ADDRESS: 1118 Park Ave SW
 CITY, STATE: ALBUQUERQUE NM

CONTACT: Rick Bennett
 PHONE: 242-1859
 ZIP CODE: 87102

ARCHITECT: Rick Bennett Architect
 ADDRESS: 1118 PARK AVE SW
 CITY, STATE: ALBUQUERQUE NM 87102

CONTACT: Rick Bennett
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: HARRIS SURVEYING CO.
 ADDRESS: 1118 PARK AVE SW
 CITY, STATE: ALBUQUERQUE NM
2412 MONROE NE

CONTACT: TONY HARRIS
 PHONE: 242-8898056
 ZIP CODE: 87110

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

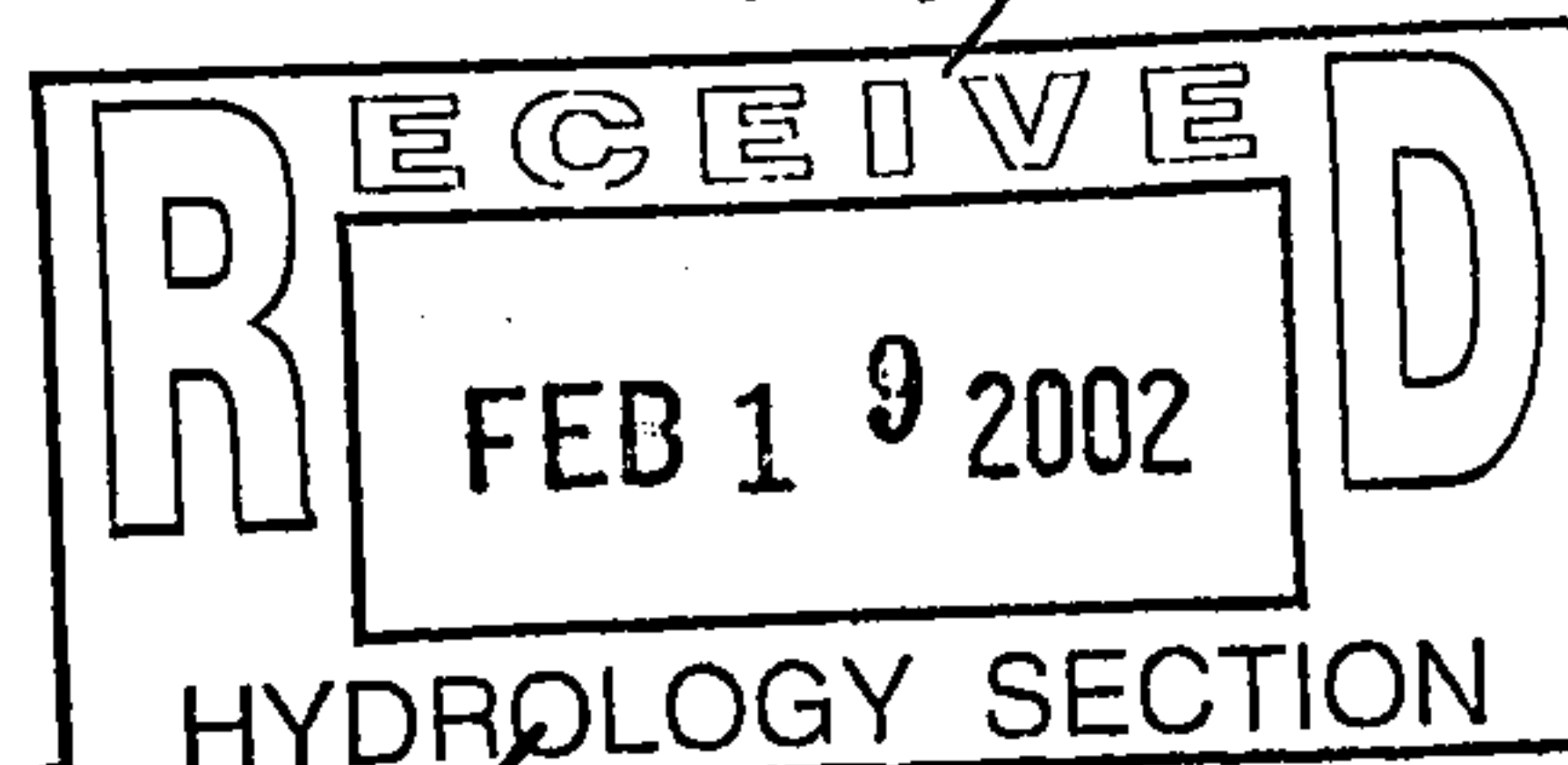
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL) (2EA)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☒ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) S.O. 19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 02/19/02 BY: Frank D. Lovelady

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

March 1, 2002

Rick Bennett, Reg. Architect
Rick Bennett Architect
1118 Park Ave. S.W.
Albuquerque, NM 87102

Re: TCL Submittal for Building Permit Approval for First Financial Credit Union
XXXX San Mateo N.E., [H18 / D064]
Architect's Stamp Dated None

Dear Mr. Bennett:

The location referenced above, dated Feb. 19, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached PRELIMINARY TCL checklist, and red-lined TCL markup with comments.

Clarification is needed regarding conflicting information between the Drainage and Transportation Information Sheet and the TCL. Two phases are shown on the TCL and only one phase--*THE SECOND PHASE*—is being issued for approval. How is the second phase to be constructed before the first phase? Separate comments and completed checklists have been made for each phase and the timeframe for both is needed.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely,

Mike Zamora, Commercial Plan Checker
Development and Building Services
Public Works Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

H-18/D64

PROJECT TITLE: 1ST Financial Credit Union
 DRB #: _____ EPC#: _____ ZONE MAP/DRG. FILE #: H-18/D-
 WORK ORDER#: _____

LEGAL DESCRIPTION: LOT 1 Miramontes Park Subdivision, Unit 1
 CITY ADDRESS: _____

ENGINEERING FIRM: FRANK D LOVECLADY
 ADDRESS: 300 ALAMOSA NW
 CITY, STATE: ALBUQUERQUE NM

CONTACT: FRANK LOVECLADY
 PHONE: 345-2267
 ZIP CODE: 87107

OWNER: 1ST Financial Credit Union
 ADDRESS: 1118 PARK AVE SW
 CITY, STATE: ALBUQUERQUE NM 87102

CONTACT: Rick Bennett
 PHONE: 242-1859
 ZIP CODE: 87102

ARCHITECT: Rick Bennett
 ADDRESS: 1118 PARK AVE SW
 CITY, STATE: ALBUQUERQUE NM

CONTACT: Rick Bennett
 PHONE: 242-1859
 ZIP CODE: 87102

SURVEYOR: Harris Surveying Co
 ADDRESS: 2412 Monroe NE
 CITY, STATE: ALBUQUERQUE NM 87111

CONTACT: Tom Harris
 PHONE: 889-8056
 ZIP CODE: 87110

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

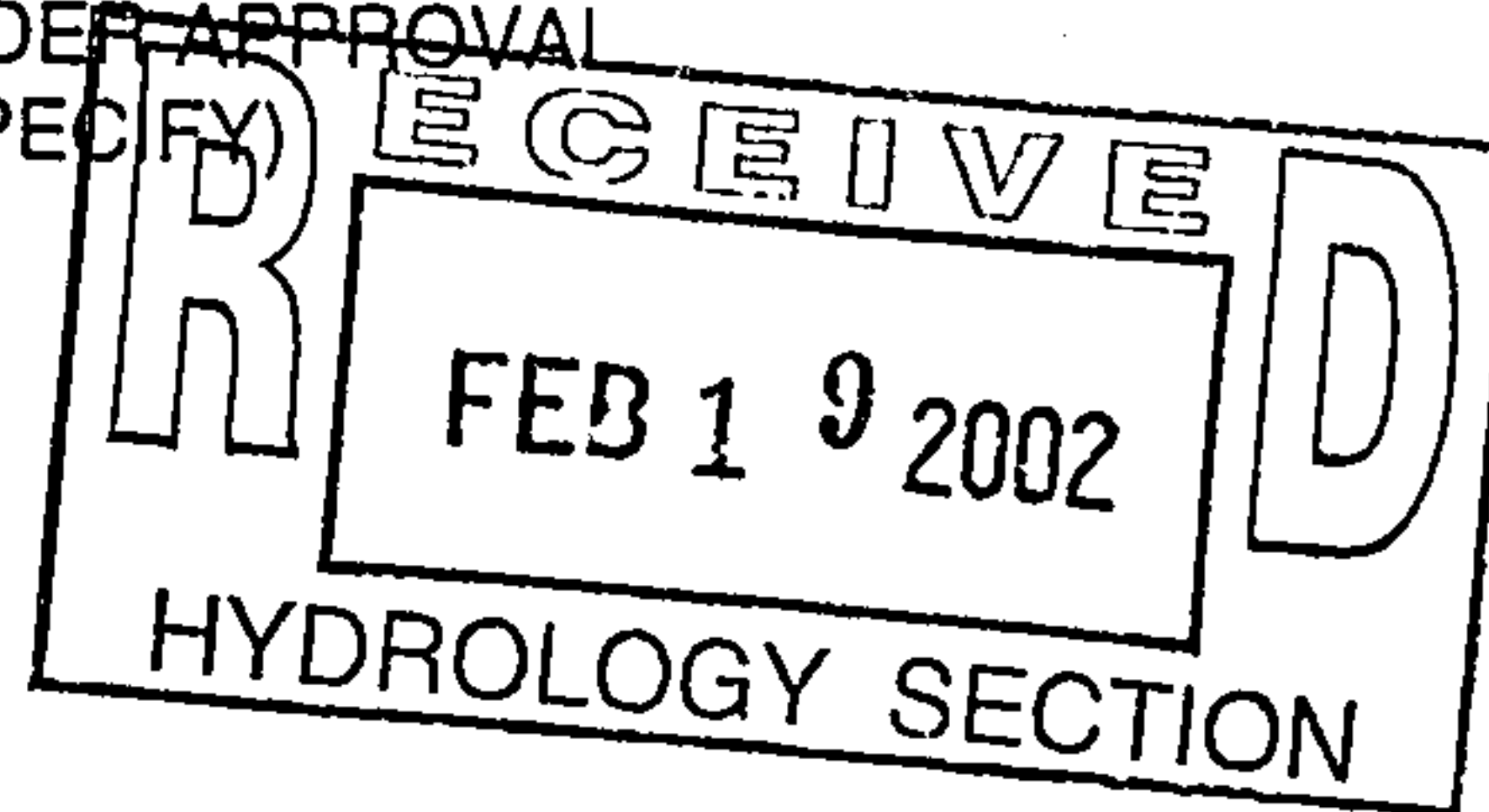
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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- ☐ EROSION CONTROL PLAN
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- ☒ TRAFFIC CIRCULATION LAYOUT (TCL) (2 EA)
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- ☐ OTHER

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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 02/19/02 BY: Frank D. Loveclady

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more

3/1/02 - Diss'd T.C.L.; 3/1/01 - Cd Arch.; ✓ - Logged in

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

- ☒ A. Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ☒ B. Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- C. Description:
 - ☒ 1. Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - ☒ 2. Address and legal description or copy of current plat
 - ☒ 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - ☒ 4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - ☒ 5. Size of development
 - ☒ 6. Parking spaces required by Zoning Code or prior EPC approved Site Development Plan *Number of stalls for each phase*
 - ☒ 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - ☒ a. General project location
 - ☒ b. Development concept for the site *Planning on this permit - Both phases at time frame*
 - ☒ c. Traffic circulation concept for the site
 - ☒ d. Impact on the adjacent sites
 - ☒ e. Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - ☒ f. Variance required to accommodate unusual site constraints

✓ ITEM IS ACCEPTABLE

② ITEM NEEDS COMPLETION

3. N/A

4. ITEM IN THE SUBSECTION NEEDS COMPLETION OR THE DESIGNER MUST CONSIDER THE ITEM.

First Financial Credit Union - San Mateo ME. [Phase I]

11/18/01/064

II. Plan Drawings:

- A. Professional Architect's/Engineer's stamp with signature and date
- B. Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)
1. North Arrow
 2. Scales-recommended engineer scales:
 - a. 1" = 20' for sites less than 5 acres
 - b. 1" = 50' for sites 5 acres or more
 3. Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols
 4. Plan drawings size: 24" x 36"
 5. Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, ^{NEW & EX} pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity
- C. Existing Conditions:
1. On-site
 - a. Identification of all existing buildings, doors, structures, sidewalks, curbs, driveways, walls, etc., and anything that influences parking and circulation of the site, ^{parking stalls}
 - b. Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 2. Off-site
 - a. Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street) including driveways ^{← swks}
- D. ^{NEW} Proposed Conditions: ^{NEW} Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.
1. On-site
 - a. Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown
 - b. Slopes
 - (1) Parking areas 1% min to 8% max
 - (2) Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max
 - (3) ~~Handicap parking 1% min to 2% max~~
 - (4) Handicap ramps with slope of 1:12 must be provided ⁱⁿ the sidewalk area where curbs intersect the pedestrian access to the building
 - c. Clearly delineate project phasing. A key map is recommended. ^{time frame}
 - d. Parking stall sizes: (Reference City Standards, DPM, Figure 23.7.1) ^{same perm} New & EX

e.

Circulation:

- (1) General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
- ~~(2)~~ Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- (3) Internal aisle connection:
 - ~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
 - ~~(c)~~ Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- ~~(4)~~ Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- ~~(5)~~ Sidewalk connections:
 - ~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development~~
 - ~~(b)~~ Provide a min 5' wide sidewalk when the stall will overhang the sidewalk
 - ~~(c)~~ Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles
- (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- ~~(8)~~ Service Areas:
 - ~~(a)~~ Circulation:
 - 1) Design vehicle route needs to be shown
 - 2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
 - ~~(b)~~ No backing into or from public street allowed
 - ~~(c)~~ Service vehicle and/or refuse vehicle maneuvering must be contained on-site
 - ~~(d)~~ Aisle width required:
 - 1) Two-way traffic is 30'
 - 2) One-way traffic is 20'

- (9) Layout of large parking area: (400 spaces or more)
- (a) Main aisles should provide good pedestrian and vehicle visibility and access
- 1) Parking spaces shall not back into the main aisle
 - 2) Provide good pedestrian/vehicle visibility at main aisle
 - 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages
- (b) Ring roads or partial ring roads are required for shopping centers larger than 250,000 square feet of building area
- 1) Widths shall be determined based on traffic volumes
 - 2) Centers of 500,000 square feet may require turning lanes or additional lanes to accommodate projected traffic volumes

(10) Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility

- E. Access point lanes and queuing: (See Table 23.7.1)
- F. Drive through facilities-Discuss compliance with Chapter 23, Section 7
1. Off-site
 - a. Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development
 - b. Handicap ramps are required at street corners if site abuts the corners
- CORNERS

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST

REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

- ✓ Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
- ~~B.~~ Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
- C. Description:
 - ① Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number
 - ② Address and legal description or copy of current plat
 - 3. All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified
 - ✓ Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)
 - ~~5.~~ Size of development
 - ⑥ Parking spaces required by Zoning Code or prior EPC approved Site Development Plan *Need parking cars.*
 - 7. Executive Summary-Provide a brief yet comprehensive discussion of the following:
 - ① General project location
 - ② Development concept for the site
 - ~~c.~~ Traffic circulation concept for the site
 - ~~d.~~ Impact on the adjacent sites
 - ~~e.~~ Reference any applicable Traffic Impact Studies (TIS) or previously approved plans
 - f. Variance required to accommodate unusual site constraints

- ✓ Item is acceptable
- ② Item Needs Completion
- ~~3.~~ N/A

4. Item in the Subsection Needs Completion or Designer Should be Aware of This Item.

First Financial Credit Union ... San Mateo ME [PHASE II] H18/D064

II. Plan Drawings:

A.
B.

Professional Architect's/Engineer's stamp with signature and date
Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)

✓
✓

North Arrow

Scales-recommended engineer scales:

a. 1" = 20' for sites less than 5 acres

b. 1" = 50' for sites 5 acres or more

✓

Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols

✓
5.

Plan drawings size: 24" x 36"

Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity

C.

Existing Conditions:

1. On-site

a.

Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site, *parking stalls*

~~b.~~

Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown

2. Off-site

a.

Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street) *(including Drivepads & Swales)*

D.

NEW
~~Proposed~~ Conditions: ~~Proposed~~ conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances.

~~1.~~ On-site

~~a.~~

Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown

~~b.~~

Slopes

~~(1)~~ Parking areas 1% min to 8% max

~~(2)~~ Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max

~~(3)~~ Handicap parking 1% min to 2% max

~~(4)~~ Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building

(c.)

(d.)

Clearly delineate project phasing. A key map is recommended. *time frame*,
Parking stall sizes: (Reference City Standards, DPM, Figure *same permit* 23.7.1)

e.

Circulation:

- ~~(1)~~ General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas
- ~~(2)~~ Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6
- (3) Internal aisle connection:
 - ~~(a)~~ Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking
 - (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2)
 - ~~(c)~~ Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2)
- (4) Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles
- ~~(5)~~ Sidewalk connections:
 - ~~(a)~~ ~~Provide a 4' sidewalk from the public sidewalk to the buildings within the development.~~
 - (b) Provide a min 5' wide sidewalk when the stall will overhang the sidewalk
 - (c) Clear pedestrian route accessible should be provided when the parking space may overhang the sidewalk
- (6) Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles - DPM. Ch. 23, Sect 7.8.6.
- (7) Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division
- ~~(8)~~ Service Areas:
 - ~~(a)~~ Circulation:
 - 1) Design vehicle route needs to be shown
 - 2) No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle
 - (b) No backing into or from public street allowed
 - (c) Service vehicle and/or refuse vehicle maneuvering must be contained on-site
 - (d) Aisle width required:
 - 1) Two-way traffic is 30'
 - 2) One-way traffic is 20'