

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 16, 2003

Frank D. Lovelady P.E. 300 Alamosa Road NW Albuquerque, NM 87107

Re: First Financial Credit Union, 2700 San Mateo Blvd. NE, Certificate of

Occupancy

Engineer's Stamp dated 8-19-03 (H18/D64)

Certification dated 1-14-04

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 1-15-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept. Development and Building Services

C: Phyllis Villanueva file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET:

(REV. 1/28/2003rd)

| PROJECT TITLE: FIRST FINANCIAL CREDIT UNIONY ZON DRB#:EPC#: WOF | E MAP/DRG. FILE #: |
|---|--|
| LEGAL DESCRIPTION: LOT I MIRAMOHTES PARIS | UNIT |
| ENGINEERING FIRM: FRANK D. LOVE LAWY PE ADDRESS: 300 ALAMUSA ROAD NU CITY, STATE: ALBOQUER QUE NIM 87107 | CONTACT: FRANK D. LOVELADY PHONE: 345-2267 ZIP CODE: 87107 |
| OWNER: FIRST FIHAHCIAL CREDIT DAIG ADDRESS: //OU PARKAVE FIND CITY, STATE: ALIS DO VERDVE HM | NY CONTACT: <u>RICK BENHETT</u> PHONE: <u>242-1859</u> ZIP CODE: <u>87102</u> |
| ARCHITECT: PICK BENKETT ADDRESS: 1106 PARK AVE 540 CITY, STATE: ALBUCIVERBUE 1414 8 | CONTACT: RICK BEKNETT PHONE: ZIP CODE: Z7162 |
| SURVEYOR: HARRIS SURVEYING COR ADDRESS 3-412 MONROF HE CITY, STATE: 4-LBUQ VERDUE HIM | CONTACT: TONY HARRIS PHONE: BB9-8056 ZIP CODE: 97110 |
| CONTRACTOR: BRUGH DEVELOPMENT ADDRESS: 1108 PARK AVE SUC CITY, STATE: ALBUQUEROVE 14 M | CONTACT: ///2 VIGIC PHONE: 2.42-1.859 ZIP CODE: 8.7102 |
| CHECK TYPE OF SUBMITTAL: | K TYPE OF APPROVAL SOUGHT: |
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| WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED WAS A PRE-DESIGN CONFERENCE ATTENDED: YES COPY PROVIDED | |
| DATE SUBMITTED: 01/15/04 BY: Trans | HYDROLOGY SECTION Plate shall be accompanied by a drainage |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

 APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department Transportation Development Services Section

January 8, 2004

Rick P. Bennet, Registered Architect 1104 Park Avenue SW Albuquerque, NM 87102

Re:

Certification Submittal for Final Building Certificate of Occupancy for

First Financial Credit Uniion, [H-18 / D64]

2700 San Mateo NE

Architect's Stamp Dated 01/08/04

Dear Mr. Bennet:

The TCL / Letter of Certification submitted on January 8, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Singerely,

Nilo E. Salgade-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

Engineer Hydrology file CO Clerk



January 8, 2004

Traffic Engineer
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

Dear Sir,

I hereby provide Certification that the First Financial Credit Union project at 2700 San Mateo Blvd. NE, has been built in substantial compliance with the approved Traffic Circulation Layout Plan, dated 7/31/03.

OFNEW

Sincerely,

Rick Bennett, architect

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

H-18/064

| | FIRST FINANCIAL CREDIT UNION | |
|--|---|---|
| | • | |
| CITY ADDRESS: | ON: LOT 1 MIRAMONTES PAR 2700 SAN HATED BLVD. NE | E , UNIT I |
| | | · · · · · · · · · · · · · · · · · · · |
| ADDRESS | <u>M</u> : | CONTACT: |
| CITY, STA | | PHONE: ZIP CODE: |
| | | |
| OWNEH: ADDRESS | TINANCIAL CREDIT UNION - 601 TIJERRE, NW | CONTACT: PANCY AKIN |
| | TE: ACB. NH | PHONE: 766.5600 ZIP CODE: 87102 |
| ADCUITECT. 17 | CK BENNETT ARCHITECTS | |
| ADDRESS | | |
| | TE: ALB. NH | PHONE: Z4Z-1859 ZIP CODE: |
| | | |
| SURVEYOR: ADDRESS | | CONTACT: |
| CITY, STA | | PHONE: ZIP CODE: |
| · | | |
| CONTRACTOR: ADDRESS: | | CONTACT: DAN UN CHIMBUT! |
| CITY, STA | | PHONE: 857-0050 ZIP CODE: 87190 |
| GRADING EROSION OF ENGINEER CLOMR/LC TRAFFIC CO ENGINEER | REPORT PLAN JAL GRADING & DRAINAGE PLAN PLAN CONTROL PLAN I'S CERTIFICATION (HYDROLOGY) | CHECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) |
| WAS A PRE-DESIGNATION OF THE PROPERTY OF THE P | | JAN 0 8 2004 HYDROLOGY SECTION |
| DATE SUBMITTED:_ | 1-08-2004 BY: | FATRICK WHELAN |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
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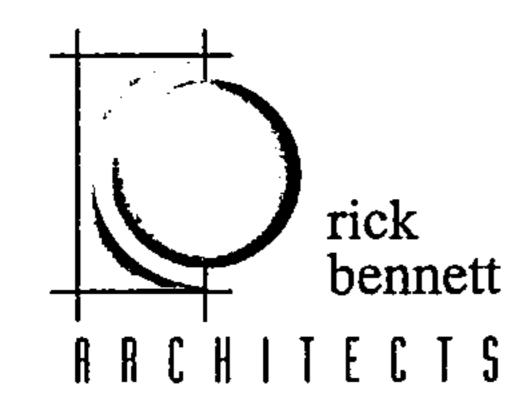
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correct Celter for 10/27/03 approved date from 10/27/03

July 31, 03

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2:40pm



January 8, 2004

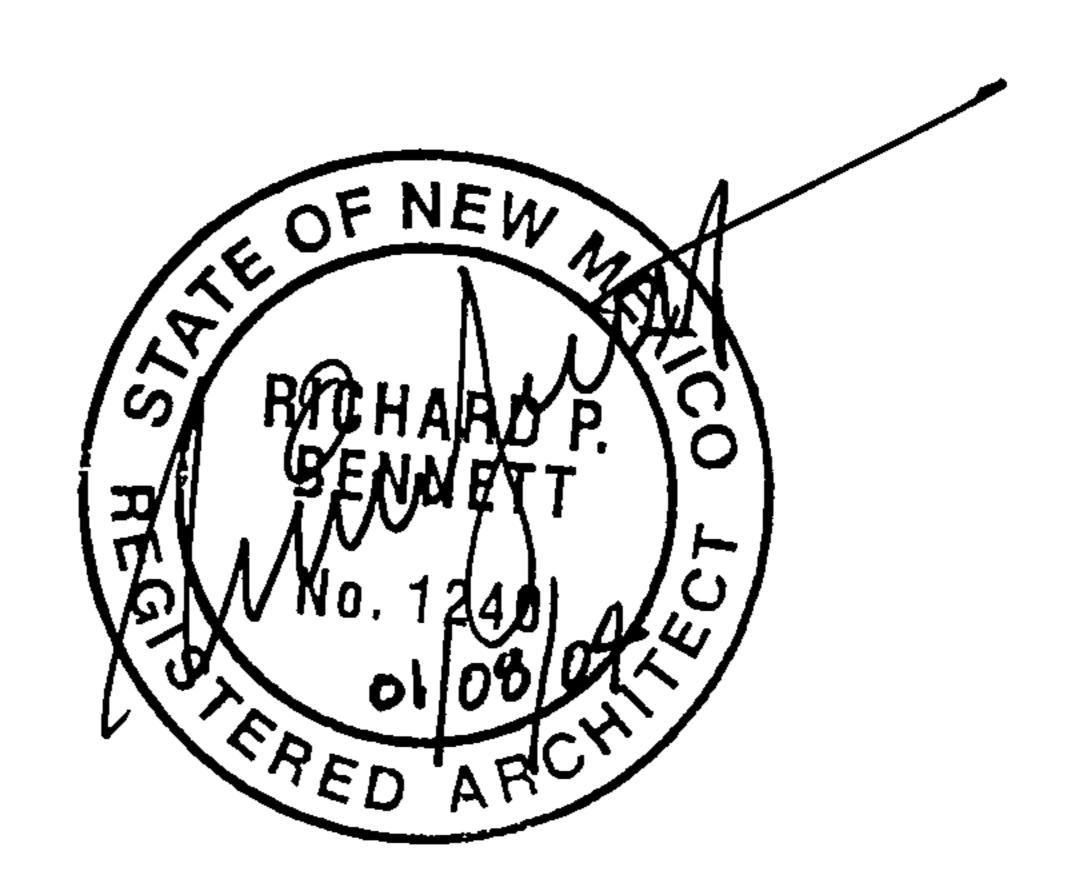
Traffic Engineer
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87102

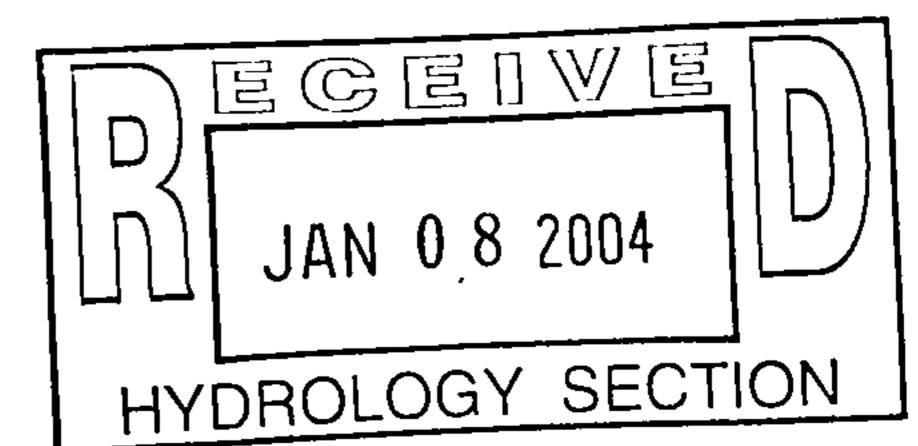
Dear Sir,

I hereby provide Certification that the First Financial Credit Union project at 2700 San Mateo Blvd. NE, has been built in substantial compliance with the approved Traffic Circulation Layout Plan, dated 10/27/03.

Sincerely,

Rick Bennett, architect







City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department Transportation Development Services Section

July 31, 2003

Rick Bennett, RA Rick Bennett Architects 1104 Park Ave. SW Albuquerque, NM 87102

Re:

Traffic Circulation Layout (TCL) Submittal for Building Permit Approval for

First Financial Credit Union [H-18/D64]

Architect's Stamp Dated 4-25-03

Dear Mr. Bennett:

The TCL submittal dated July 24, 2003 is approved, stamped and signed as such. Two copies will be required: one for each of the building permit plans and the original to be kept by you to be used for certification of the site for final C.O. for Transportation.

If a temporary CO is needed then a copy of the original TCL that was stamped as approved by the City which includes a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance". This statement requires a NM registered architect or engineer stamp to be dated. Submit this TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer needs stamp and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed <u>Drainage and Transportation Information Sheet</u> to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely, Buds L. Bohn

Bradley L. Bingham, PE Sr. Engineer, Planning Dept.

Development and Building Services

cc:

Hydrology file

file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

| PROJECT TITLE: FREST FINANGAL CREDIT UNION | 7015 111 50 |
|---|---|
| DRB #: EPC#: | |
| | WORK ORDER#: |
| LEGAL DESCRIPTION: LOT MIRAMONTES PAI CITY ADDRESS: | 2K, UNIT I SUBPIVISION |
| ENGINEERING FIRM: | |
| ADDRESS: | CONTACT: |
| CITY, STATE: | PHONE: ZIP CODE: |
| | |
| OWNER: FIRST FINANCIAL CREOT UNION | CONTACT: RANDY AKINI |
| ADDRESS: GOL TIJEZIS NW | CONTACT: PANDY A KIN PHONE: 166-5600 |
| CITY, STATE: AUS. WH | ZIP CODE: 87/02 |
| ARCHITECT: RICK BENNETT ARCHITECTS | OOMTOOT DAWS |
| ADDRESS: 1104 PARK AVE SW | CONTACT: PATRICK WHELLAN |
| CITY, STATE: ALB., NH | PHONE: 242-1859 ZIP CODE: 87102 |
| | |
| SURVEYOR: | CONTACT: |
| ADDRESSCITY, STATE: | PHONE: |
| OILL, OIMIE. | ZIP CODE: |
| CONTRACTOR: ENTERPRISE BUILDERS | CONTACT: MEALL MICH |
| ADDRESS: P.O. BOX 3987 | CONTACT: VIGIL. PHONE: 857-0050 |
| CITY, STATE: A-LIS, NH | ZIP CODE: 37190 |
| CHECK TYPE OF SUBMITTAL: DRAINAGE REPORT DRAINAGE PLAN CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDROLOGY) CLOMR/LOMR X TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEERS CERTIFICATION (TCL) ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) OTHER | CHECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL OTHER (SPECIFY) |
| WAS A PRE-DESIGN CONFERENCE ATTENDED: YESX NO COPY PROVIDED | D 国 区 国 D D D D D D D D D D D D D D D D |
| DATE SUBMITTED: 42403 BY: | PATRICK WHELAN |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five
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City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 12, 2003

Frank D. Lovelady P.E. 300 Alamosa Road NW Albuquerque, NM 87107

Re: First Financial Credit Union, 2700 San Mateo Blvd. NE, Certificate of Occupancy

Engineer's Stamp dated 8-19-03 (H18/D64)

Certification dated 1-09-04

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 1-09-04, the above referenced certification cannot be approved until the following comments are addressed:

- 1. The Engineer's certification must be stamped, signed, and dated.
- 2. The Engineer's stamp must be signed.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept. Development and Building Services

C: file

H-18/064

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

| PROJECT TITLE: FIRST FINANCIAL CREDIT UNIONY ZONE DRB #: EPC#: WORK | MAP/DRG. FILE #: |
|---|--|
| LEGAL DESCRIPTION: LOT / MIRAMOHTES PARIS CITY ADDRESS: | UNITI |
| ENGINEERING FIRM: FRANK D. LAUELANY PE ADDRESS: BUO ALAMUSA ROAD NIU CITY, STATE: ALBUQUER QUE NUM 87107 | CONTACT: FRANK D. LOJEUNDY PHONE: 345-2267 ZIP CODE: 87167 |
| OWNER: FIRST FIHAHCIAL CREDIT BALON ADDRESS: 1104 PARKAVE \$7.W CITY, STATE: A-13 DOVERDVE 14-M | + CONTACT: <u>RICK BENHETT</u> PHONE: <u>242-1859</u> ZIP CODE: <u>87/02</u> |
| ARCHITECT: PICK SENNETT ADDRESS: 1106 PARK AVE 540 CITY, STATE: ALBUQUERBUE 1414 8 | CONTACT: RICK BENNETT PHONE: 27162 |
| SURVEYOR: HARRIS SURVEYING COR ADDRESS 3.412 MOHROF HE CITY, STATE: 41800 DERWIT HIM | CONTACT: TONY HARRIS PHONE: 689-8056 ZIP CODE: 97110 |
| CONTRACTOR: BRUGH DEVELOPMENT ADDRESS: 1108 PARK AVE SUZ CITY, STATE: ALBUQUEADVE IXW | CONTACT: MR UIGIC PHONE: 2.42-1859 ZIP CODE: 87102 |
| CHECK TYPE OF SUBMITTAL: | TYPE OF APPROVAL SOUGHT: |
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| WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED | HYDROLOGY SECTION |
| Stamp date 8/19/03 DATE SUBMITTED: 01/09/04 BY: Jeans | Le Forlowy |

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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 APPROVED BY THE TECHNICAL SUBCOMMITTEE ON 5/15/02 w/DP Exec. Committee revisions of June 5, 2002, July 10, 2002



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 29, 2003

Frank D. Lovelady P.E. 300 Alamosa Road NW Albuquerque, NM 87107

Re: First Financial Credit Union, 2700 San Mateo Blvd. NE, Certificate of

Occupancy (H18/D64)

Certification dated 12-15-03

Dear Mr. Lovelady,

Based upon the information provided in your submittal received 12-23-03, the above referenced certification cannot be approved until the following comments are addressed:

- 1. The Engineer's stamp is not signed.
- 2. Certification must be submitted by the Engineer of record.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro Engineering Associate, Planning Dept.

Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET CERTIFICATION (REV. 1/11/2002) CERTIFICATION (REV. 1/11/2002) DONE BY SURVEYOR - NEED FROMENGINER ZONE MAP/DRG. FILE #: H-18/D64 PROJECT TITLE: FIRST FINANCIAL CESSIT UNION WORK ORDER#: DRB #: ______ LEGAL DESCRIPTION: LOT | MIRAHONTES PARK UNIT I SUBDIVISION CITY ADDRESS: 2700 SAN MATEO BLUD. NE ENGINEERING FIRM: FRANK LOVELADY P.E. 345-2267 300 ALAMOSA RO. NW ADDRESS:____ PHONE: _ CITY, STATE: AUS., NM ZIP CODE: FIRST FINANCIAL CREDIT UNION CONTACT: PANDY AKIN OWNER: 766-5600 ×9425 GOI TIJERAS NU PHONE: ADDRESS:__ AUB., NM ZIP CODE: 87175 CITY, STATE:____ CONTACT: PATRICK WHELAN RICK BENNETT ARCHITECTS ARCHITECT: Z4Z-1859 1104 PARK AVE. SW PHONE:___ ADDRESS: ALB. NH ZIP CODE: 27 102 CITY, STATE:____ MICHAEL SHOOK CONTACT: MICHAEL SHOOK SURVEYOR: 896-1716 ADDRESS_ PHONE:___ CITY, STATE:_ ZIP CODE:_ CONTACT: DAMMAN CHIMENTI ENTERPRISE BUILDERS CONTRACTOR:_ PHONE: 857-0050 ADDRESS: P.O. Box 3A87 87190 CITY, STATE: -AUG. NH ZIP CODE:___ CHECK TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL SOUGHT: SIA / FINANCIAL GUARANTEE RELEASE DRAINAGE REPORT ____ PRELIMINARY PLAT APPROVAL DRAINAGE PLAN S. DEV. PLAN FOR SUB'D. APPROVAL CONCEPTUAL GRADING & DRAINAGE PLAN **GRADING PLAN** S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL **EROSION CONTROL PLAN** FINAL PLAT APPROVAL ENGINEER'S CERTIFICATION (HYDROLOGY) FOUNDATION PERMIT APPROVAL CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) **ENGINEERS CERTIFICATION (TCL)** CERTIFICATE OF OCCUPANCY (TEMP.) ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) GRADING PERMIT APPROVAL OTHER PAVING PERMIT APPROVAL WORK ORDER APPROVAL Engineer Stampo - 81 OTHER (SPECIFY) ORIGINAL STAMP [国C][国] WAS A PRE-DESIGN CONFERENCE ATTENDED: NOT SIGNED YES DEC 23 2003 Verball

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

-> Spoke with Lovelady, will

COPY PROVIDED

DATE SUBMITTED:

12-23-03

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five

M: Centification

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)

OWNERS PATRICK WHELAN

HYDROLOGY SECTION

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or mie.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

September 10, 2003

Frank D. Lovelady P.E. 300 Alamosa Road NW Albuquerque, NM 87107

Re: First Financial Credit Union, Grading and Drainage Plan

Engineer's Stamp dated 8-19-03 (H18/D64)

Dear Mr. Lovelady,

Based upon the information provided in your resubmittal dated [4.21-09], the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept.

Development and Building Services

BUB

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

| PROJECT TITLE: FIRST FINANCIAL CREDIT UNION EPC#: | X ZONE MAP/DRG. FILE #: H-18/D64 WORK ORDER#: |
|--|---|
| LEGAL DESCRIPTION: LOT / MIRAMOHTES F CITY ADDRESS: 2700 San Mateo Blue | |
| ENGINEERING FIRM: FRANK D. LOVELADY F ADDRESS: 300 ALAMUSA ROAD NU CITY, STATE: ALBOQUER QUE NM 8 | CONTACT: FRAIL D. LOVELAD |
| OWNER: FIRST FIHAHOIAL CREDI ADDRESS: 1100 PARKAUE FIND CITY, STATE: ACIS DO VERDUE AM | |
| ARCHITECT: Près BEHRETT ADDRESS: 1106 PARK AVE 500 | CONTACT: RICK BEKNETT PHONE: |
| SURVEYOR: HARRIS SURVEYING O ADDRESS . 3412 MONZOF HE | PHONE: 887-8056 |
| CITY, STATE: ALBUQ DEPOUS HAR CONTRACTOR: BROWN DEVELOPME ADDRESS: 1108 PORK AVE SUC | —————————————————————————————————————— |
| CHECK TYPE OF SUBMITTAL: | |
| DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL, REQUIRES TCL or equal DRAINAGE PLAN RESUBMITTAL CONCEPTUAL GRADING & DRAINAGE PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERTIFICATION (HYDROLOGY) CLOMR/LOMR TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEERS CERTIFICATION (TCL) ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN) OTHER | SIA / FINANCIAL GUARANTEE RELEASE PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D. APPROVAL S. DEV. PLAN FOR BLDG. PERMIT APPROVAL SECTOR PLAN APPROVAL FINAL PLAT APPROVAL FOUNDATION PERMIT APPROVAL BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY (PERM.) CERTIFICATE OF OCCUPANCY (TEMP.) GRADING PERMIT APPROVAL PAVING PERMIT APPROVAL WORK ORDER APPROVAL |
| WAS A PRE-DESIGN CONFERENCE ATTENDED: YES NO COPY PROVIDED HYDROLOGY SECTOR AUGUST August August August August August August August MANA A PRE-DESIGN CONFERENCE ATTENDED: HYDROLOGY SECTOR August MANA AUG 2 1 2003 August Aug | OTHER (SPECIFY) |
| Requests for approvals of Site Development Plans and/or Subsubmittal. The particular nature, location and scope of the propose One or more of the following levels of submittal may be required by 1. Conceptual Grading and Drainage Plan: Required for (5) acres and Sector Plans. 2. Drainage Plans: Required for building permits, grading (5) acres. | sed development defines the degree of drainage detail. ased on the following: approval of Site Development Plans greater than five permits, paving permits and site plans less than five |
| Drainage Report: Required for subdivisions containing in | more than ten (10) lots or constituting five (5) acres or |

more.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 21, 2003

Frank Lovelady, PE 300 Alamosa NW Albuquerque, NM 87107

Re: First Financial Credit Union Grading and Drainage Plan Engineer's Stamp dated 3-19-03 (H18/D64)

Dear Mr. Lovelady,

Based upon the information provided in your submittal dated 3-26-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

• It appears that the building encroaches in the 30' access easement. Please provide written permission from all users to allow this.

If you have any questions, you can contact me at 924-3986.

Sincerely,
Bush. Dyh.

Bradley L. Bingham, PE

Sr. Engineer, Planning Dept.

Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

| PROJECT TITLE: | FIRST FINAHCIAL CREDIT UNION | ZONE MAP/DRG. FILE #: 1418/12004 |
|--|---|--|
| DRB #: | | WORK ORDER#: |
| LEGAL DESCRIPTION: CITY ADDRESS: | LOT I MIRAMUNTES PARK | <u> </u> |
| ENGINEERING FIRM:ADDRESS:CITY, STATE:_ | FRANK D. LOUGLANU PE 300 ALAMOSA NW ALB INM | CONTACT: FRANK LOVELABY PHONE: 345-2267 ZIP CODE: 937107 |
| OWNER:ADDRESS: CITY, STATE: | FIRST FINAHCIAL CREDITU 1804 PARY AVE SW ALR NW | NION CONTACT: RICK BENHETT PHONE: Z4Z-1859 ZIP CODE: 27107 |
| ARCHITECT:ADDRESS:CITY, STATE:_ | RICK BEHNETT 1804 PARK AVE SW ALB HM | CONTACT: RICK BENHETT PHONE: 242-1859 ZIP CODE: 87102 |
| SURVEYOR:ADDRESSCITY, STATE:_ | HARRIS SURVEYING CO.IN 2512 MONROFNE ALB NU | CONTACT: TONY HARRIS PHONE: B89-8056 "ZIP CODE: 87(10) |
| CONTRACTOR:ADDRESS:CITY, STATE:_ | | CONTACT:PHONE:ZIP CODE: |
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
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- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

Telephone (505)345-2267 Fax(505)345-2115

TO:

CITY OF ALBUQUERQUE HYDROLOGY

FROM:

FRANK LOVELADY, PE

SUBJECT:

GRADING AND DRAINAGE PLAN FOR FIRST FINANCIAL

CREDIT UNION AT SAN MATEO AND PHOENIX (H18/D064).

DATE:

March 26, 2003

Attached is the grading and drainage plan for the referenced project. The previous submittal was submitted in two phases. It is now proposed to construct both phases as a single project. The Phase Two grading and drainage plan has been revised to reflect this change.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Frank D. Lovelady, P.E.



City of Albuquerque P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 21, 2003

Rick Bennett, RA 1804 Park Ave SW Albuquerque, NM 87102

Re: First Financial Credit Union Site Plan (Traffic Circulation Layout)

Architect's Stamp not dated (H18/D64)

Dear Mr. Bennett,

Based upon the information provided in your submittal dated 3-26-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed.

- New driveways (off Phoenix) must adhere to ADA accessibility requirements. Additional sidewalk will be required in order to provide a 3' path with allowable cross-slope.
- Please add radii dimensions to all curbs to be constructed.

With the resubmittal and all future submittals as well, please date your signature in order to better reference your plan. If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE

Sr. Engineer, Planning Dept.

Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 1/28/2003rd)

| PROJECT TITLE: | FIRST FINANCIAL CREDIT UNION | ZONE MAP/DRG. FILE #: 148/DOGH |
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| DRB #: | | WORK ORDER#: |
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| CITY ADDRESS: | · / / / / / / / / / / / / / / / / / / / | |
| | | |
| ENGINEERING FIRM: ADDRESS: | | CONTACT: FRANK LOVELABY PHONE: 345-2267 |
| | ALB INM | ZIP CODE: 437/07 |
| • • • • • • • • • • • • • • • • • • • | | O(a) = 2a + 1b + 7a |
| OWNER:ADDRESS: | FIRST FINAHCIAL CREDITU 1804 PARY AVE SW | |
| CITY, STATE | · | ZIP CODE: 27/07 |
| | Ω to Ω and Ω to Δ | CONTACT: RICK BENNETT |
| ARCHITECT:ADDRESS: | PICK BEHHETT 1804 PARK AVE SW | CONTACT: CICK BENHETT PHONE: 242-1859 |
| CITY, STATE: | | ZIP CODE: 87/02 |
| | | |
| SURVEYOR:ADDRESS | HARRIS SURVEYING CO.IN 2512 MONBOENE | CONTACT: TONY HARRIS PHONE: B89-8056 |
| CITY, STATE: | | "ZIP CODE: |
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| CONTRACTOR:ADDRESS: | | CONTACT:PHONE: |
| CITY, STATE: | | ZIP CODE: |
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1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.

more of the following levels of submittal may be required based on the following:

2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.

3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

Telephone (505)345-2267 Fax(505)345-2115

TO:

CITY OF ALBUQUERQUE HYDROLOGY

FROM:

FRANK LOVELADY, PE

SUBJECT:

GRADING AND DRAINAGE PLAN FOR FIRST FINANCIAL

CREDIT UNION AT SAN MATEO AND PHOENIX (H18/D064).

DATE:

March 26, 2003

Attached is the grading and drainage plan for the referenced project. The previous submittal was submitted in two phases. It is now proposed to construct both phases as a single project. The Phase Two grading and drainage plan has been revised to reflect this change.

If you have any questions, please do not hesitate to contact me.

Sincerely,

Frank D. Lovelady, P.E.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 25, 200X

Frank Lovelady, P.E. 300 Alamosa NW Albuquerque New Mexico 87107

RE: Grading and Drainage Plan for First Financial Credit Union Phase One (H18-D64)
Dated February 19, 2002

Dear Mr. Lovelady:

The above referenced drainage plan received February 19, 2002 is approved for building permit.

The plan is also approved for an SO #19 permit for construction within the city right-of-way.

Engineer's Certification for completion of final site grading and drainage per the plan, and sign-off by the City's field inspector for the SO #19, is required for Hydrology final approval and Certificate of Occupancy.

If you have any questions please call me at 924-3982.

Sincerely,

Carlos A. Montoya

City Floodplain Administrator

C: Matt Cline, w/attached plan Pam Lujan, Excavation Permits

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV. 1/11/2002)

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| PROJECT TITLE: Phase DNE | 15 / C |
| | ZONE MAP/DRG. FILE #: |
| | WORK ORDER#: |
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| CITY ADDRESS: | |
| ENGINEERING FIRM: FRANK D. LOVELABY PE | $\mathcal{L}_{\mathcal{P}} = \mathcal{L}_{\mathcal{P}} = $ |
| ADDRESS: ZAS ALAS CARALLOS | _ CONTACT: FRANK LODE LAPY _ PHONE: 345-2267 |
| CITY, STATE: ALBOUFREDUE HM | ZIP CODE: 87/07 |
| | |
| ADDRESS: 1118 Find 115 State (1001 TUN) | CONTACT: Rich Bennett |
| CITY, STATE: ALBUQUERO UE MM | |
| ADCUITECT | |
| ARCHITECT: Pale Pale 10 AND HOLLIFO C | CONTACT: Kick Bennett |
| ADDRESS: III B PARIC AUF SUS CITY, STATE: ALBUQUE DUE NIM SE | PHONE: 242 1655 |
| | _ ZIP CODE: <u>8 7 / 2</u> |
| SURVEYOR: #ARRIS SURVEORNS CO | CONTACT: TONY HARKS |
| ADDRESS | _ PHONE: |
| CITY, STATE: ALBUQUERQUE AM | |
| CONTRACTOR: | CONTACT: |
| ADDRESS: | PHONE: |
| CITY, STATE: | ZIP CODE: |
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Public Works Department Transportation Development Services Section

March 1, 2002

Rick Bennett, Reg. Architect Rick Bennett Architect 1118 Park Ave. S.W. Albuquerque, NM 87102

Re:

TCL Submittal for Building Permit Approval for First Financial Credit Union

XXXX San Mateo N.E., [H18 / D064]

Architect's Stamp Dated None

Dear Mr. Bennett:

The location referenced above, dated Feb. 19, 2002, is not acceptable and requires modification to the Traffic Circulation Layout (TCL) prior to Building Permit release as stated on the attached <u>PRELIMINARY</u> TCL checklist, and red-lined TCL markup with comments.

Clarification is needed regarding conflicting information between the Drainage and Transportation Information Sheet and the TCL. Two phases are shown on the TCL and only one phase--THE SECOND PHASE—is being issued for approval. How is the second phase to be constructed before the first phase? Separate comments and completed checklists have been made for each phase and the timeframe for both is needed.

Please resubmit revised TCL after addressing typed and marked up comments. Submit plan along with checklist and all current and past red-lined, mark-up copies.

Sincerely,

Mike Zamora, Commercial Plan Checker Development and Building Services

Public Works Department

c: Engineer
Hydrology file
Mike Zamora

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/11/2002)

| | (H181069) |
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| PROJECT TITLE: Phase Tule | ZONE MADODO EUE " (/- 10) |
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| LEGAL DESCRIPTION: LOT 1 MICZNONTES Par CITY ADDRESS: | E Subdivision, Doit |
| ENGINEERING FIRM: FRANK DLOVECANY | |
| ADDRESS: SOS ALAMOSA KILL | CONTACT: FZANC LOVE CABY PHONE: 545-2262 |
| CITY, STATE: ALBUGUERWUE HM | ZIP CODE: 87107 |
| OWNER: 152 Figure 1 Credity | |
| ADDRESS: | CONTACT: BUNGEROUSE |
| CITY, STATE: ALBOOFROUE NOW 8- | PHONE: 242-1859 ZIP CODE: 87102 |
| ADCHITECT: D^{\prime} D | |
| ARCHITECT: RUCK BRUNETT ADDRESS: ///8 PARK AUG SUI | CONTACT: Ruk Bennell |
| CITY, STATE: #LBODEDOUS SU | PHONE: 242-1859 |
| | ZIP CODE: |
| SURVEYOR: Harris Surveying 6 | CONTACT: Tone How |
| ADDRESS 24/2 MONOR NE CITY, STATE: ALBODIERIOUS X/ME | PHONE: 889-8056 |
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| more of the following levels of submittal may be required based on the | he following: |

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TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach the design of the d agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

General Information:

Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17) Planning History-Relationship to approved site plans, masterplans, and/or sector C. Description:

Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number

Address and legal description or copy of current plat All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified

·4. Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.) Size of development

Parking spaces required by Zoning Code or prior EPC approved Site Development Plan - Number of 5-tills for each share. Executive Summary-Provide a brief yet comprehensive discussion of the

General project location Development concept for the site - flavour this permit - Both Preses

Traffic circulation concept for the site + in efra me.

Impact on the adjacent sites

(e.) Reference any applicable Traffic Impact Studies (TIS) or previously approved plans

Variance required to accommodate unusual site constraints

ITEM IS ACCEPTABLE ITEM NEEDS COMPLETION N/A

ITEM IN THE SUBSECTION NEEDS COMPLETION OR THE DESIGNER MUST CONSIDER THE ITEM.

First Financial Credit Union - -- San Makeo Ne. [Phase II

II. Plan Drawings:

Professional Architect's/Engineer's stamp with signature and date

Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)

North Arrow

Scales-recommended engineer scales:

a. 1'' = 20' for sites less than 5 acres

b. 1" = 50' for sites 5 acres or more Legend-see DPM manual, Volume

recommended standard symbols

Plan drawings size: 24" x 36"

Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavelient limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity

C. Existing Conditions:

1. On-site

Identification of all existing buildings, doors, structures, sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site, parking that Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown

2. Off-site

D.

a. Identification of the right-of-way width, medians curb cuts, street widths, etc. (both sides of street) woulding driver ads street widths, etc. (both sides of street) woulding driver ads the drawings showing existing on-site and off-site conditions. Separate sheets 1. On-site

Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown Slopes

Parking areas 1% min to 8% max

Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max

Handicap parking 1% min to 2% max

Handicap ramps with slope of 12:1 must be provided—
the sidewalk area where curbs intersect the pedestrian access to the building

General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6 Internal aisle connection: Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking **(b)** Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2) Maximum aisle lengths: Aisle lengths required: 300-400 feet without internal circulation between aisles Sidewalk connections: -Provide a 4' sidewalk from the public sidewalk to the buildings within the development. Provide a min 5' wide sidewalk when the stall will overhang the sidewalk Clear pedestrian route accessible should be provided when the parking space may overhang. the sidewalk Curbing: Provide a min 6" or max 8" high concrete **(6)** barrier curb between landscaping and parking areas and/or drive aisles Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division Service Areas: -(a)-Circulation: Design vehicle route needs to be shown No truck ramps, refuse/compactors or similar facilities permitted within circulation aisle No backing into or from public street allowed -(0)-Service vehicle and/or refuse vehicle maneuvering must be contained on-site Aisle width required: Two-way traffic is 30' One-way traffic is 20'

Circulation:

e.

Layout of large parking area: (400 spaces or more) **(9**) Main aisles should provide good pedestrian and (a) vehicle visibility and access Parking spaces shall not back into the main aisle Provide pedestrian/vehicle good visibility at main aisle 3) Twenty-eight foot (28') is the maximum width for main aisle adjacent to building frontages Ring roads or partial ring roads are required for (b) shopping centers larger than 250,000 square feet of building area Widths shall be determined based on traffic volumes Centers of 500,000 square feet may require turning lanes or additional lanes. accommodate projected traffic volumes (10)Signing, Striping: Adequate signing and striping needs to be incorporated into the design of the parking area which will help to convey to the motorist the proper use of the facility Access point lanes and queuing: (See Table 23.7.1) Drive through facilities-Discuss compliance with Chapter 23, Section 7 Off-site-Rights-of-way and easements to accommodate existing or proposed public street infrastructures shall be provided when necessary to support this development Handicap ramps are required at street comers if site abuts the LORNERS

TRAFFIC CIRCULATION LAYOUT SITE PLAN CHECKLIST REVISED DRAFT 9/18/01

The City Zoning Code requires the design of access and circulation for parking areas and drive through facilities to be satisfactory to the Traffic Engineer. The design of these parking areas is a melding of a number of objectives of a development including safety, efficiency, aesthetics, etc. From a vehicular transportation point of view, one of the most critical areas of concern is the location and manner of access from the adjacent street. The interface of the development adjacent to these areas also plays a major role in how safely and efficiently they operate. These guidelines for the layout of the parking areas represent engineering design standards that will result in good operational and safety characteristics. However, with the many variables in design and unique characteristics that can be encountered, the designer may need to investigate other means of satisfying desirable operational and safety characteristics. Prior to embarking on a design for these unusual conditions, the designer should contact the Traffic Engineer to reach agreement on the modifications to these guidelines. Traffic Circulation Layout (TCL) Site Plans are required for commercial and institutional buildings, multi-family residential buildings and commercial additions of 500 square feet or more.

NOTE: The following checklist is intended to be used as a guide for preparing your Traffic Circulation Layout Plan to meet any or all of the traffic requirements. It is only a guide. Some items may not be applicable to your particular project; some items may require more detail.

I. General Information:

Completed Drainage/TCL Information Sheet-(DPM Volume 1, Chapter 17)
Planning History-Relationship to approved site plans, masterplans, and/or sector plans site
C. Description:

Vicinity map (zone atlas map) showing location of the development in relation to well-known landmarks, municipal boundaries and zone atlas map index number

Address and legal description or copy of current plat

All requests for variances from policies, ordinances or resolutions which are necessary to implement this plan must be specifically identified.

Type of development (restaurants, banks, convenience made)

Type of development (restaurants, banks, convenience markets, service station, super markets, auto car wash, etc.)

Size of development

Parking spaces required by Zoning Code or prior EPC approved Site

Development Plan

Development Pl

Executive Summary-Provide a brief yet comprehensive discussion of the following:

General project location

Development concept for the site

Traffic circulation concept for the site

Impact on the adjacent sites

Reference any applicable Traffic Impact Studies (TIS) or previously approved plans

f. Variance required to accommodate unusual site constraints

Y. Item is acceptable.

7) Item Noode Comme

1 Item Needs Completion

4. Item in the Subsection Needs Completion or Designer Should be Aware of This Item.

First-Financial Credit Union -- San Maleo NF [PHKF.11] [H18/D064

Plan Drawings:



D.

Professional Architect's/Engineer's stamp with signature and date Drafting standards: (Reference City Standards, DPM Volume 2, Chapter 27)

North Arrow

Scales-recommended engineer scales:

1" = 20' for sites less than 5 acres

1" = 50' for sites 5 acres or more

Legend-see DPM manual, Volume 2, Tables 27.3a-27.3d for recommended standard symbols

Plan drawings size: 24" x 36"

Notes defining property line, rights-of-way, signs, street lights, fire hydrants, medians, water meter boxes, pavement limits and types, sidewalks, landscape areas, project limits, and all other areas whose definition would increase clarity

Existing Conditions:

On-site

Identification of all existing buildings, doors, structures, **1** sidewalks, curbs, drivepads, walls, etc., and anything that influences parking and circulation of the site, parking 5+alls Indication of all access existing easements and rights-of-way on or adjacent to the site with dimensions and purpose shown

Off-site

Identification of the right-of-way width, medians, curb cuts, street widths, etc. (both sides of street) in a wair Drive profes & Swks) Proposed Conditions: Proposed conditions should generally be superimposed on the drawings showing existing on-site and off-site conditions. Separate sheets may be used for on-site and off-site areas depending upon circumstances. On-site

Indication of all proposed access easements and rights-of-way on or adjacent to the site with dimensions and purpose shown Slopes

Parking areas 1% min to 8% max

Parking areas adjacent to major circulation aisles or adjacent to major entrances 1% min to 6% max

-Handicap parking 1% min to 2% max-

Handicap ramps with slope of 12:1 must be provided where the sidewalk area where curbs intersect the pedestrian access to the building

Clearly delineate project phasing. A key map is recommended. + 1 me frame.)
Parking stall sizes: (Reference City Standards, DPM, Figure. - and parmit 23.7.1)

Circulation: General layout dimensions: Figure 23.7.1 provides the layout relationships between parking stalls and aisle widths for both large and small car parking areas Treatment of access points-Discuss how the curb cuts and/or drivepads comply with Chapter 23, Section 6 (3) Internal aisle connection: Parking lots with parking spaces, spaces greater than or equal to 100 must have landscaped islands at the ends of each row of parking (b) Landscape island radius for passenger car is 15 feet (see DPM Figure 23.7.2) Landscape island radius for delivery trucks, fire trucks, etc. is 25 feet or larger (see DPM figure 23.7.2) Maximum aisle lengths: Aisle lengths required: 300-**(4)** 400 feet without internal circulation between aisles Sidewalk connections: -Provide a 4' sidewalk from the public sidewalk to the buildings within the development. Provide a min 5' wide sidewalk when the stall will overhang the sidewalk Clear pedestrian route accessible should be provided when the parking space may overhang. the sidewalk **6** Curbing: Provide a min 6" or max 8" high concrete barrier curb between landscaping and parking areas and/or drive aisles - DPM.Ch. 23, sect 7.86. Fire and emergency access: Provision for access by fire and emergency vehicles needs to be in accordance with the Albuquerque Fire Plan Checking Division Service Areas: -(0) (a) Circulation:

e.

- Design vehicle route needs to be shown
- 2) No truck ramps, refuse/compactors or similar facilities permitted within - circulation aisle
- No backing into or from public street allowed **(**0)
- (C) Service vehicle and/or refuse maneuvering must be contained on-site
- Aisle width required: **(b)**
 - Two-way traffic is 30'
 - One-way traffic is 20'