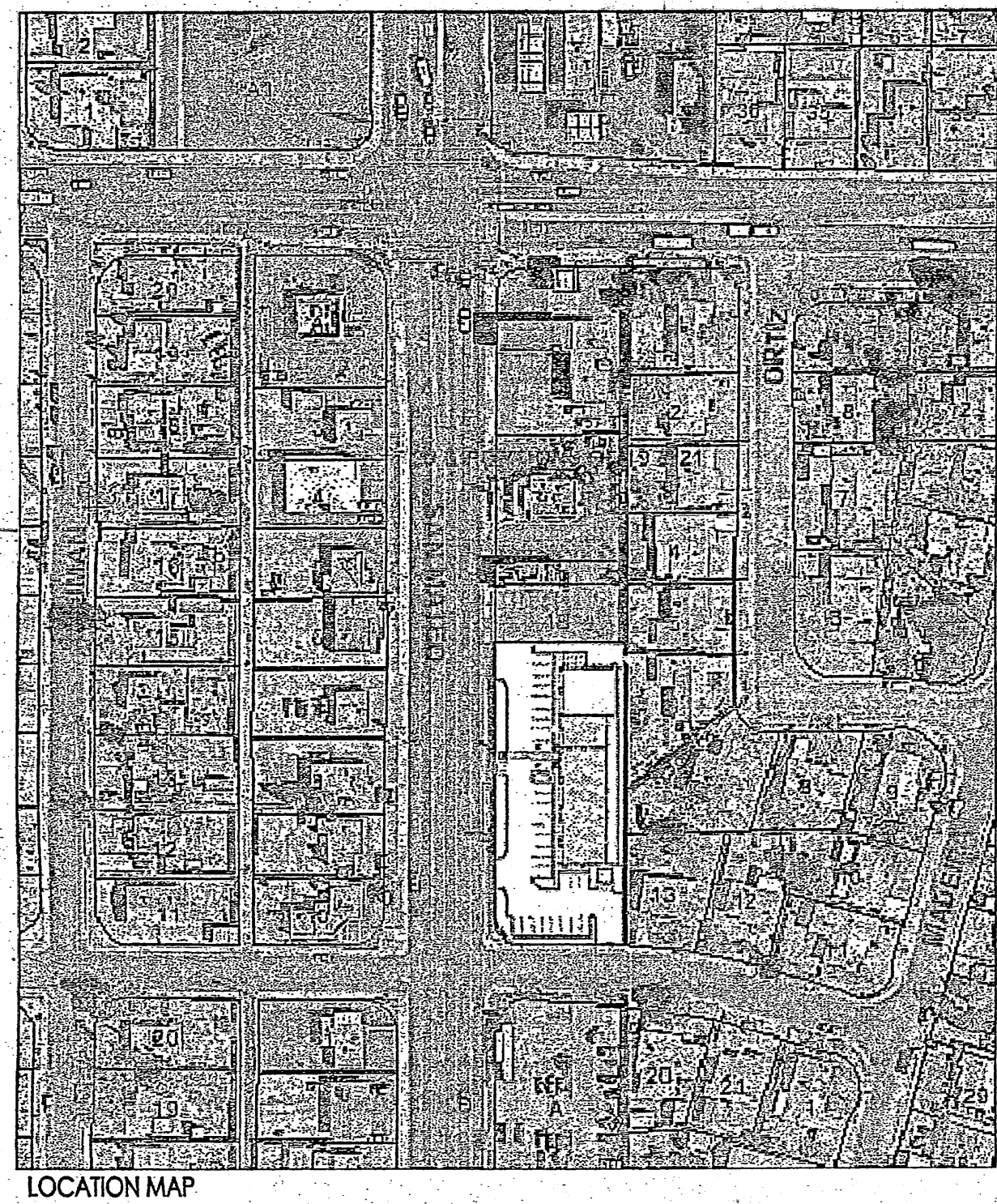
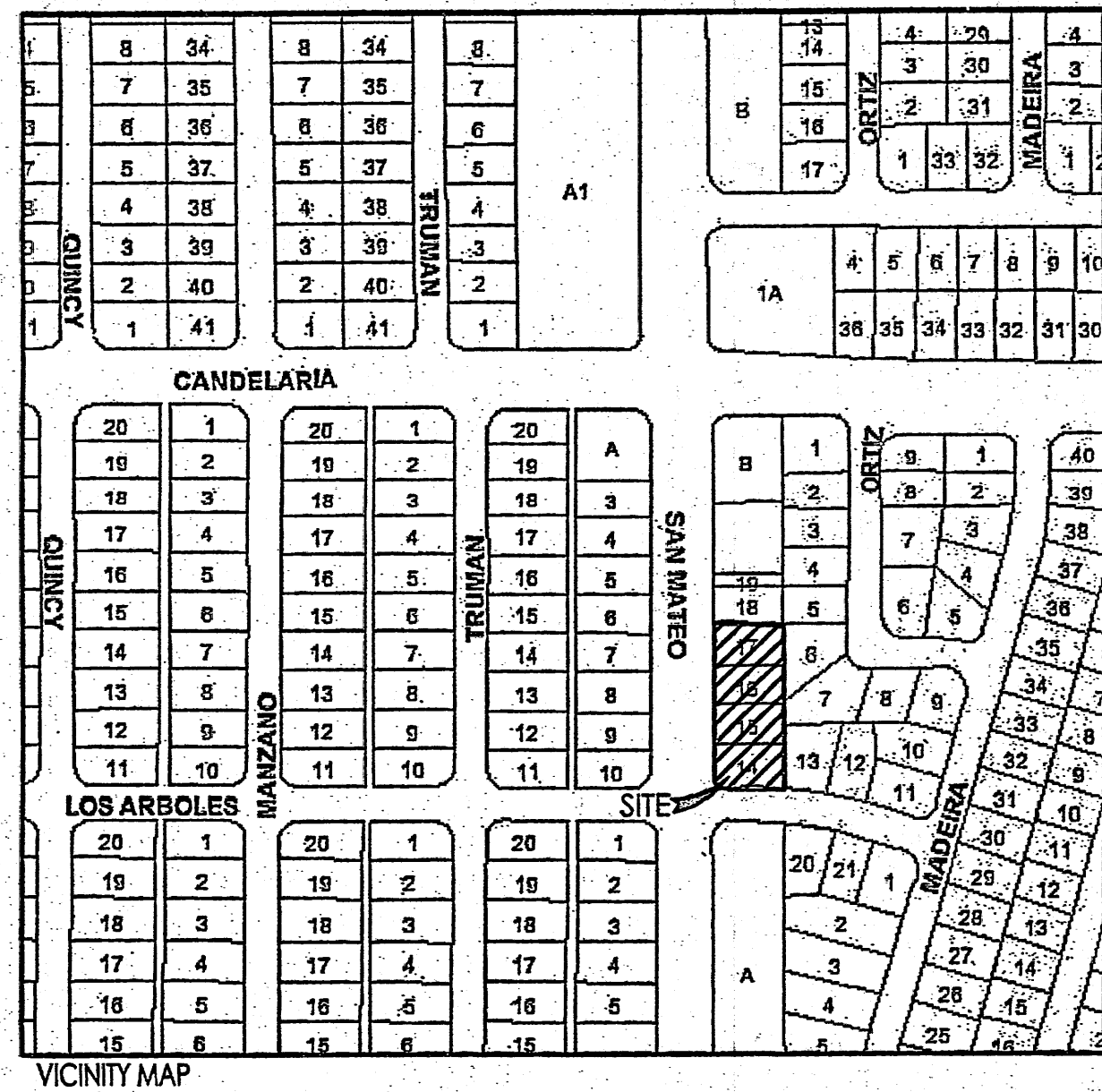
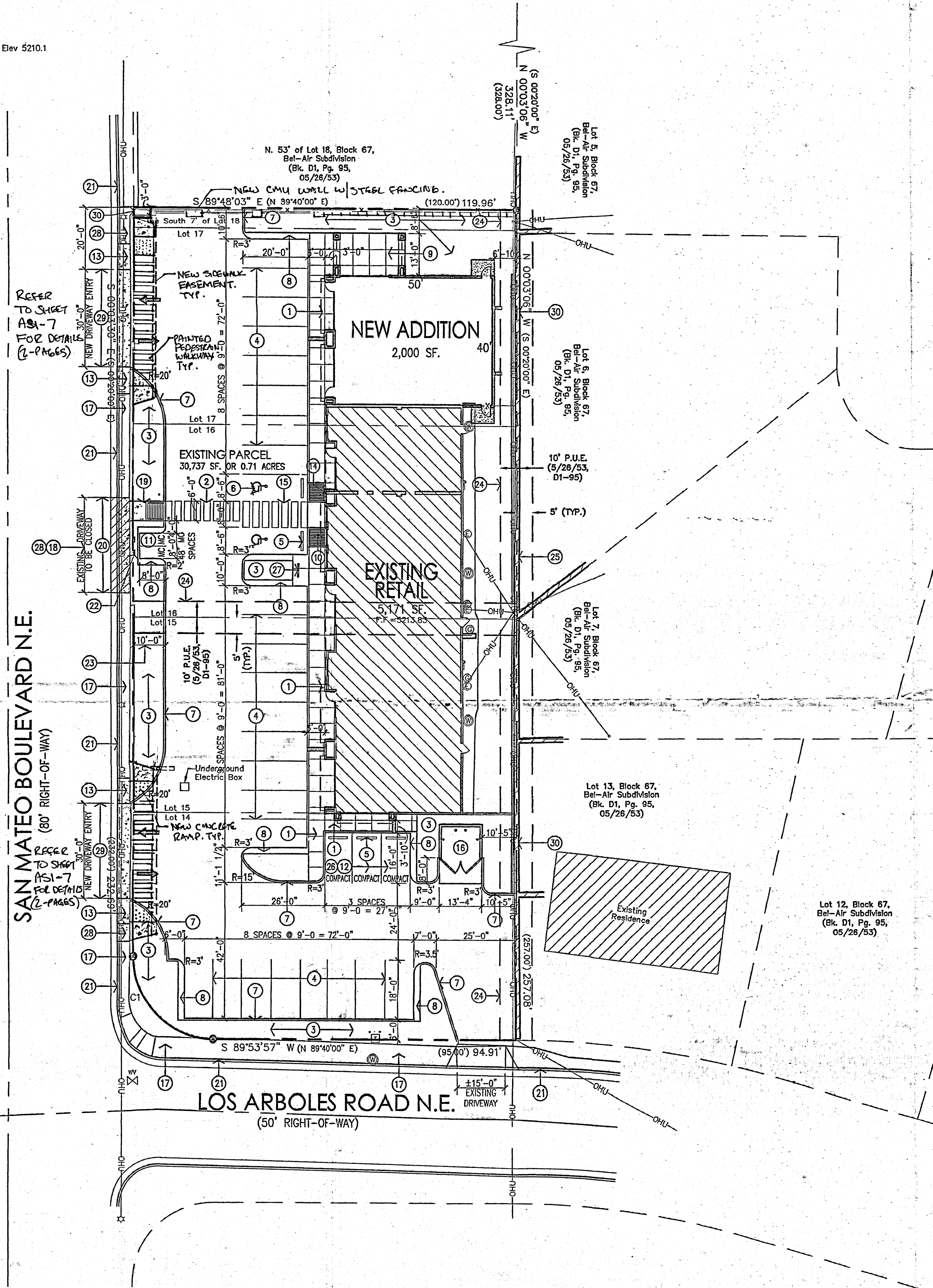
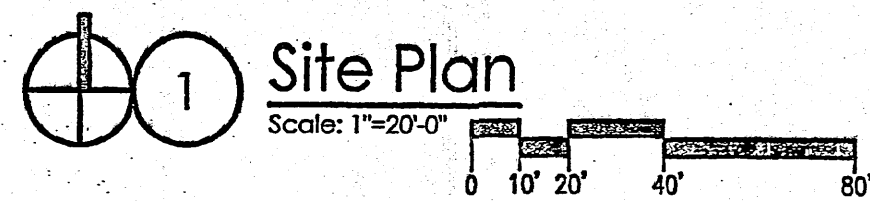




Rim Elev 5210.1

SAN MATEO BOULEVARD N.E.
(80' RIGHT-OF-WAY)

LOS ARBOLES ROAD N.E.
(50' RIGHT-OF-WAY)



SITE DEVELOPMENT DATA:

LEGAL DESCRIPTION: LOTS 14-17 AND THE SOUTH 7' OF LOT 18 IN BLOCK 67 OF BEL-AIR SUBDIVISION CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

BUILDING ADDRESS: RETAIL SHOPS 2910 SAN MATEO BOULEVARD NE. ALBUQUERQUE, NEW MEXICO

CURRENT ZONING: C1

ZONE ATLAS PAGE: H-17-Z

LAND AREA: 0.71 ACRES (30,737 SQ. FT.)

BUILDING AREA: 5,171 S.F. (EXISTING BUILDING AREA) 2,000 S.F. (ADDITION BUILDING AREA) 7,171 S.F. TOTAL BUILDING AREA

PARKING REQUIREMENTS: 7,171 SF/200 = 36 SPACES

36 SPACES REQ'D x 15% (BUS STOP CREDIT - ROUTE 8) = 30 SPACES REQUIRED

30 SPACES REQUIRED 32 SPACES PROVIDED

INCLUDING WITH THE PROVIDED SPACES
- 25 REGULAR SPACES
- 2 HANDICAP PARKING SPACES
- 3 SMALL CAR SPACES
- 2 MOTORCYCLE SPACES
= 32 TOTAL PROVIDED SPACES

LANDSCAPING REQUIREMENTS: 30,737 SF GROSS LAND AREA - 7,171 SF BUILDING AREA 23,566 NET LOT AREA 23,566 NET LOT AREA x 15% = 3,535 SF 3,535 SF LANDSCAPING REQUIRED

GENERAL NOTES:

- [A] PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB.
- [B] THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD. IF DIMENSIONAL ERROR, VARIANCES, AND/OR CONFLICTS EXIST, AS DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS, OR CONDITIONS ARE ENCOUNTERED THAT ARE NOT COVERED IN THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE COMMENCING THAT PORTION OF THE WORK.
- [C] PATCH OR REPLACE ANY EXISTING CURB & GUTTER ALONG STREET FRONTS AS NECESSARY IN COORDINATION WITH NEW DRIVEWAY CONSTRUCTION.

KEYED NOTES:

- [1] CONCRETE SIDEWALK WITH CONTROL JOINTS @ 5'-0" AND EXPANSION JOINTS AT 20'-0" O.C. SEE 3,10A,10B/A002.
- [2] PAINTED PEDESTRIAN WALKWAY.
- [3] LANDSCAPING. SEE LANDSCAPING PLAN.
- [4] PAINTED PARKING STRIPES.
- [5] CONCRETE PARKING BUMPERS.
- [6] PAINTED HC PARKING SYMBOL. SEE 7/A002.
- [7] NEW CONCRETE CURB, REFER TO 4/A002.
- [8] 24" WIDE CONCRETE STRIP. TYP. SEE 9/A002.
- [9] CONCRETE PATIO WITH CANOPY.
- [10] NEW CONCRETE ADA COMPLIANT/HC RAMP WITH SLIP RESISTANT SURFACE (SLOPE 1:12 MAX.). SEE 8/A002.
- [11] PROPOSED MOTORCYCLE SPACES (2 REQUIRED, 2 PROVIDED).
- [12] PAINTED "COMPACT CAR" PAVEMENT DESIGNATION.
- [13] NEW CONCRETE RAMP (1:12 SLOPE MAX.) WITH TRUNCATED DOMES.
- [14] HC PARKING SIGN MOUNTED TO WALL, TYPICAL OF 2.
- [15] PAINTED HC PARKING STRIPING, SEE 5/A002.
- [16] CMU DUMPSTER LOCATION. SEE 1/A002.
- [17] EXISTING CONCRETE SIDEWALK TO REMAIN.
- [18] NEW CONCRETE CURB & GUTTER TO COA STANDARDS (STD. DWG. 2415A). SEE GRADING AND DRAINAGE.
- [19] NEW 6" WIDE CONCRETE SIDEWALK FOR ADA PEDESTRIAN CONNECTION FROM CITY SIDEWALK TO DRIVEWAY.
- [20] EXISTING DRIVEWAY OPENING TO BE CLOSED AND REPLACED WITH CONCRETE SIDEWALK TO MATCH EXISTING SIDEWALK ELEVATION.
- [21] EXISTING CONCRETE CURB TO REMAIN.
- [22] MOTORCYCLE PARKING SIGN, SIMILAR TO DETAIL 8/A002 (2 SIGNS).
- [23] LANDSCAPING SETBACK.
- [24] 10' PUBLIC UTILITY EASEMENT.
- [25] EXISTING CMU SCREEN WALL TO REMAIN.
- [26] 9'-0" x 16'-0" COMPACT PARKING STALL.
- [27] BIKE RACK LOCATION. SEE 12/A002.
- [28] NEW CONCRETE SIDEWALK TO MATCH AND TO TIE INTO EXISTING (STD. DWG. 2430).
- [29] NEW CONCRETE DRIVEWAY (STD. DWG. 2425) TO BE CONSTRUCTED TO COA STANDARDS.
- [30] TAPER NEW CONCRETE SIDEWALK TO TIE INTO EXISTING SIDEWALK ON ADJACENT LOT.

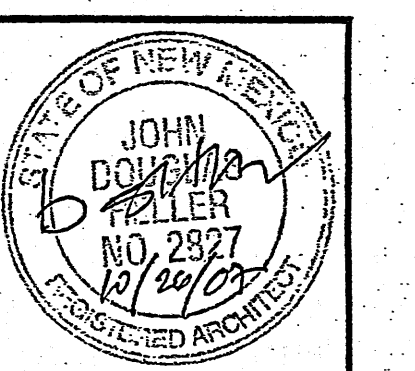
TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 10/24/07

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

revision
by
date

Mullen Heller
Architecture P.C.
924 Park Avenue SW
Suite B
Albuquerque, NM 87102
505 268 4144 [p]
505 268 4244 [f]

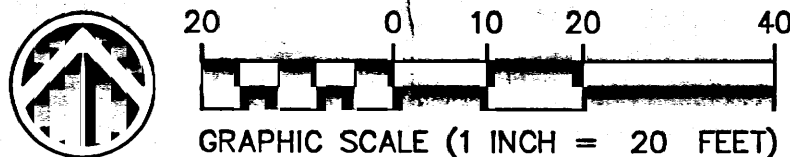


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project manager
date

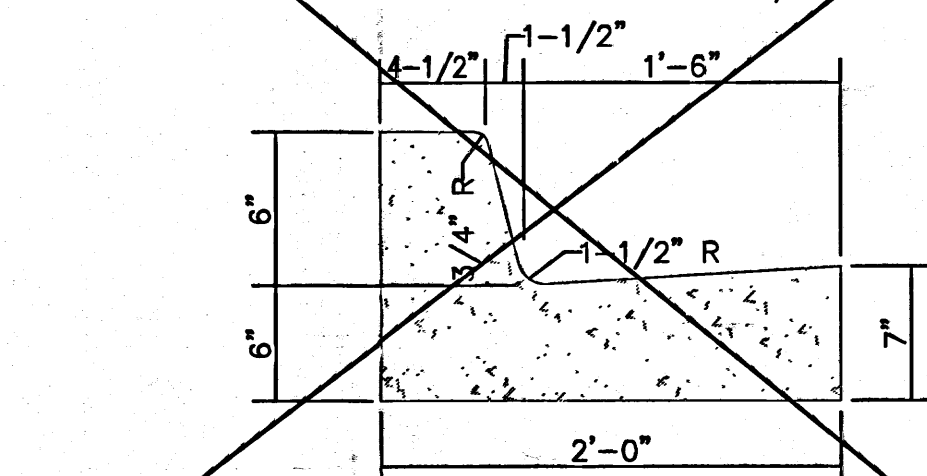
Building Renovations @ 2910 San Mateo
2910 San Mateo Boulevard NE
Albuquerque, New Mexico

sheet
Site Plan

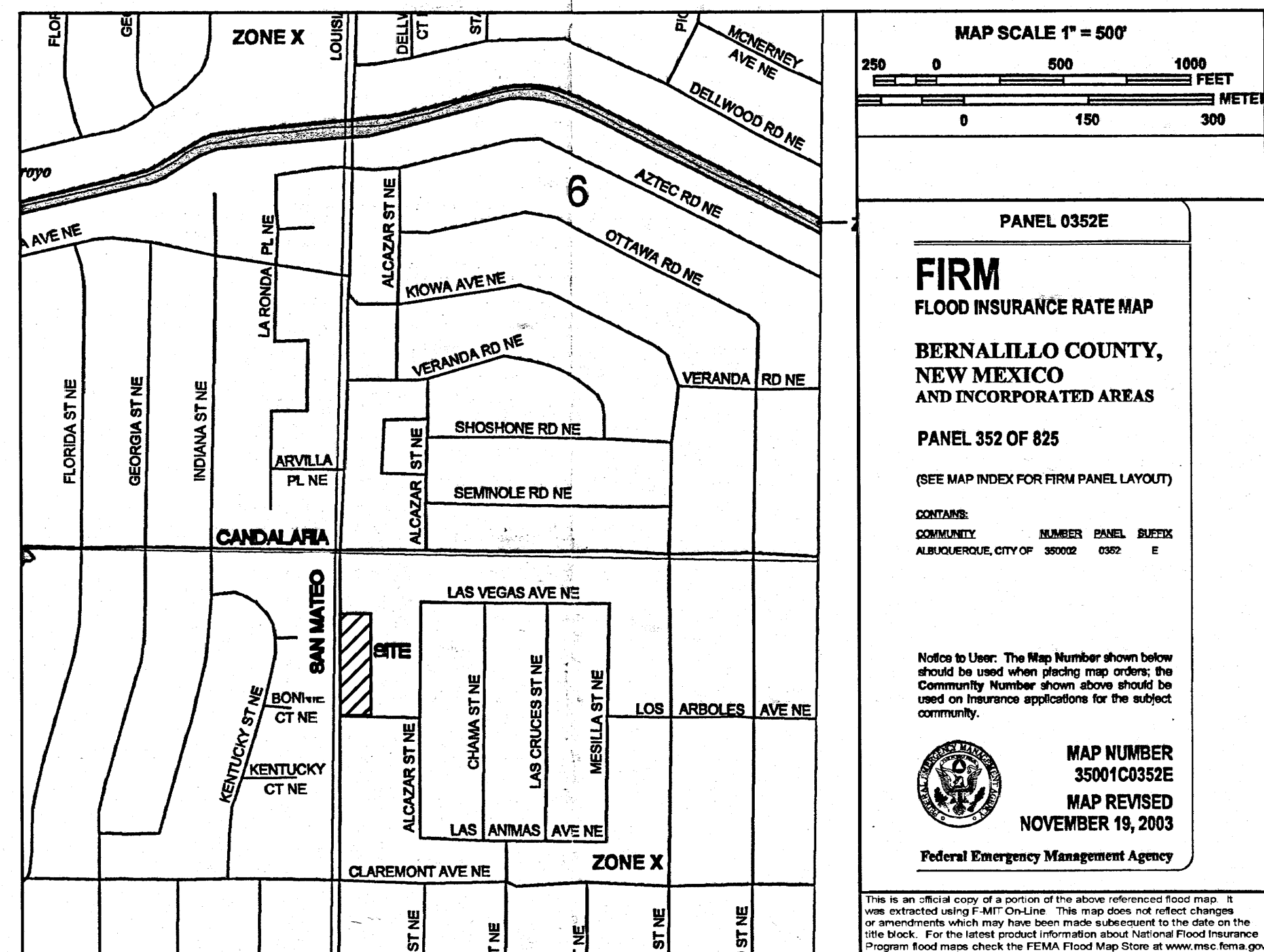
A001



1. PROVIDE 1/2" EXPANSION JOINTS AT 36' O.C., AT IMMOVABLE OBJECTS AND AT THE BEGINNING AND END OF CURVES.
2. PROVIDE CONTRACTION JOINTS AT 6' O.C.
3. ALL EXPOSED CONCRETE CORNERS TO HAVE 3/4" RADII.



1 STANDARD CURB AND GUTTER
C102 N. T. S.



VICINITY MAP H-17

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	Q (cfs)
		A (%)	B (%)	C (%)	D (%)						
EXISTING CONDITIONS											
SITE	0.7056	0.00	0.00	0.00	100.00	2.36	0.14	6,045	0.27	11,936	3.54
PROPOSED CONDITIONS											
SITE	0.7056	0.00	6.00	6.00	88.00	2.21	0.13	5,659	0.25	10,844	3.37
EXCESS PRECIP.		0.66	0.92	1.29	2.36	E ₁ (in)					
PEAK DISCHARGE		1.87	2.6	3.45	5.02	Q ₁ (cfs)					
WEIGHTED E (in) = (E ₁ %)A + (E ₂ %)B + (E ₃ %)C + (E ₄ %)D							ZONE =		3		
V _{6hr} (acre-ft) = (WEIGHTED E)AREA/12							P _{6hr} (in.) =		2.60		
V _{10day} (acre-ft) = V _{6hr} + (A ₁)(P _{10day} - P _{6hr})/12							P _{24hr} (in.) =		3.10		
Q (cfs) = (Q ₁)(A ₁) + (Q ₂)(A ₂) + (Q ₃)(A ₃) + (Q ₄)(A ₄)							P _{10day} (in.) =		4.90		

AS-BUILT CERTIFICATION

L. Billy O. McCarty, NMPE 13672, of the firm BEAM Designs and Larry Read and Associates, Inc. at the time of the design was the design engineer on this project and have maintained this project throughout the construction phase. I hereby certify that this project has been constructed in substantial compliance with the design and construction intent of the approved plans (Sheets C101 and C102) dated 10/08/07 and the additional S019 portion (Sheet C103) dated 01/30/09. The record information edited onto the original design document has been obtained by Geometric Services and BEAM Designs. I further certify that I have personally visited the project site during construction between the dates of 01/20/09 and 02/16/09 and have determined by visual inspection that the survey data provided is reasonable and correct and to the best of my knowledge and belief. This certification is submitted in support of a request for a Permanent Certificate of Occupancy.

Exceptions: Exceptions, if any, are annotated by bold print on this sheet and as described below.

1. The driveways and front parking was not constructed per plan. The sidewalk has been offset in sidewalk easements as shown on this plan to accommodate ADA access along San Mateo per direction from COA Transportation and Hydrology.
2. A sidewalk culvert has been added per sheet C103 to drain the front parking lot to San Mateo.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Construction Drawings for this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

FEB 17 200

HYDROLOG
SECTION

LARRY READ & ASSOCIATES
Civil Engineers

2430 Midtown Place, NE Suite C
Albuquerque, New Mexico 87107
(505) 235-9588 Fax (505) 994-3952

rev	△ 5	△ 4	△ 3	△ 2	△ 1
date					
by					
revision					



Mullen Heller
Architecture P.C.

924 Park Avenue SW
Suite B
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]



job number	07-11
drawn by	bom
project manager	Douglas Heller, AIA
date	10/08/07

project title

BUILDING RENOVATION @ SAN MATEO

2910 San Mateo Blvd. NE
Albuquerque, New Mexico

Grading Plan

sheet-
C102

AS-BUILT CERTIFICATION

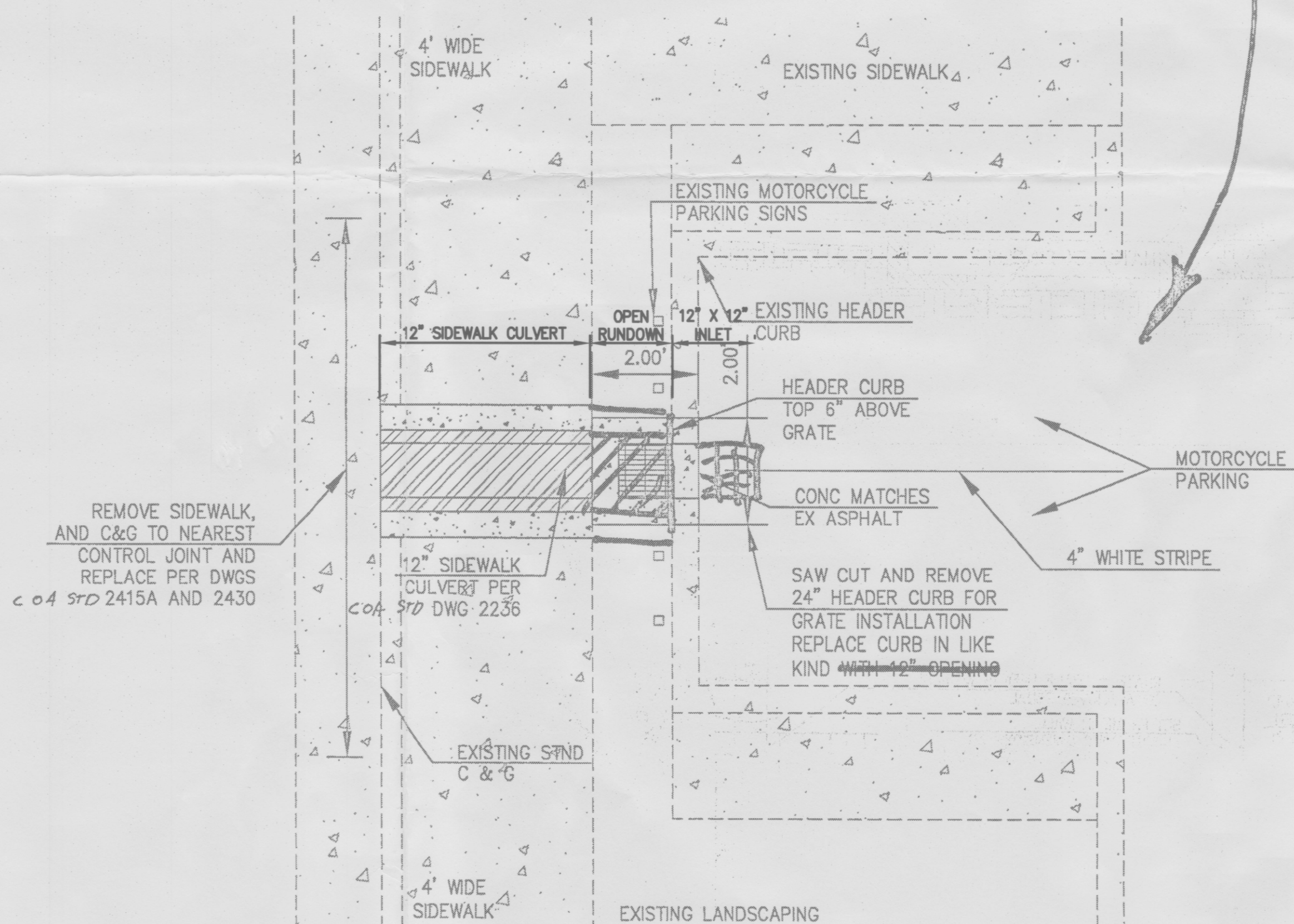
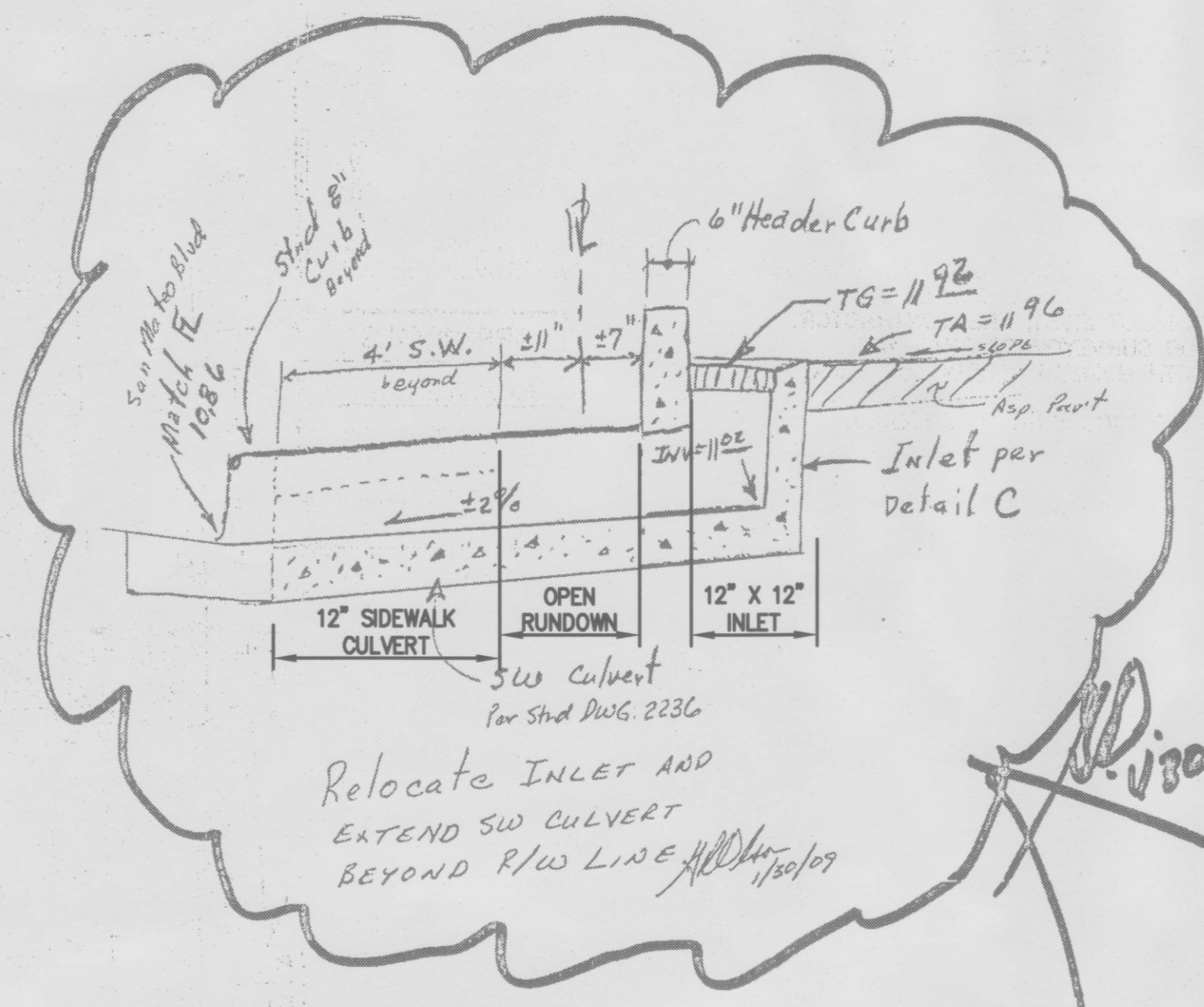


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A SIDEWALK DRAIN DETAIL
C103 N. T. S.

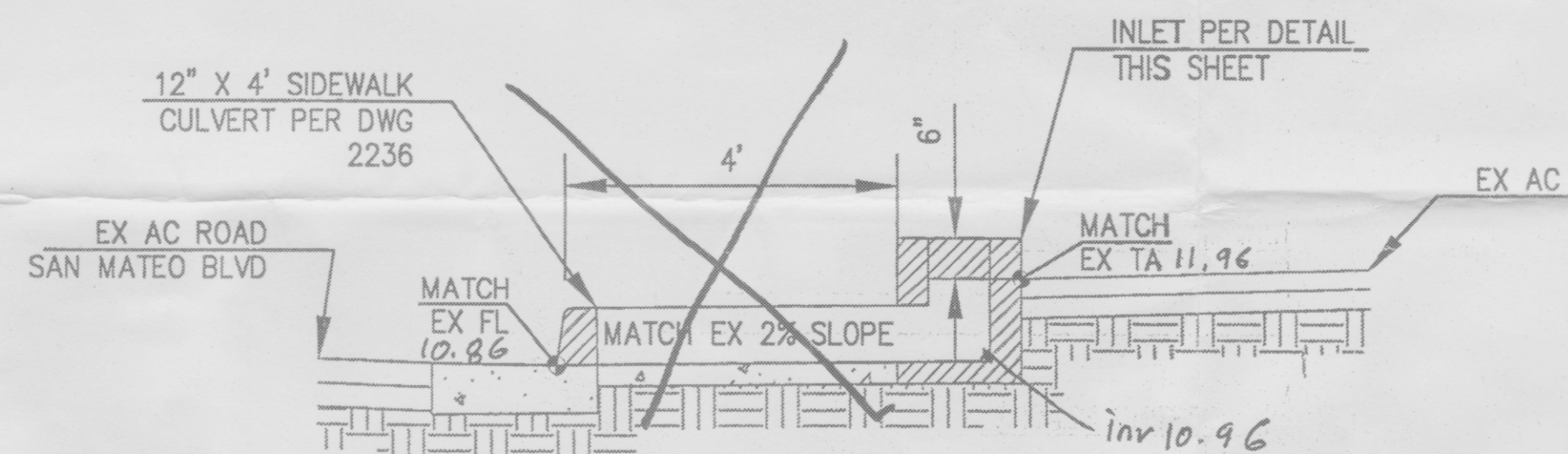
NOTICE TO CONTRACTOR

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
3. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

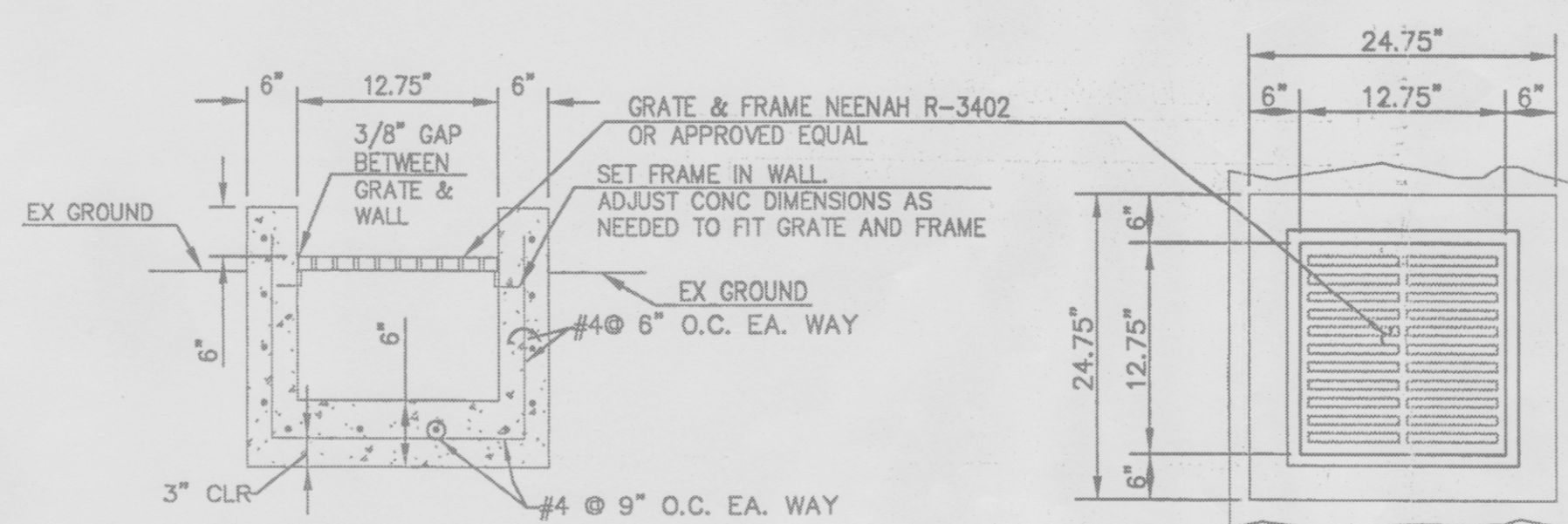
THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ☐ ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- ☒ BACKFILL COMPACTION SHALL BE ACCORDING TO ^{Arterial} RESIDENTIAL STREET USE.
- ☐ TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ☒ SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- ☐ IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- ☒ ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		



B SIDEWALK DRAIN PROFILE
C103 N. T. S.



C INLET
C103 N. T. S.

BUILDING
ENGINEERING
AND
MUNICIPAL
DESIGNS



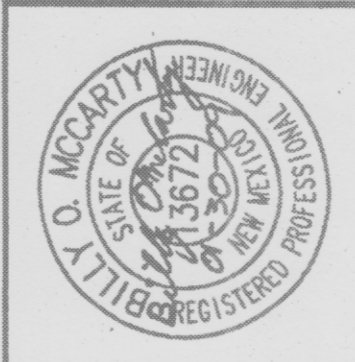
855 POLARIS BLVD., SE
RIO RANCHO, NM 87124
PHONE (505) 235-9588
FAX (505) 994-3952
beamdesigns@qwest.net

project title
BUILDING RENOVATION @ SAN MATEO
2910 San Mateo Blvd. NE
Albuquerque, New Mexico

sheet title
DETAILS

C103

job number
07-11
drawn by
bom
project manager
Douglas Heller, AIA
date
01/30/09



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revision
by
date
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