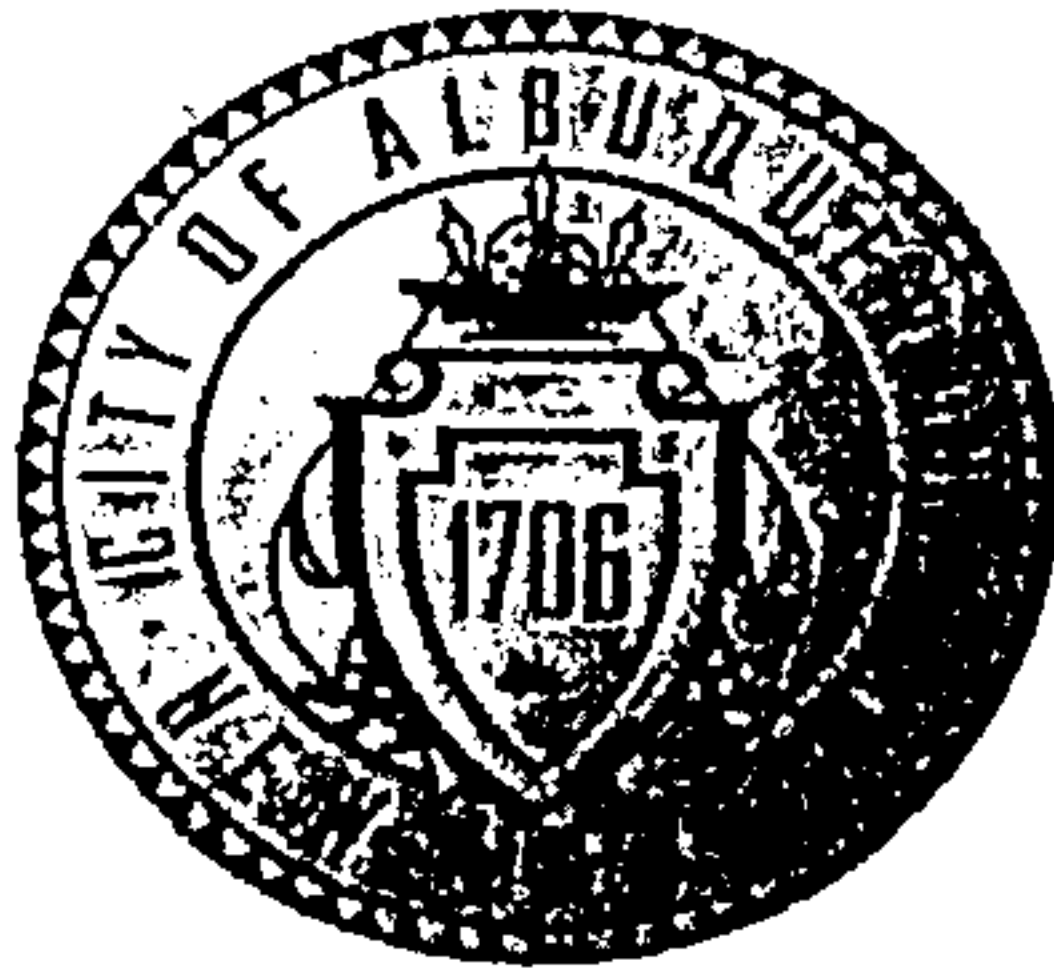




City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: COMFORT DENTAL MENAUL Building Permit #: _____ City Drainage #: 14182068

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: LOT 2 BLOCK 102 BEL-AIR SUBDIVISION

City Address: 5820 MENAUL BLVD NE ALB NM 87110

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: CANNADY ARCHITECT STUDIO Contact: DEVIN CANNADY

Address: 300 ADAMS ST SE ALB. NM 87108

Phone#: 299-1111 Fax#: 349-4167 E-mail: devin@cannadystudio.com

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

CITY OF ALBUQUERQUE



August 15, 2013

Devin B. Cannady, R.A.
Cannady Architect Studio
300 Adams Street SE
Albuquerque, NM 87108

Re: Comfort Dental Coronado, 5820 Manual Blvd, Traffic Circulation Layout
Architect's Stamp dated 07-24-13 (H18-D068)

Dear Mr. Cannady,

The TCL submittal received 07-25-13 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

Comfort Dental.

Before Perm C.O.

Need Plat

Recorded

H-18-D68

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: COMFORT DENTAL - CORONADO ZONE MAP: H 18 - D 68
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT: 2, BLOCK: 102, SUBDIVISION: BEL-AIR
 CITY ADDRESS: 5820 MENAUL BLVD. NE

ENGINEERING FIRM: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: DEVIN CAUADY ARCHITECT STUDIO CONTACT: DEVIN CAUADY
 ADDRESS: 300 ADAMS SE PHONE: 299-1111
 CITY, STATE: ALBUQUERQUE, NM 87108 ZIP CODE: 87108

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION CONTROL PLAN
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ OTHER (SPECIFY) _____

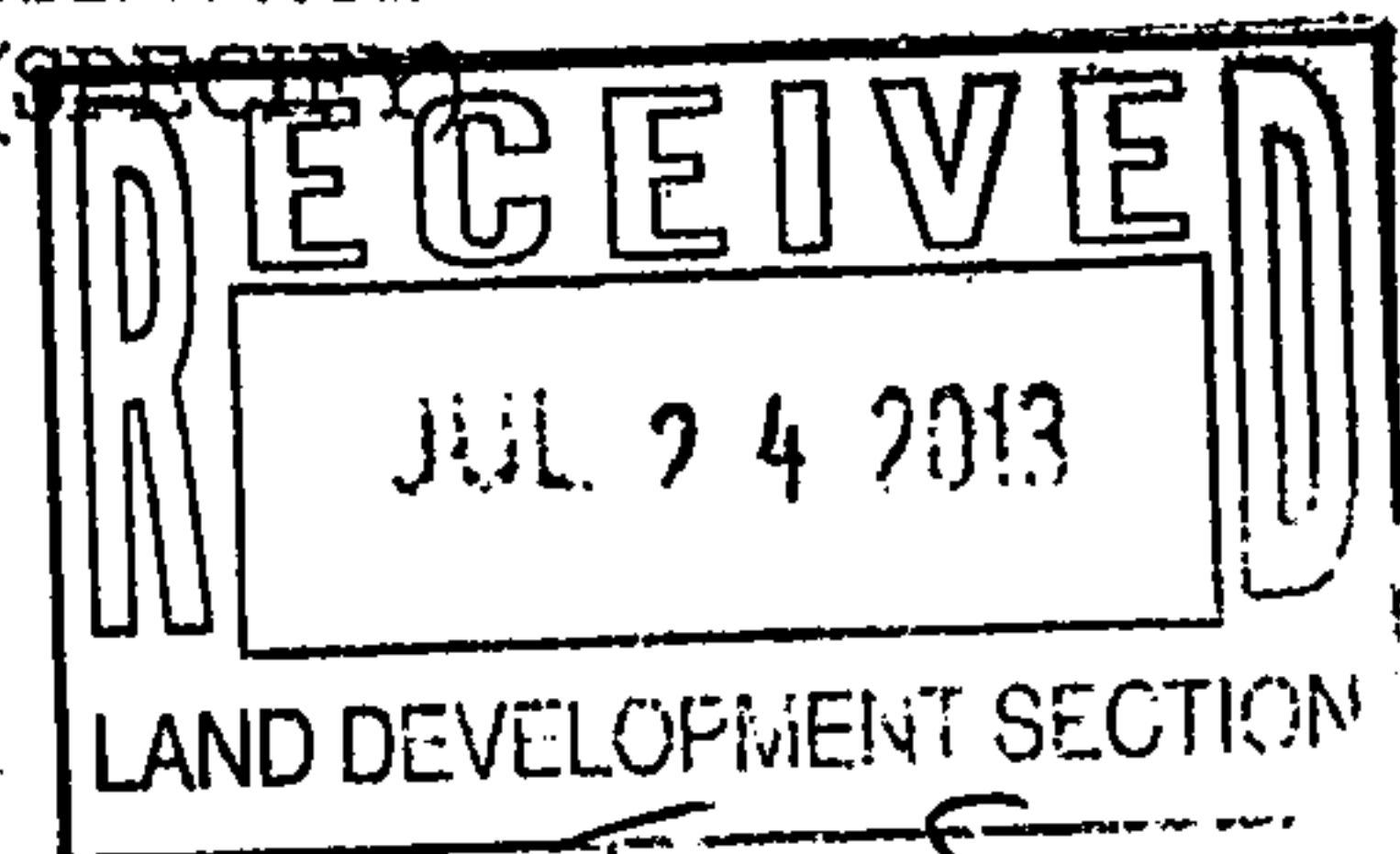
CHECK TYPE OF APPROVAL SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TEMP)
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- _____ YES
- _____ NO
- _____ COPY PROVIDED

DATE SUBMITTED: 7.24.13



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



June 5, 2013

Krystal Metro
CABQ Traffic Department
600 Second Street NW
Albuquerque, NM 87102

Re: Comfort Dental Menaul Traffic Circulation Variance Request

Project Address: 5820 Menaul Blvd. NE
Albuquerque, NM 87110

Krystal, I am writing this letter to request several variances to an existing building located at the above stated address. The building underwent a tenant improvement several years ago via another Architect. During this renovation, the existing parking conditions were left as existing conditions. The current parking configuration is less than desirable as it generates some critical liabilities in its design. Pedestrian and Vehicular safety concerns require attention, but due to tolerances of the existing site conditions we are required to submit a site plan layout that does not fully comply with the requirements of zoning or the traffic code. In order to gain approval from the traffic department we request the following variances from the City of Albuquerque governmental regulations:

1. In order to comply with the required number of parking spaces for the facility use we are limited in space for the accessible ramp to be installed to the main entrance of the building. We are requesting a variance to allow the clear space of the accessible ramp width to be 3'-6". All other requirements for accessibility can be met given the proposed layout. Please note that the facility does not currently meet accessibility requirements as the existing ramp is narrower than the proposed width and does not meet slope requirements.
2. The existing pedestrian sidewalk in the public right-of-way is 4'-0" in width. We request allowance to keep the existing width as there is no room for a wider sidewalk. The existing public sidewalk is proposed to be re-constructed in order to comply with 2% cross slope requirements.
3. Due to limited site dimensions, we are requesting a variance to the required width of the private sidewalk oriented along the building facade. Due to the limited site dimensions, we cannot comply with the required 8'-0" width per the CABQ zoning code. The proposed design provide a minimum width of 4'-4" clear.
4. The existing parking configuration provided an inappropriate layout that does not function appropriately and generates safety concerns at multiple locations. In order to configure an appropriately functioning layout we are required to orient parking stalls 90 degrees to the public street, requiring vehicles to back directly into Cagua Drive. The configuration provides the 50' buffer from Menaul as required per the DPM and provides the most appropriate configuration for pedestrian safety achievable given the existing site conditions.

In order to bring the existing site conditions to a higher level of safety we require approval of the above stated variances from governmental regulations, thus we urge your support to assist in mitigating the pre-existing safety concerns of the subject property. We believe you will agree that the proposed site layout will provide a higher level of safety for the public as well as patrons of the facility.

Sincerely,

Devin Cannady, Architect
Principal - Cannady Architect Studio

Variance approved by
Transportation Development
(Existing Conditions - factored
into approval)

8-15-13

RECEIVED
JUN - 5 2013

CITY OF ALBUQUERQUE



June 20, 2013

Devin B, Cannady, R.A.
Cannady Architect Studio
300 Adams Street SE
Albuquerque, NM 87108

**Re: Comfort Dental Coronado, 5820 Menaul Blvd, Traffic Circulation Layout
Architect's Stamp dated 6-05-13 (H18-D068)**

Dear Mr. Cannady,

Based upon the information provided in your submittal received 6-05-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 3' 6" 1. Define width of the existing sidewalk on Menaul and Cagua Dr.
3' 6" 2. Define width of proposed sidewalk on Cagua Dr.
dowel 3. Please provide a construction note detailing tie-in of existing concrete sidewalk and curb/gutter to proposed concrete infrastructure.
4. The proposed sidewalk adjacent to valley gutter must be design to keep street drainage off of private property. A water-block must be provided: a rise of 0.67 ft from flow-line of gutter to property line. Perhaps providing 3 ft width of sidewalk at 2% vertical slope adjacent to gutter and then increasing the slope to the property line will provide the necessary requirements. Please contact our hydrology department for further assistance: Curtis Cherne 924-3986.
5. Please ensure ramp railing is ADA compliant, Section 505 *Handrails* and 405.9 *Edge Protection*. A curb barrier is required if space between the railing and ground surface is 4 inches or greater. An extended ground floor of 12 inch minimum required beyond inside face of handrail. Please verify compliance.
6. Per ADA, Section 404.2.4 *Maneuvering Clearances* at doors, a minimum of 24 inches parallel to doorway latch will be required, please verify this dimension is provided.
7. Please correct errors on sheets TCL.01 & .02: (1) Detail C5 cross-section mislabeled. (2) Detail C3 missing cross-section of handrail along landing. (3) Detail A1 is not accurately referenced to cross-section B3/A.202 on sheet TCL.01. (4) There is a floating keyed note "02" adjacent to motorcycle stall. (5) A keyed note "18" misused. (6) Demo line needs to be drawn correctly. (7) Keyed note "14" references "existing asphalt".

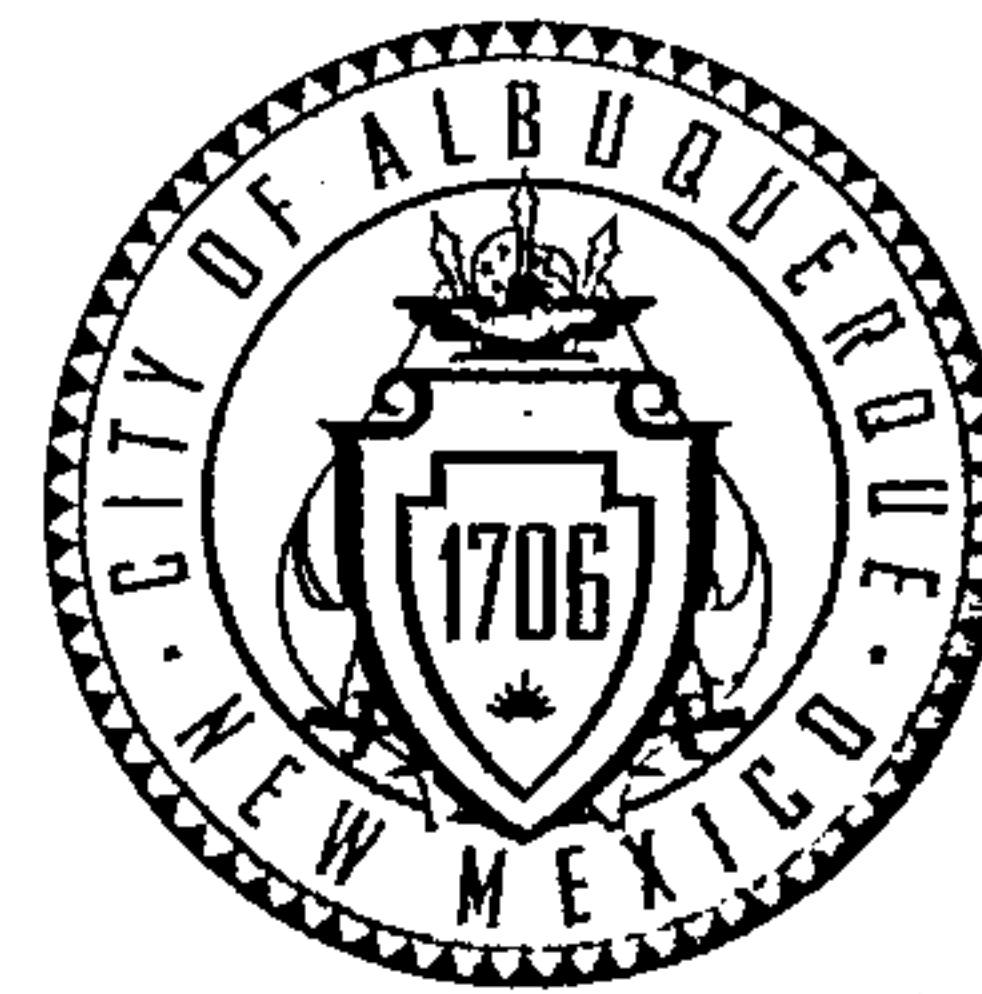
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

CITY OF ALBUQUERQUE



8. Demo plan conflicts with proposed site plan. Please differentiate between new concrete proposed and existing to remain. There are inconsistencies between demo and proposed.
9. Work within the public right of way may require a work order with DRC approved plans. Typically, sidewalk, curb and gutter can be done with a COA building permit. The parking lot interfacing alley needs to be verified by DRC chairperson Stephen Woodall @ 924-3993.
10. Per DPM, Chapter 23 Section 7.B.6 *Curbing*, Curbing should be used to separate landscaping from parking areas and pedestrian ways.
11. It appears the proposed sidewalk adjacent to the building is flush with the asphalt parking area with a 6 inch header curb as a separation to be used as a wheel-stop strip. This header curb is a tripping hazard for this application. A pre-cast concrete wheel-stop at each stall is recommended.
12. Per ADA, Section 406 *Curb Ramps*, the existing sidewalk section between the proposed sidewalk ramp and the existing sidewalk ramp acts as a landing and must provide a minimum length of 48 inches (at approach to alley). Please verify.
13. The "Variance Request" letter submitted with this TCL has not been addressed within this comment letter. The decision to grant a variance to pedestrian pathway widths and parking configurations will be left to Transportation Chairperson Kristal Metro @ 924-3991. I recommend the TCL submitted for any variances first address the conditions provided in this letter.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3924.

Sincerely,

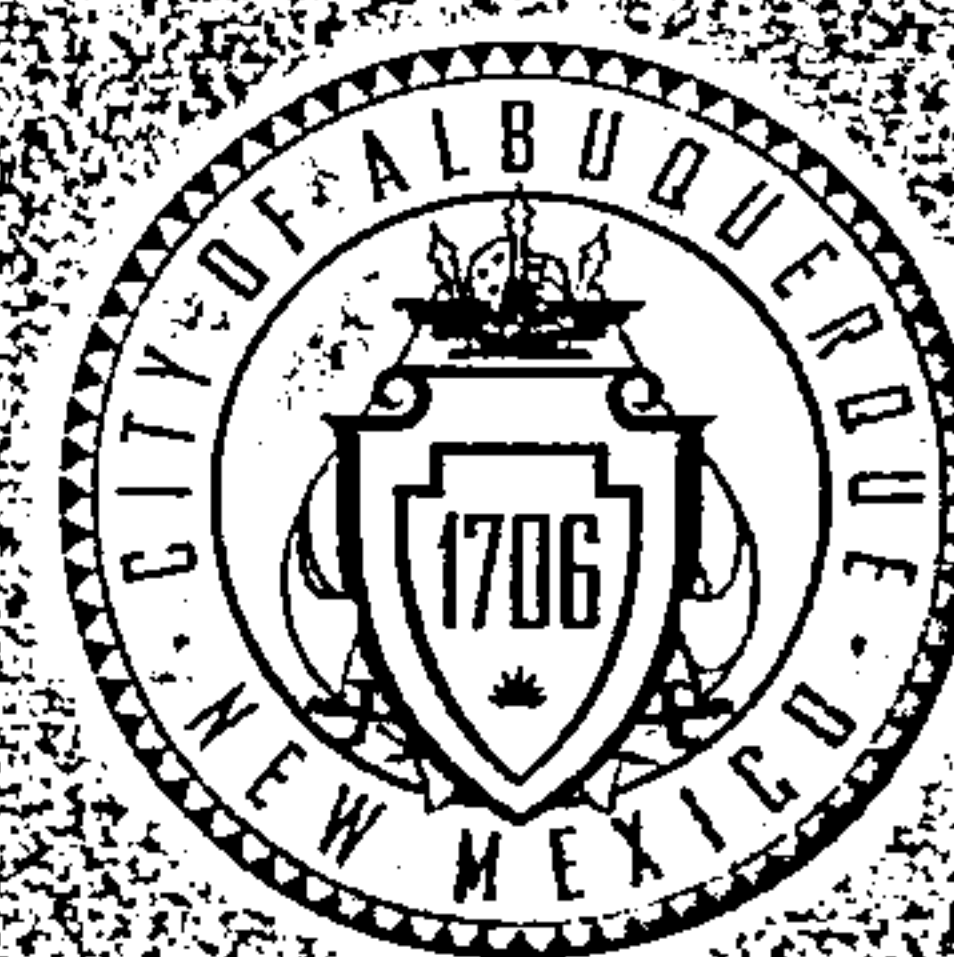
Cynthia K. Beck
Associate Engineer, Planning Dept.
Development Review Services

C: File

H-18 - D 68
Comfort Dental

Before Perm CO
Need Replat
Recorded.

CITY OF ALBUQUERQUE



April 26, 2013

Devin B. Cannady, R.A.
Cannady Architect Studio
300 Adams Street SE
Albuquerque, NM 87108

**Re: Comfort Dental Coronado, 5820 Menual Blvd, Traffic Circulation Layout
Architect's Stamp dated 4-10-13 (H18-D068)**

Dear Mr. Cannady,

Based upon the information provided in your submittal received 4-11-13, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please refer to all applicable city standards.
2. Please ensure all ramps are ADA compliant.
3. Please define all line-types and hatchings and note existing or proposed for clarification.
4. Define width of the existing sidewalk.
5. List the width of the existing drivepad.
6. Please provide details of the proposed 88 foot curb cut with sidewalk incorporated to comply with ADA regulations and DPM standards.
7. Show a detail of the wheelchair ramps located at the proposed driveway, or refer to the appropriate city standard.
8. Per DPM, vehicles are not allowed to back onto city streets. The City Transportation Engineer must provide a variance for this request.
9. Per Chapter 23, Section 6, Part B.5 of the City of Albuquerque *Development Process Manual*, any drive on a local roadway that is intersecting with a minor arterial must be located a minimum of 50 feet from the intersection. Please demonstrate compliance.
10. According to the submitted TCL and COA AGIS, the building and parking area occupy two lots. Is this site going to be replatted to consolidate into one lot?
11. Please include a copy of your shared access agreement with the adjacent property owner if the site is not to be replatted.
12. Parking spaces cannot cross over the lot lines.
13. Work within the public right of way requires a work order with DRC approved plans.

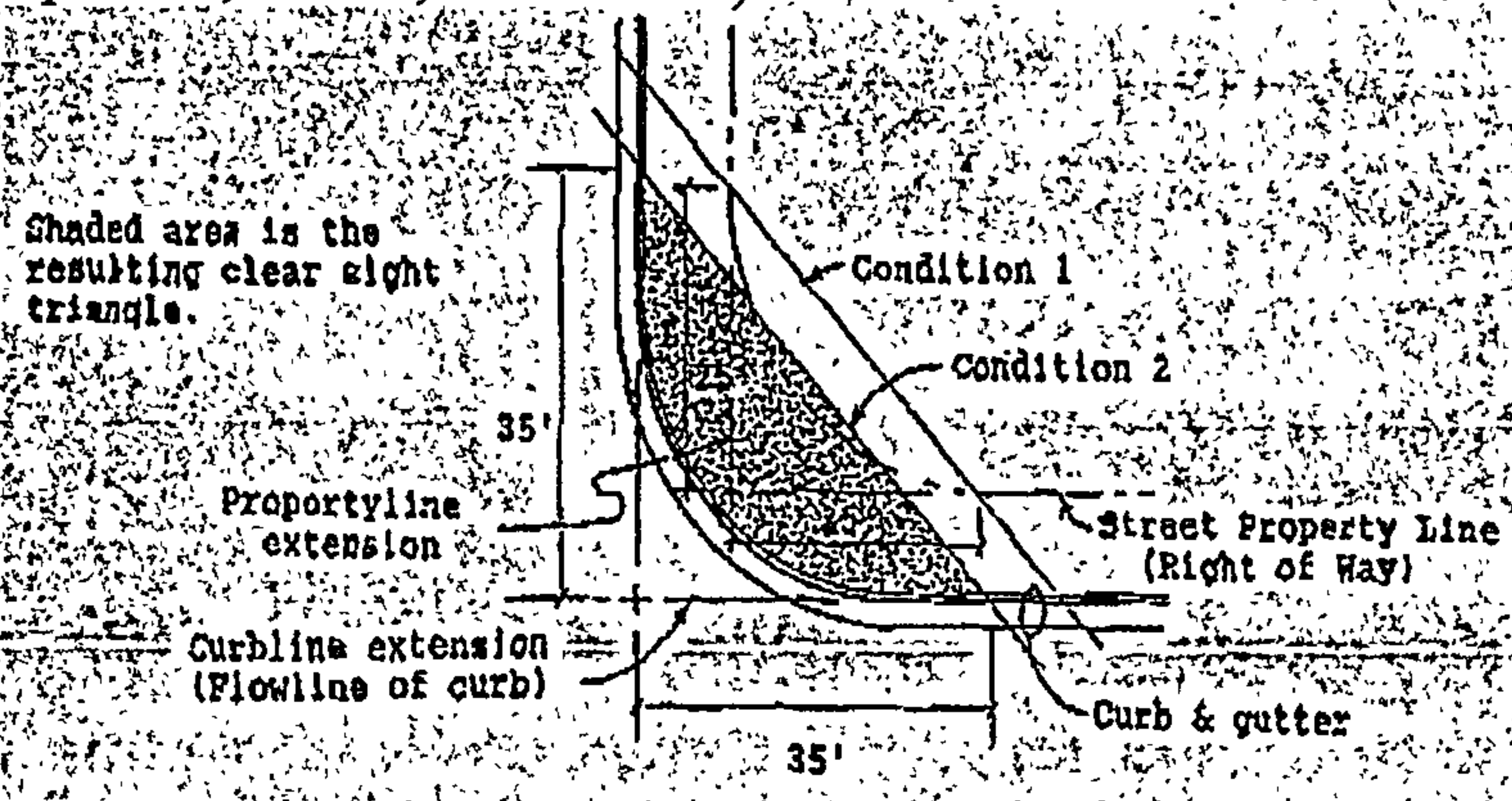
PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

14. The proposed landscaped area at the corner of Menaul Blvd and Cagua Dr. must not interfere with the sight distance of the intersection. Please provide a sight distance exhibit (see the *Development Process Manual*, Chapter 23, Part B, Section 5.a).



15. Wheel stops set back 2 ft are required where parking space abut building.
16. The landscaping (keyed note 04) adjacent to alley parking and public sidewalk requires header curb to contain.
17. The landing area adjacent to the proposed HC ramp appears to share the same space as the parked bicycles. Please demonstrate the pedestrian path will remain unobstructed.
18. Please provide details of the ramp and handrails for ADA compliance.
19. Is there a pedestrian path provided from the vehicle parking stalls off of the alley?

If you have any questions, you can contact me at 924-3924.

Sincerely,

Cynthia Beck
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

H182068

PROJECT TITLE: COMFORT DENTAL CORONADO ZONE MAP: H78
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: LOT: 2, BLOCK: 102, SUBDIVISION: BEL-AIR
CITY ADDRESS: 5820 MENAUL BLVD.

ENGINEERING FIRM: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

OWNER: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

ARCHITECT: CANNADY ARCHITECT STUDIO CONTACT: DEVIN
ADDRESS: 300 ADAMS STREET SE PHONE: 299-1111
CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87108
devin@cannadystudio.com

SURVEYOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

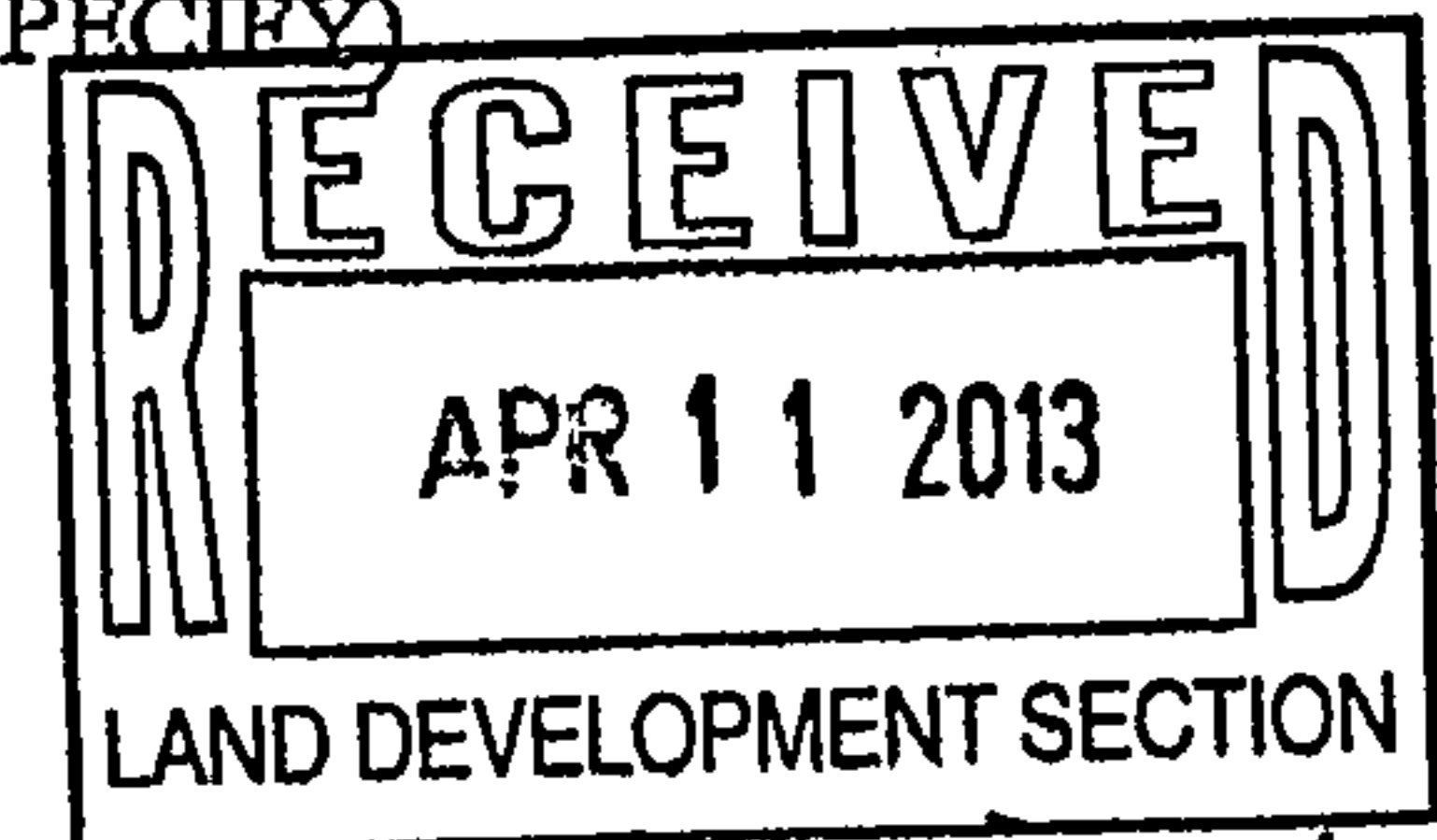
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: 04.11.13 BY: [Signature]

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



April 9, 2013

City of Albuquerque
Planning Department, 1st Floor
600 Second Street NW
Albuquerque, NM 87102

Re: Comfort Dental Menaul Traffic Circulation Request

Project Address: 5820 Menaul Blvd. NE
Albuquerque, NM 87110

The Comfort Dental facility is located on Menaul just west of San Pedro and consists of a single building located on a .172 acre parcel of land. The building is L-shaped with parking located adjacent to Cagua Drive. The current parking configuration is less than desirable as it generates some critical liabilities in its design. Pedestrian and Vehicular safety are of the highest priority and although the site is "challenged", we believe we have a solution to provide a safer environment. The following items are challenges that the current configuration poses for pedestrians and patrons of the business, the numbered items coordinate to the exhibit attached hereto:

Item 01 - A blind corner exists where a pedestrian and vehicle backing onto Cagua Drive cannot see each other generating a potential catastrophic condition.

** The proposed configuration eliminates the blind corner condition eliminating the situation by pushing the closest parking space down away from Menaul Blvd.*

Item 02 - An existing curb and step condition generates a tripping hazard directly in front of 5 existing parking spaces immediately adjacent to the front entry of the building.

** The proposed configuration generates a traditional 6" curb stepping onto a sidewalk for better pedestrian safety.*

Item 03 - An existing accessible ramp leading into the main entry of the building does not meet accessibility (ANSI) guidelines as it is too steep and does not provide the proper width and handrail requirements.

** The proposed configuration provides an ANSI acceptable ramp leading into the front entrance of the building. The new ramp will meet appropriate slope and handrail requirements.*

Item 04 - There is no 5' keyway appropriate for vehicles to back into from spaces denoted as #6 - #9.

Item 05 - The 21'-0" drive isle width does not meet regulatory requirements of 24'-0" min. as required for 90 degree parking.

Item 06 - The existing 15'-4" length of spaces denoted as #6 & #7 does not meet regulatory requirements as to the minimum length of 18'-0" allowable for a parking space.

Item 07 - The existing 16'-0" length of spaces denoted as #8 & #9 does not meet regulatory requirements as to the minimum length of 18'-0" allowable for a parking space.

** The proposed configuration eliminates the inappropriate 90 degree parking stalls, thus eliminating the inappropriate drive isle width and lack of appropriate keyway.*



CANNADY

ARCHITECT STUDIO

studio@cannadystudio.com

www.cannadystudio.com

Item 08 - The existing parking space denoted as #10 requires a vehicle to drive over an existing 6" curb in order to access the space.

** The proposed configuration provides a landscape buffer buffering vehicles from the overhang curb condition.*

Item 09 - There is currently no designated accessible parking space. An identified accessible space denoted at note #9 on the exhibit is believed to be the intended accessible location, which is not located close to the front door due to the concrete curb and thus generates a longer travel distance from the accessible space to the main building entrance.

** The proposed configuration provides an appropriate accessible parking space with an 8'-0" wide van isle in close proximity to the front door of the building.*

Item 10 - The pedestrian sidewalk leading to the front door is currently 4'3" wide.

** The proposed configuration provides a 5'-8" wide sidewalk along the front of the parking stalls maximizing the pedestrian sidewalk for patrons of the facility*

where?

Item 11 - The southern parking spaces do not meet required minimum widths per zoning ordinance.

** The proposed configuration provides the minimum 8'-6" parking space width.*

In order to address the above stated concerns we are submitting a proposed reconfiguration of the parking layout and pedestrian accessibility of the site. The design parameters do not meet traffic regulations as the parking backs into a public right-of-way (Cagua Drive), but the pre-existing parking spaces were configured in this manner and the site limitations host no alternative. While we do not have the ability to completely resolve the potential vehicular liabilities of backing into Cagua Drive, the layout proposed will enhance pedestrian safety and help improve vehicular concerns by buffering the distance to the Intersection of Menaul and Cagua.

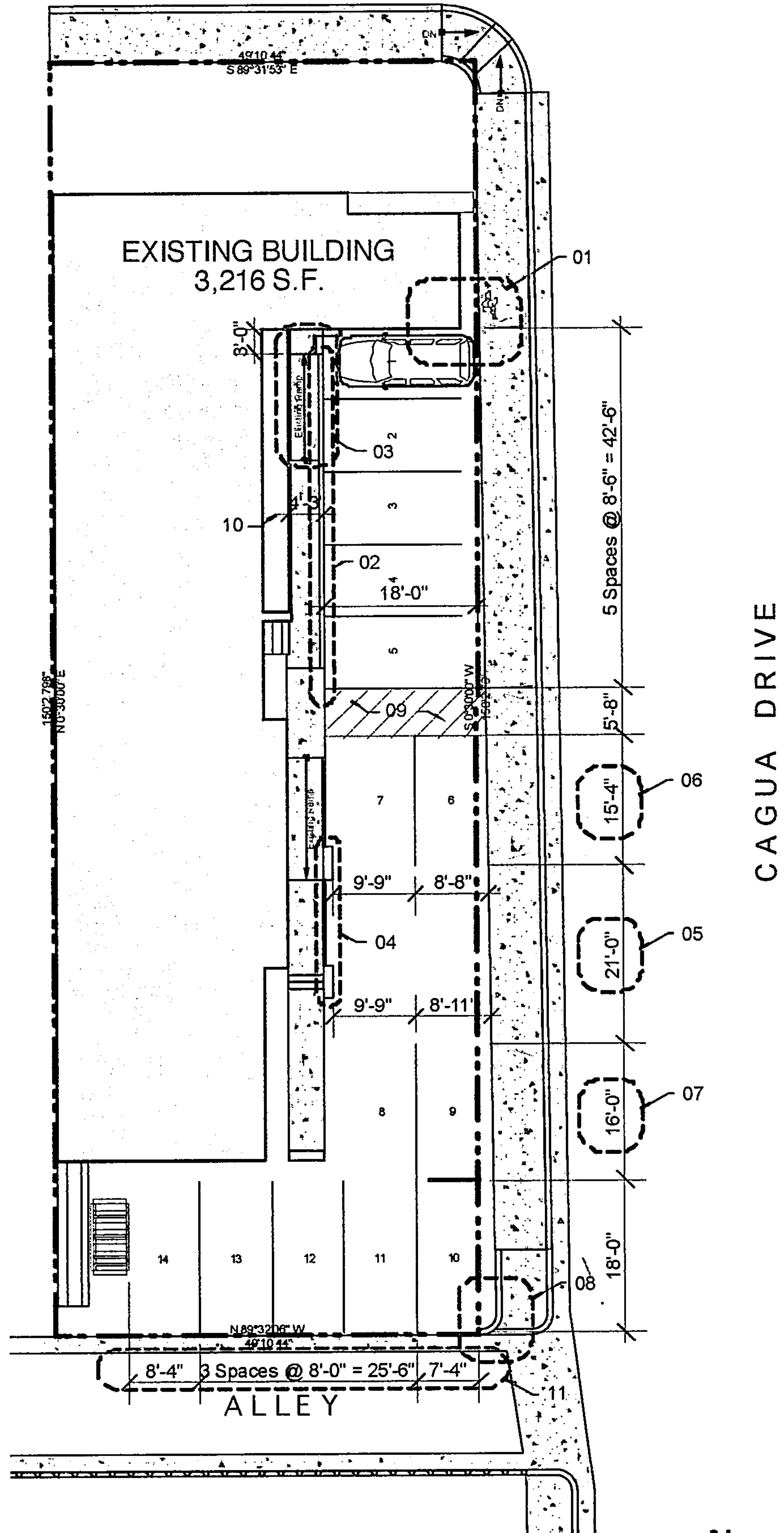
We urge the City to embrace the design and support us in providing a more acceptable design standard for the building owners and hope you will offer up any additional solutions to help in the safety and well being of the patrons of the facility.

Sincerely,

Devin Cannady, Architect
Principal – Cannady Architect Studio

Existing Conditions Exhibit:
 Comfort Dental
 5820 Menaul Blvd. NE
 Albuquerque, NM 87110

MENAU BLVD



01 Existing Site Plan
 Scale: 1" = 20 ft

