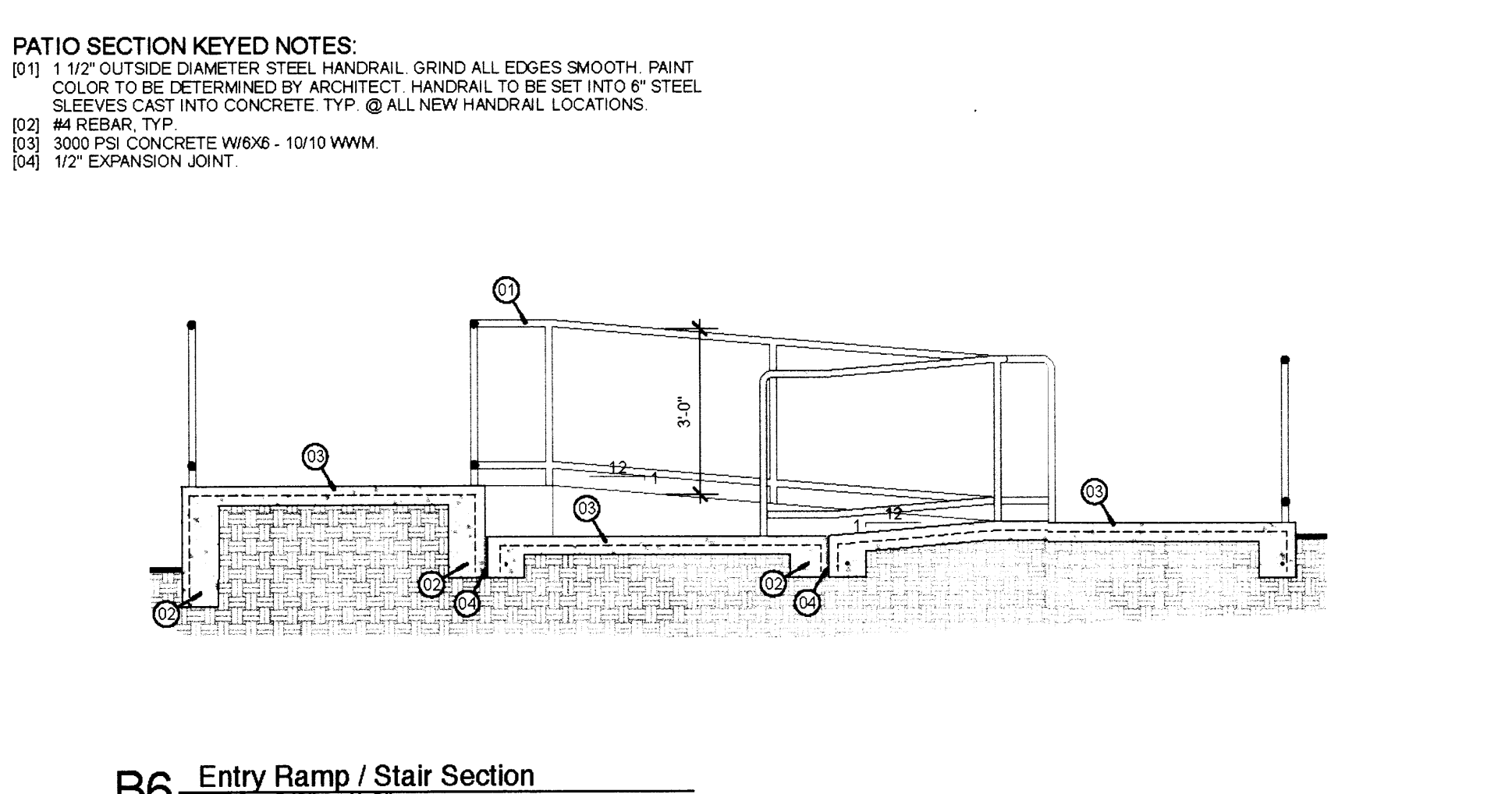
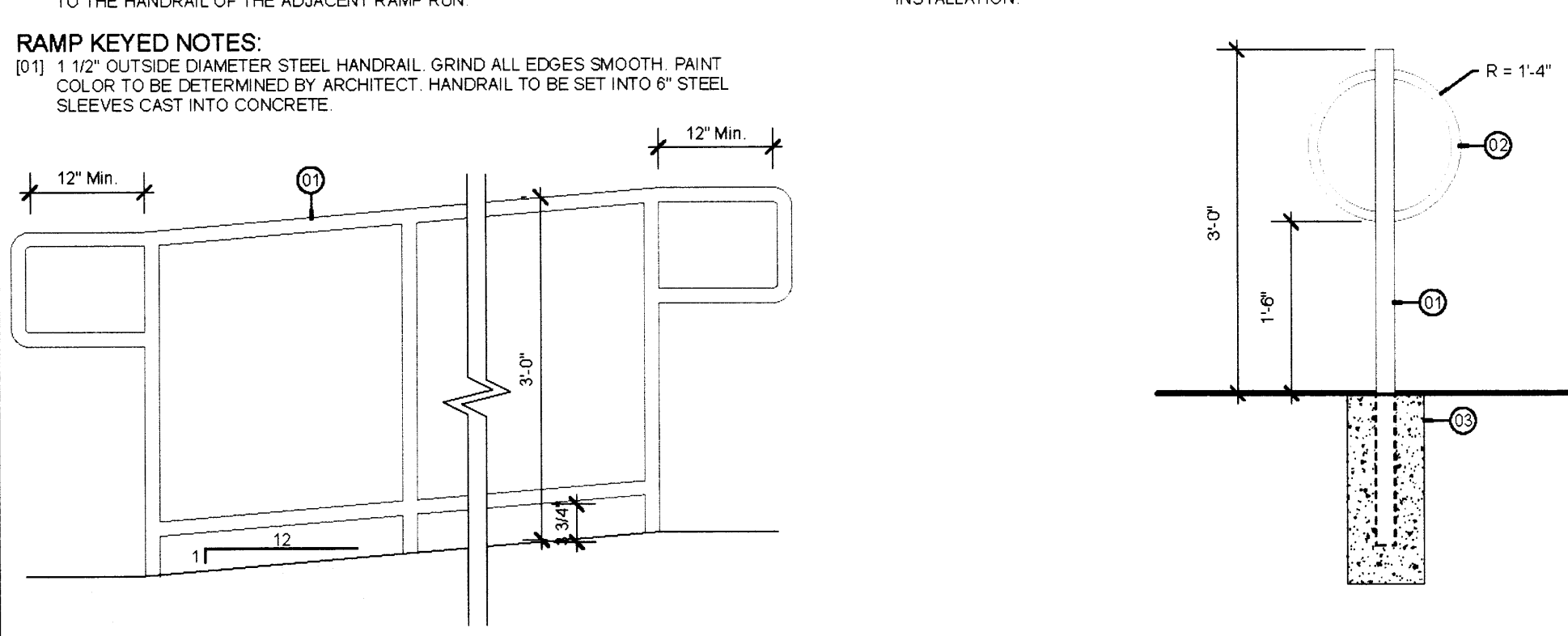


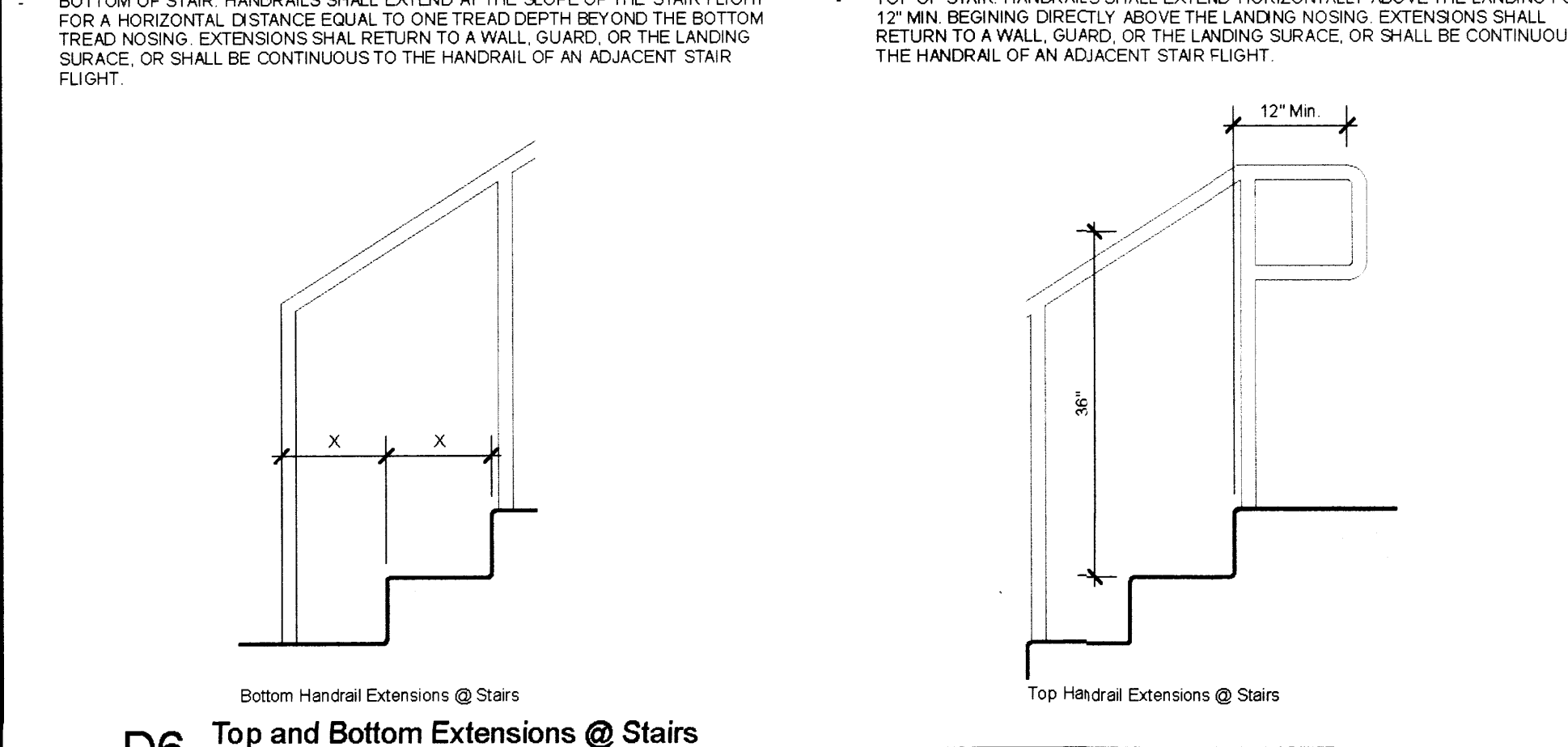
**A6 Entry Ramp / Stair Enlarged Plan**  
Scale: 3/8" = 1'-0"



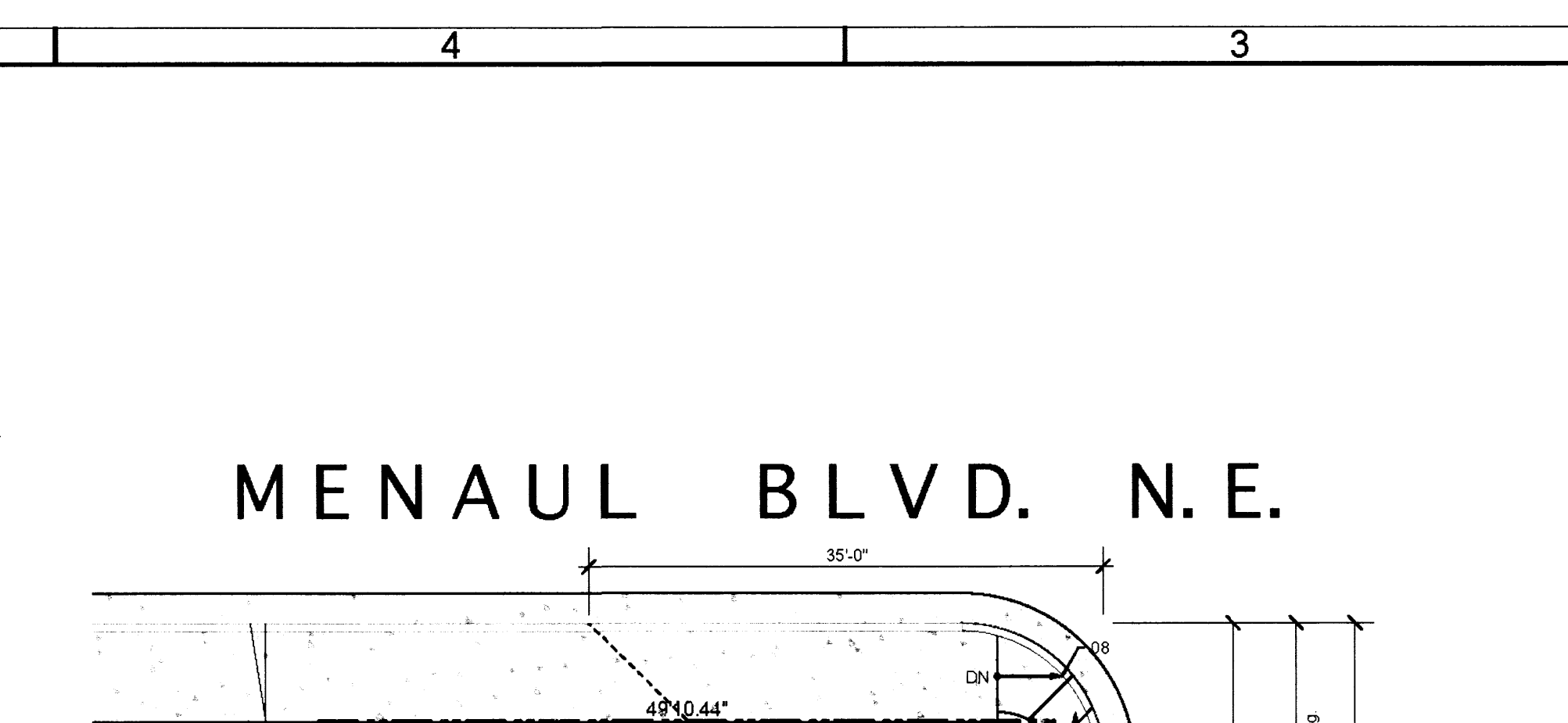
**B6 Entry Ramp / Stair Section**  
Scale: 3/8" = 1'-0"



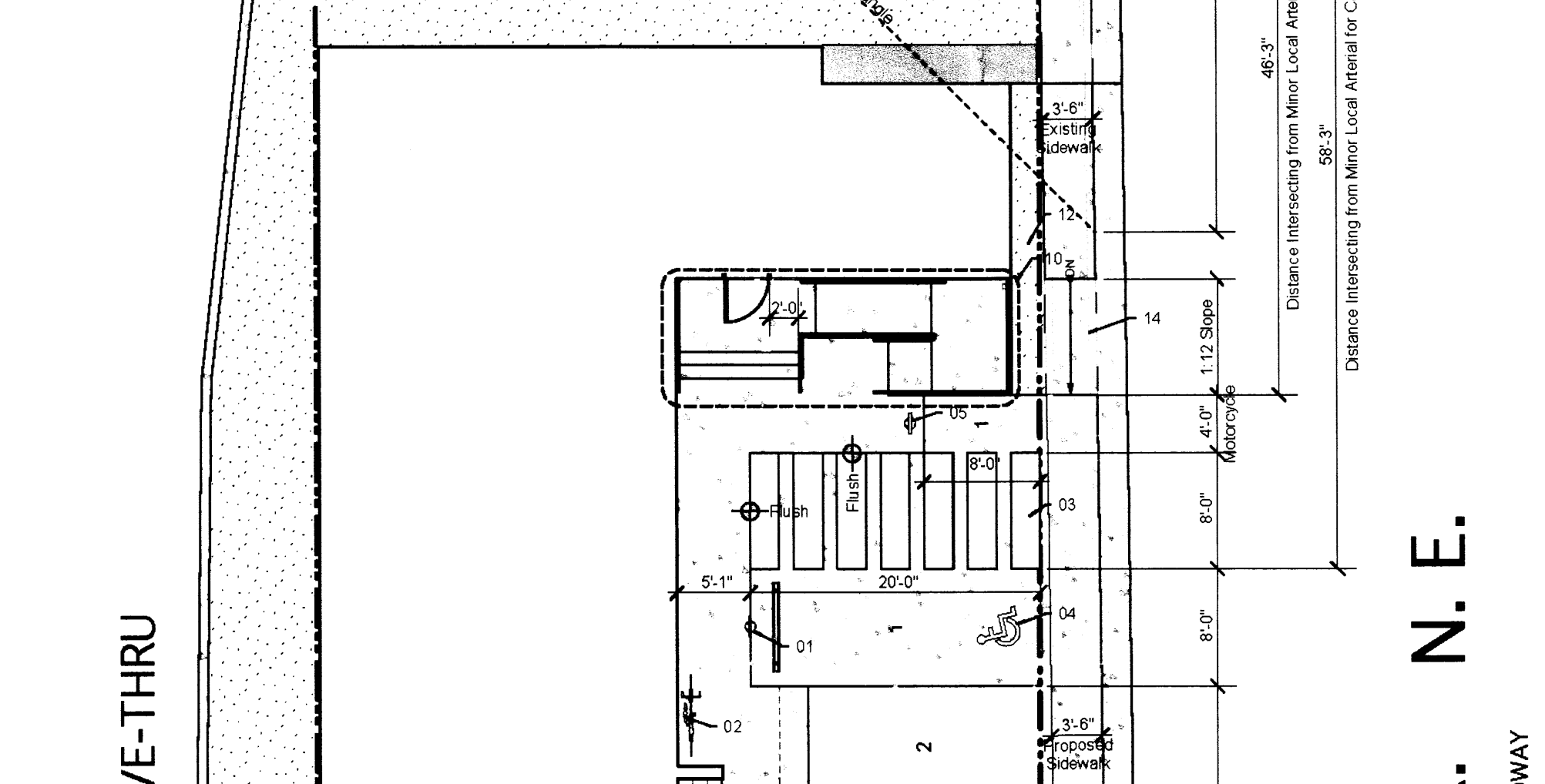
**C6 Ramp Details**  
Scale: 1 1/2" = 1'-0"



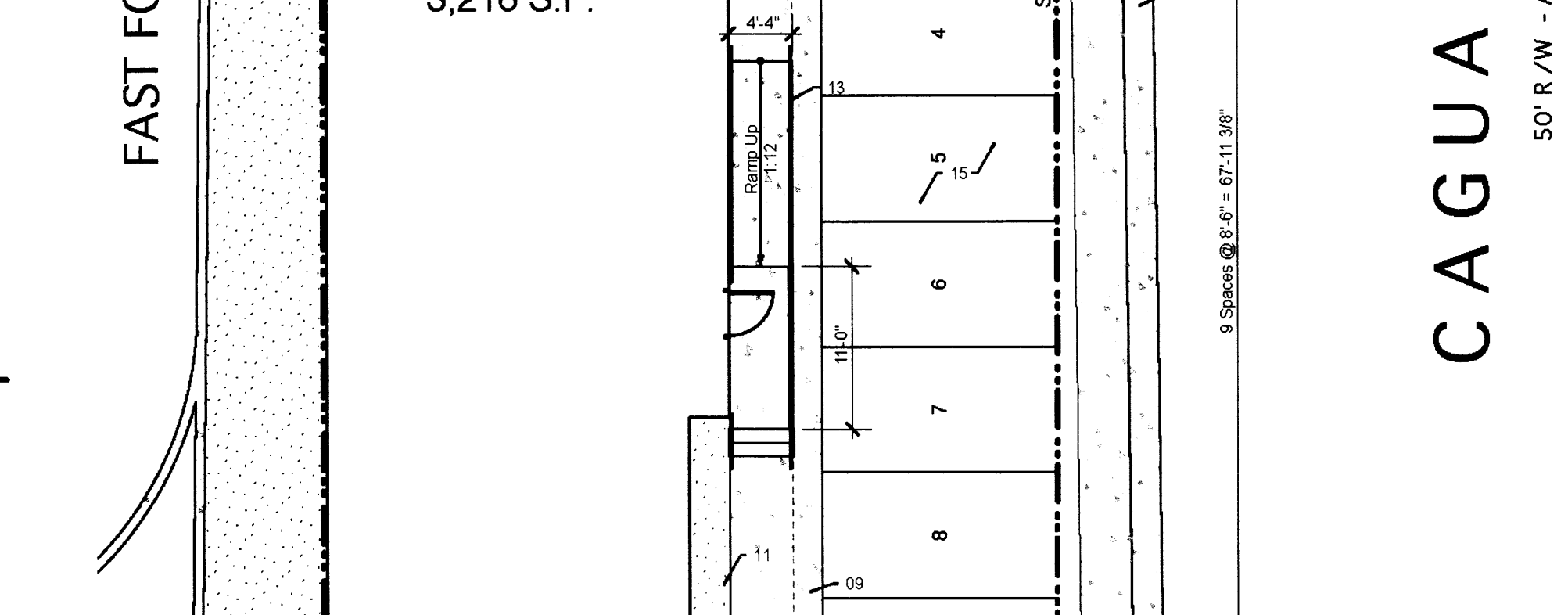
**D6 Top and Bottom Extensions @ Stairs**  
Scale: 1 1/2" = 1'-0"



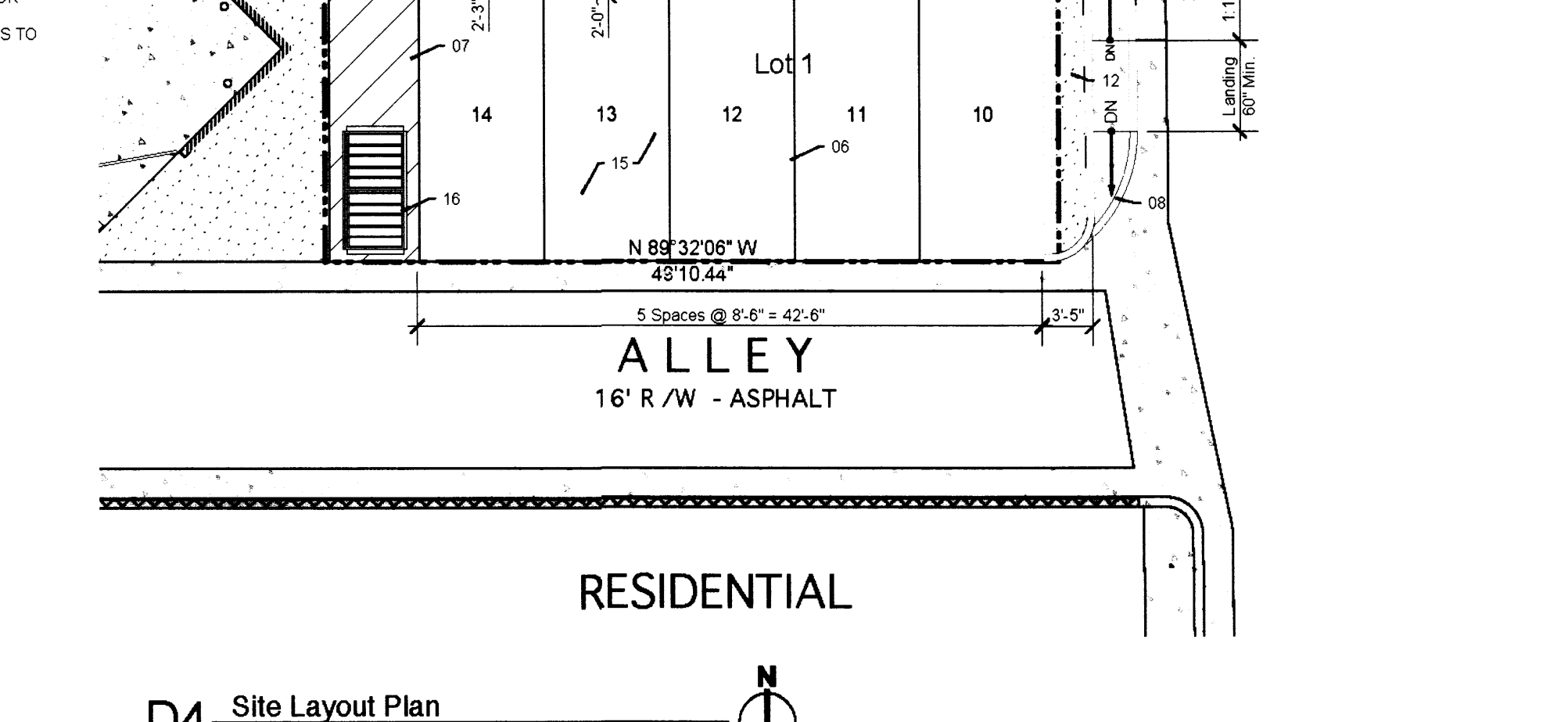
**A2 HC Parking Striping Detail**  
Scale: 3/16" = 1'-0"



**B2 Typical Handicap Parking Sign**  
Scale: 1/2" = 1'-0"



**C5 Bicycle Rack**  
Scale: 3/4" = 1'-0"



**D4 Site Layout Plan**  
Scale: 1" = 10'

**HC PARKING STRIPING KEYED NOTES:**

- (01) SIDEWALK FLUSH WITH ASPHALT SURFACE, TYP.
- (02) HANDICAPPED PAVEMENT PARKING SIGN, COORDINATE PER CITY STANDARDS
- (03) 24" WHITE ALKLYD STRIPING
- (04) 4" WHITE ALKLYD STRIPING

**PROJECT DESCRIPTION**

LEGAL DESCRIPTION: LOT 2, BLOCK 102, SUBDIVISION BEL-AIR

PHYSICAL ADDRESS: 5820 MENAUL BLVD NE ALBUQUERQUE, NM 87110

CURRENT ZONING: C-2

ZONE MAP: H18

PARKING REQUIRED PER CITY ZONING CODE

OFF-STREET PARKING REGULATIONS (14-16-3-1)

DENTAL OFFICE (5 SPACES FOR EACH DOCTOR)

3 DOCTORS = 15 SPACES

10% BUS CREDIT = 1.5 SPACES

PROVIDED H.C. SPACES = 14 SPACES

HANDICAPPED PARKING FACILITIES (14-16-3-1-F)

REQUIRED H.C. SPACES = 1 SPACE

PROVIDED H.C. SPACES = 1 SPACE

(1 VAN ACCESSIBLE/ISLE)

BICYCLE PARKING FACILITIES (14-16-3-1-B)

REQUIRED SPACES: 1 SPACE / 20 PARKING SPACES = 1 SPACES

PROVIDED SPACES = 2 SPACES

MOTORCYCLE PARKING FACILITIES (14-16-3-1-C)

REQUIRED SPACES = 1 SPACE

PROVIDED SPACES = 1 SPACE

**SITE PLAN GENERAL NOTES:**

THE INTENT OF THIS DRAWING IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THIS PROJECT. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS.

ALL SITE GEOMETRY SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEY OR UTILIZING ARCHITECTS SITE BASE AND GPS SURVEY STATION.

ALL PAVEMENT MARKINGS SHALL BE MADE WITH WHITE ALKLYD STRIPING UNLESS NOTED OTHERWISE AND INSTALLED PER ALL GOVERNMENTAL TRAFFIC STANDARDS AND DETAILS.

ALL EXTERIOR CONCRETE SHALL HAVE A ROCK SALT FINISH UNLESS SPECIFIED OTHERWISE.

CONTRACTOR TO COORDINATE THAT NEW CONCRETE BEING POURED ADJACENT TO EXISTING CONCRETE SHALL BE DOWELED IN PER CITY STANDARDS.

**SITE PLAN KEYED NOTES:**

- (01) ACCESSIBLE PARKING SIGN TYP. AT HANDICAP PARKING SPACES. PROVIDE SIGNAGE PER CITY ORDINANCES AND DESIGN GUIDELINES. SEE DETAIL THIS SHEET.
- (02) BIKE RACK. SEE DETAIL THIS SHEET.
- (03) AREA DENOTES NEW NON-PARKING AREA FOR ACCESSIBLE AISLE SERVING PARKING SPACE TO BE STRIPED OUT AS REQUIRED. USE ALKLYD STRIPING OVER ASPHALT THIS AREA.
- (04) ACCESSIBLE PARKING SYMBOL TYP. @ ACCESSIBLE PARKING SPACES. COORDINATE SYMBOL PER CITY STANDARDS.
- (05) MOTORCYCLE PARKING SIGN, TYP. AT ALL MOTORCYCLE SPACES. SEE DETAIL THIS SHEET.
- (06) NEW STRIPED PARKING SPACES. USE 4" ALKLYD STRIPING OVER ASPHALT THIS AREA.
- (07) AREA DENOTES NEW NON-PARKING AREA TO BE STRIPED OUT AS REQUIRED. USE 4" ALKLYD STRIPING OVER ASPHALT THIS AREA.
- (08) EXISTING PUBLIC SIDEWALK RAMP TO REMAIN. CONTRACTOR TO VERIFY THAT EXISTING RAMP MEETS ACCESSIBILITY STANDARDS.
- (09) NEW CONCRETE WALK TYP. ALONG FACADE OF BUILDING. TO BE PROVIDED AT 4" ABOVE ASPHALT.
- (10) NEW ACCESSIBLE RAMP AND LANDING REQUIRED AT BUILDING ENTRANCE. COORDINATE RAMP MEETS ANSI RAMP REQUIREMENTS. COORDINATE RAMP HANDRAIL AND LANDING GUARDRAIL MEETS ANSI REQUIREMENTS. COORDINATE PER DETAILS THIS SHEET.
- (11) LANDSCAPE AREA. COORDINATE IRRIGATION AS REQUIRED.
- (12) SAW OUT AND REMOVE EXISTING ASPHALT TO ADD NEW LANDSCAPE AREA. COORDINATE IRRIGATION AS REQUIRED. PLANTING LOCATED IN CLEAR SITE TRIANGLE SHALL BE COORDINATED TO NOT IMPED VISIBILITY PER CITY STANDARDS.
- (13) NEW ACCESSIBLE RAMP, LANDING, AND STAIRS REQUIRED. COORDINATE RAMP AND STAIRS MEET ANSI RAMP REQUIREMENTS. COORDINATE HANDRAIL MEETS ANSI REQUIREMENTS. COORDINATE PER DETAILS THIS SHEET.
- (14) NEW CITY OF ALBUQUERQUE CURB ACCESS RAMP. COORDINATE WITH CITY STANDARDS. SEE DETAIL THIS SHEET.
- (15) REMOVE EXISTING ASPHALT AND INSTALL NEW BLACKTOP FOR NEW PARKING SPACES. BLACKTOP OR EQUAL TO BE TWO INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT AND A FOUR INCH COMPACTED SUBGRADE, OR A SURFACE OF EQUAL OR SUPERIOR PERFORMANCE CHARACTERISTICS.
- (16) EXISTING REFUSE CONTAINER TO BE UTILIZED IN SAME CONDITION AS CURRENTLY BEING USED.
- (17) MOUNTABLE CURB ROLL TYPE AT DRIVE PAD. COORDINATE PER CITY STANDARDS. WORK DONE WITHIN PUBLIC RIGHT-OF-WAY WILL ACQUIRE A WORK ORDER WITH DRC APPROVED PLANS. COORDINATE PER DETAIL THIS SHEET.
- (18) INSTALL SPLASHPLOK APPROPRIATE FOR ROOF DRAINAGE.

**LEGEND:**

- PROPERTY LINE
- CONCRETE
- ASPHALT
- LANDSCAPING
- DENOTING NON-PARKING AREA

**HANDICAPPED SIGN KEYED NOTES:**

- (01) PLACARD SUPPORT POST. (FINISH AS NOTED ON SITE PLAN).
- ALT. 1- 2" STEEL SQUARE TUBE POST.
- ALT. 2- U-CHANNEL POST.
- ALT. 3- 2" ROUND STEEL POST.
- (02) ACCESSIBLE (OR ALTERNATE) PLACARD AS NOTED ON SITE PLAN. COORDINATE PLACARD DESIGN W/ LOCAL AGENCY SPECIFICATIONS.
- (03) POST MOUNTING OPTIONS.
- ALT. 1- RAM SET INTO EARTH - SET POSTS AT DEPTH APPROPRIATE FOR SOLID INSTALLATION.
- ALT. 2- SET POSTS INTO CONCRETE FOOTING APPROPRIATE FOR SOLID INSTALLATION.

**TRAFFIC CIRCULATION LAYOUT APPROVED**

Sign: [Signature] Date: 8-15-13

**VICINITY MAP**

Map showing the project location relative to surrounding streets: MENAUL, CAGUA, SAN PEDRO, CORONADO, VONETIA, CARDENAS.

**RECEIVED**

JUL 24 2013

LAND DEVELOPMENT SECTION

**Comfort Dental\_Coronado**

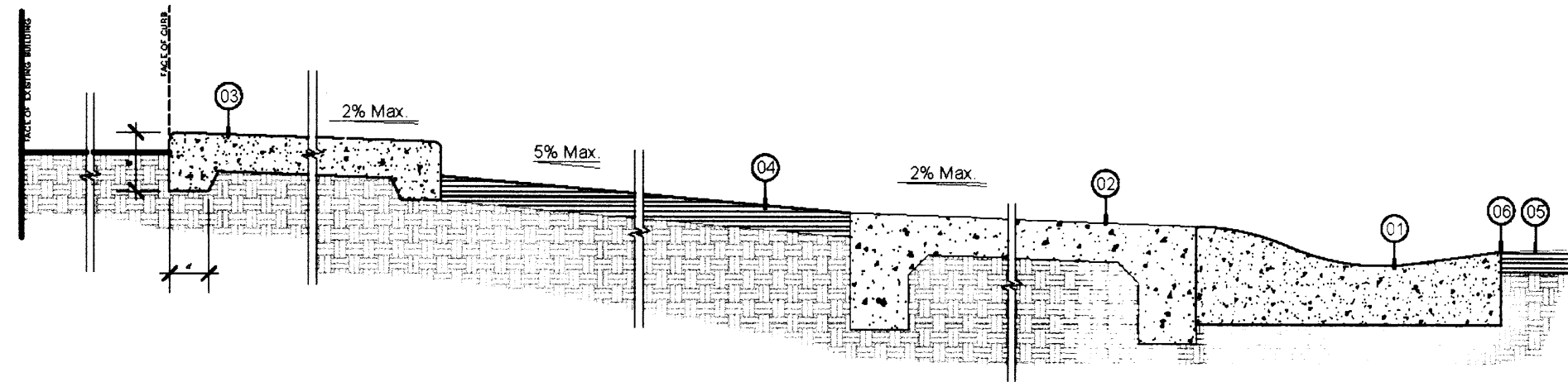
5820 Menaul Blvd NE

Albuquerque, NM 87110

**Traffic Circulation Layout Plan / Details**

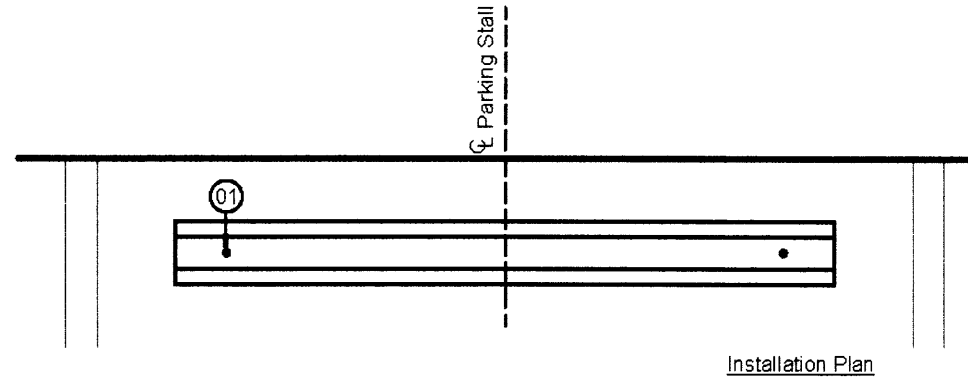
**TCL.01**

DETAIL @ PUBLIC SIDEWALK GENERAL NOTES:  
[01] MOUNTABLE CURB ROLL TYPE. COORDINATE PER DETAIL THIS SHEET.  
[02] PUBLIC SIDEWALK. COORDINATE PER CITY STANDARDS AND DETAILS THIS SHEET.  
[03] PRIVATE SIDEWALK. COORDINATE PER DETAILS THIS SHEET.  
[04] NEW ASPHALT PARKING SPACES. ASPHALT TO BE 2" INCHES OF ASPHALTIC CONCRETE OR A PRIME COAT OVER 4" COMPACTED SUBGRADE OR A SURFACE OF EQUAL OR SUPERIOR PERFORMANCE CHARACTERISTICS.  
[05] EXISTING PUBLIC ROADWAY.  
[06] PRIOR TO REMOVAL OF EXISTING CONCRETE SAW CUT TO PROVIDE A STRAIGHT LINE FOR NEW CONCRETE POUR. INTENT IS TO PROVIDE CLEAN CUT AT FACE OF ASPHALT WITH NO ASPHALT PATCH REQUIRED.



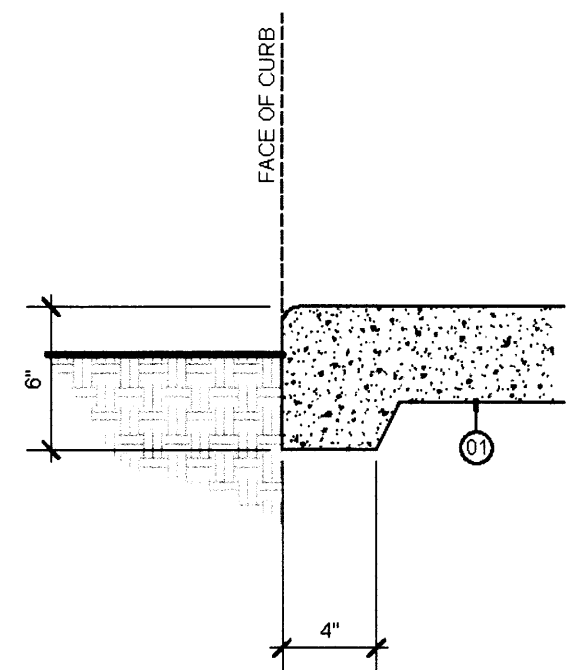
A6 Detail @ Public Sidewalk  
Scale: 3/4" = 1'-0"

WHEELSTOP KEYED NOTES:  
[01] 3/4" DIA REINFORCING ROD TO BE PLACED IN A TIGHT FITTING HOLE DRILLED IN THE FINISHED SURFACE.  
[02] PROVIDE DRAINAGE OPENING, TYP.



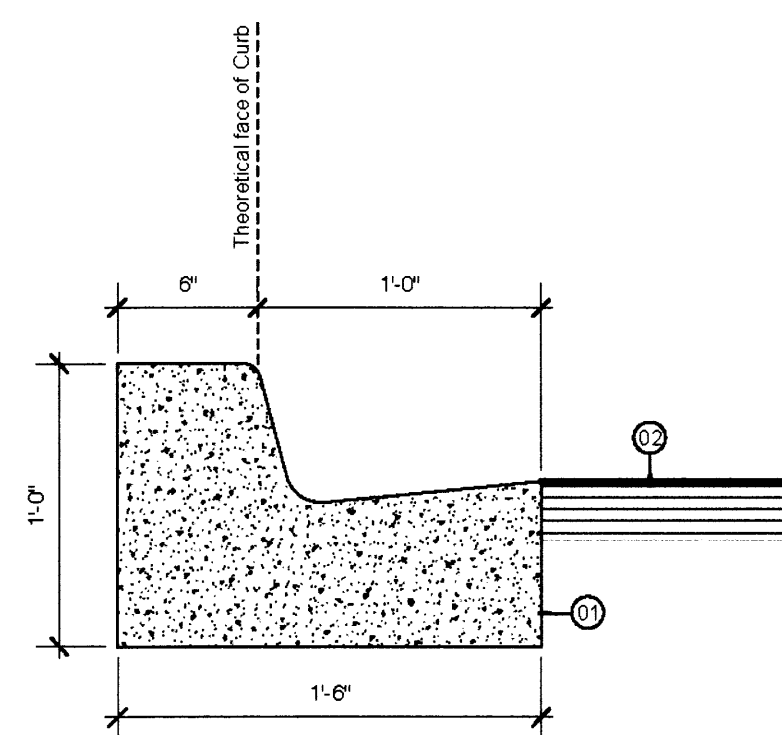
B6 Precast Concrete Wheelstop  
Scale: 1/2" = 1'-0"

PLANTER EDGE KEYED NOTES:  
[01] 3000 PSI MINIMUM CONCRETE. PROVIDE CONTROL JOINTS @ 6'-0" O.C. TYP.



C6 Planter Edge  
Scale: 1 1/2" = 1'-0"

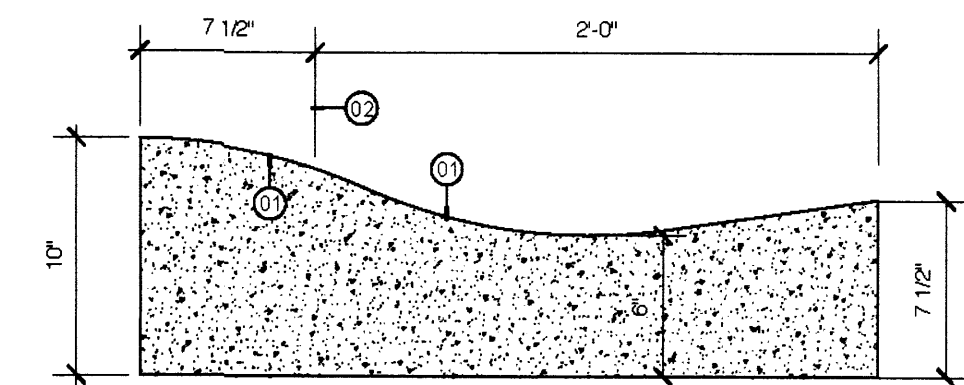
CURB & GUTTER KEYED NOTES:  
[01] 3000PSI MINIMUM CONCRETE. PROVIDE CONTROL JOINTS @ 6'-0" O.C. TYP.  
[02] ASPHALT PAVING.



D6 Curb & Gutter  
Scale: 1 1/2" = 1'-0"

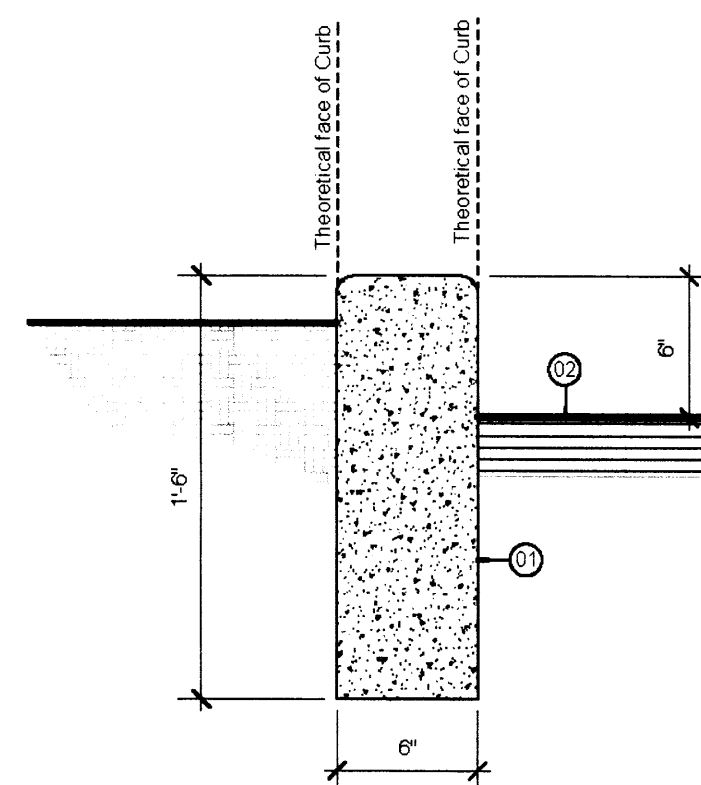
MOUNTABLE CURB ROLL TYPE GENERAL NOTES:  
- CURB AND GUTTER WILL BE CONSTRUCTED OF PORTLAND CEMENT FOR STANDARD AND MEDIAN C&G ADJACENT TO ASPHALT CONCRETE PAVEMENT. PROVIDE CONTRACTION JOINTS AT 12' MAX. SPACING. CONTRACTION JOINTS SHALL BE EITHER SAWED OR TOOLED A MIN. OF 1" DEEP @ FINISHED FACES. 1/2" EXPANSION JOINTS TO BE INSTALLED AT CURB RETURNS AND AT MAXIMUM SPACING OF 200' BETWEEN CURB RETURNS AND SEPARATELY CONSTRUCTED DRIVEWAYS.  
- FOR C&G CONSTRUCTED WITH PORTLAND CEMENT CONCRETE. CONTRACTION JOINTS AND EXPANSION JOINTS SHALL BE THE SAME AS THE PAVEMENT JOINTS.  
- ALL EDGES SHALL BE EDGED WITH A 3/8" EDGING TOOL.  
- IF ASPHALT PATCHING IS REQUIRED, REMOVE AND REPLACE ASPHALT WITH A MINIMUM 12" WIDE STRIP ADJACENT TO EDGE OF GUTTER.  
- 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND C&G WHEN CAST ADJACENT TO EACH OTHER.  
- COORDINATE DETAIL WITH CITY OF ALBUQUERQUE STANDARDS DRAWING 2415A

MOUNTABLE CURB ROLL TYPE KEYED NOTES:  
[01] 24" RADIUS  
[02] THEORETICAL FACE OF CURB OR FLOWLINE



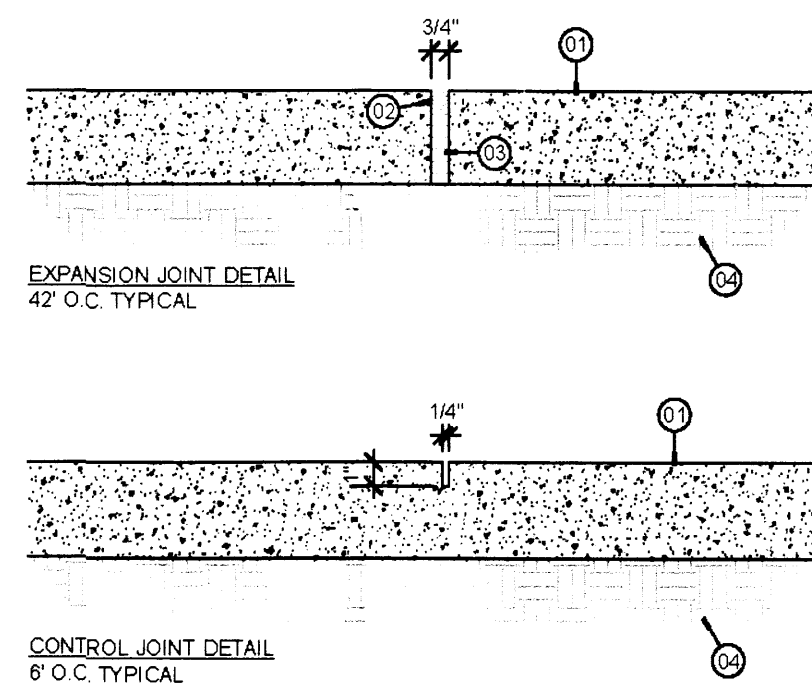
B5 Mountable Curb Roll Type  
Scale: 1 1/2" = 1'-0"

STANDING CURB KEYED NOTES:  
[01] 3000PSI MINIMUM CONCRETE. PROVIDE CONTROL JOINTS @ 6'-0" O.C. TYP.  
[02] ASPHALT PAVING



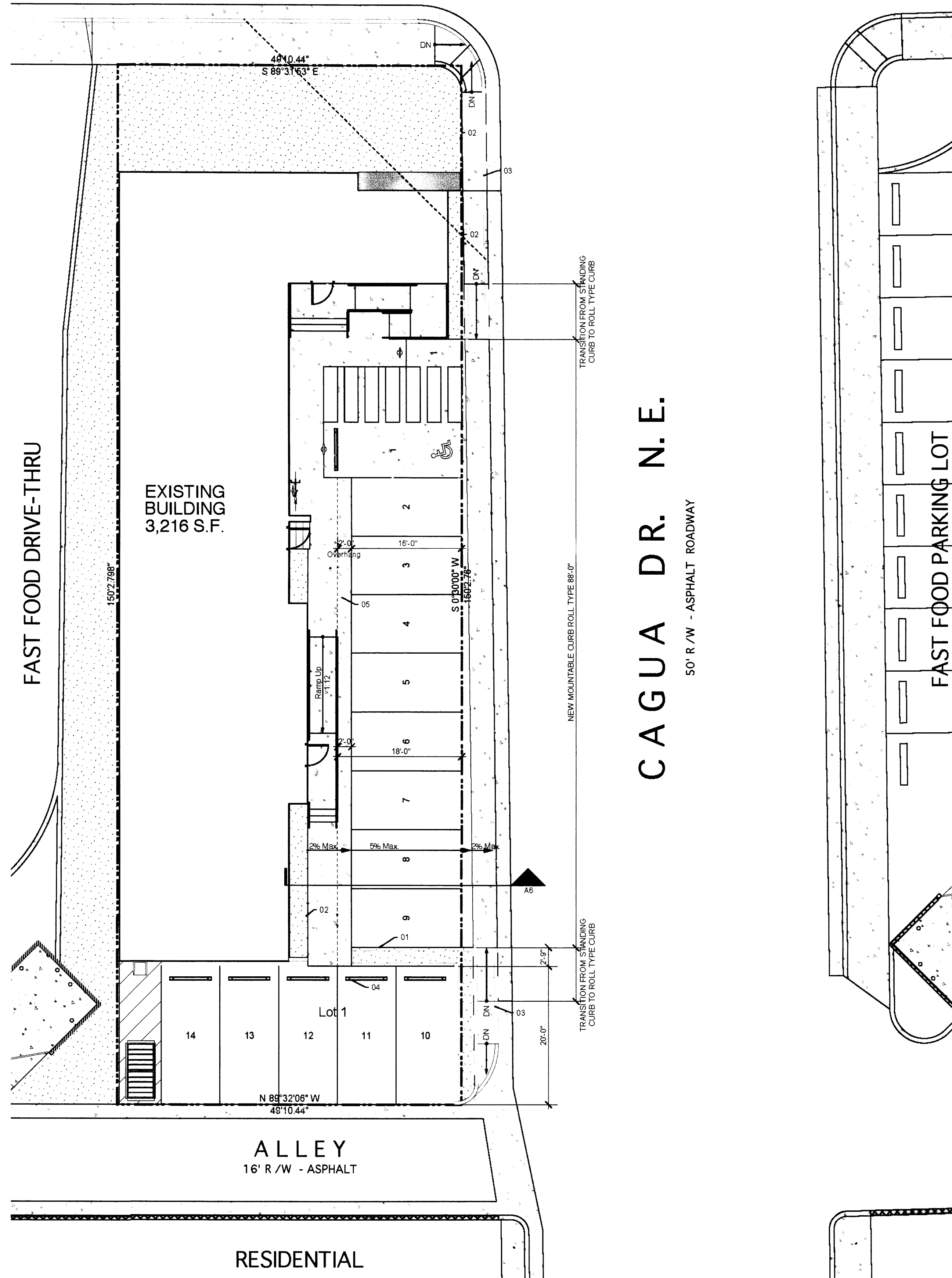
C5 Standing Curb  
Scale: 1 1/2" = 1'-0"

CONCRETE JOINT KEYED NOTES:  
[01] 3000 PSI MINIMUM CONCRETE  
[02] SEALANT  
[03] EXPANSION JOINT MATERIAL  
[04] COMPACTED SUBGRADE



D5 Concrete Joint Details  
Scale: 1 1/2" = 1'-0"

## MENAU BLVD. N.E.



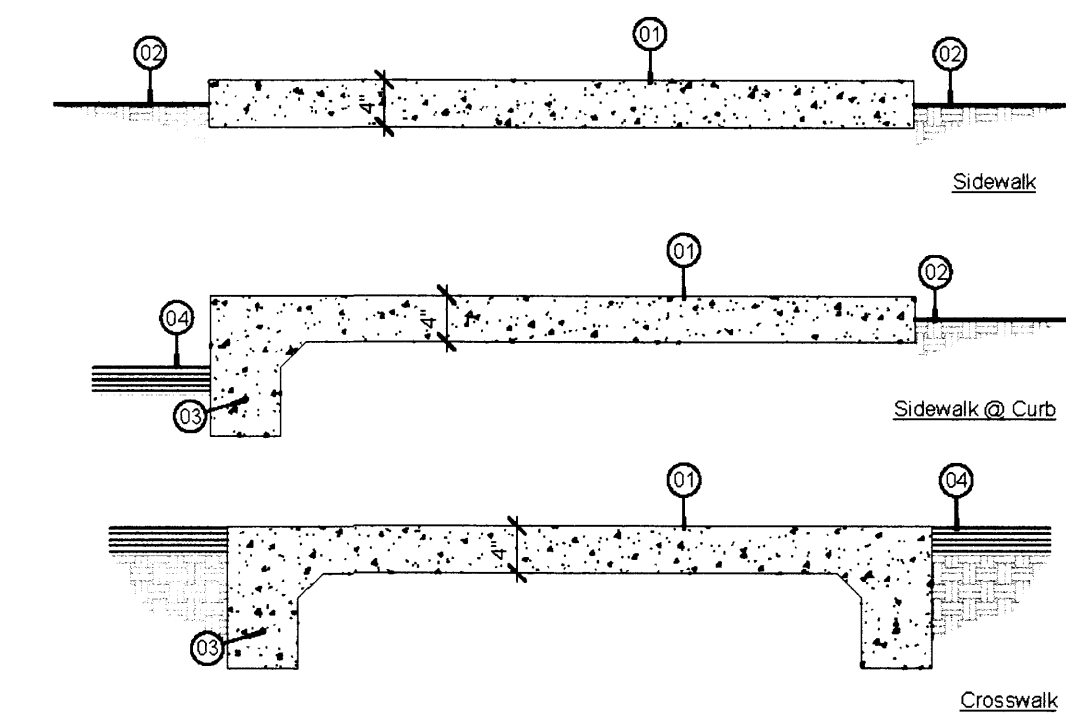
D4 Site Plan  
Scale: 1" = 10 ft

SITE PLAN GENERAL NOTES:  
- THE INTENT OF THIS DRAWING IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THIS PROJECT. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS.  
- ALL SITE GEOMETRY SHALL BE ESTABLISHED IN THE FIELD BY A LICENSED SURVEY OR UTILIZING ARCHITECT'S SITE BASE AND GPS SURVEY STATION.  
- ALL PAVEMENT MARKINGS SHALL BE MADE WITH WHITE ALKYD STRIPING (UNLESS NOTED OTHERWISE) AND INSTALLED PER ALL GOVERNMENTAL TRAFFIC STANDARDS AND DETAILS.  
- ALL EXTERIOR CONCRETE SHALL HAVE A ROCK SALT FINISH UNLESS SPECIFIED OTHERWISE.  
- CONTRACTOR TO COORDINATE THAT NEW CONCRETE BEING POURED ADJACENT TO EXISTING CONCRETE SHALL BE DOWELED IN PER CITY STANDARDS.  
- COORDINATE ALL DEMO WITH DEMO PLAN THIS SET.  
- COORDINATE ALL LANDSCAPING PER LANDSCAPE PLAN THIS SET.

SITE PLAN KEYED NOTES:  
[01] NEW 6" CONCRETE CURB. COORDINATE PER CITY STANDARDS. SEE DETAIL THIS SHEET.  
[02] PLANTER. COORDINATE PLANTER EDGE WITH DETAIL THIS SHEET. COORDINATE LANDSCAPE PER LANDSCAPE PLAN.  
[03] EXISTING PUBLIC SIDEWALK. VERIFY EXISTING CONDITION AND REPLACE / REPAIR PORTIONS IN NEED OF ATTENTION. COORDINATE NEW CURB CUT FOR SITE ACCESS. COORDINATE PER CITY ORDINANCES AND DESIGN GUIDELINES. EXISTING CONCRETE ADJACENT TO NEW CONCRETE SHALL BE DOWELED IN PER CITY STANDARDS.  
[04] PRE-CAST CONCRETE WHEEL STOP. PROVIDE PER CITY STANDARDS.  
[05] NEW CONCRETE WALK, TYP ALONG FACADE OF BUILDING. COORDINATE JOINTS PER CONCRETE JOINT DETAILS THIS SHEET.

LEGEND:  
- - - PROPERTY LINE  
CONCRETE  
ASPHALT  
LANDSCAPING  
DENOTING NON-PARKING AREA

SIDEWALK KEYED NOTES:  
[01] 3000PSI MINIMUM CONCRETE. PROVIDE CONTROL JOINTS @ 6'-0" O.C. TYP. & EXPANSION JOINTS AT 42'-0" O.C.  
[02] LANDSCAPE OR FINISH GRADE  
[03] #5 REBAR, TYP  
[04] ASPHALT PAVING



C1 Pedestrian Sidewalks  
Scale: 3/4" = 1'-0"

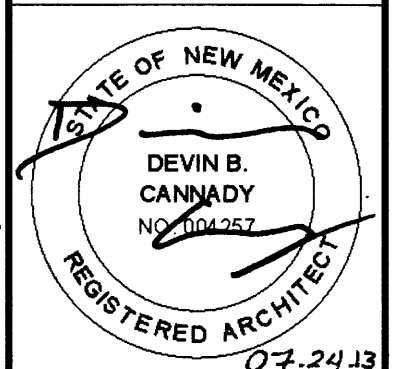
**CANNADY**  
ARCHITECT STUDIO  
300 ADAMS STREET SE  
505.299.1111 Phone  
cannadystudio.com

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Project Title  
**Comfort Dental\_Coronado**  
5820 Menaul Blvd. NE  
Albuquerque, NM 87110

Drawing Title  
**Infrastructure Site Plan**

Documents Issued For  
Traffic Circulation Layout



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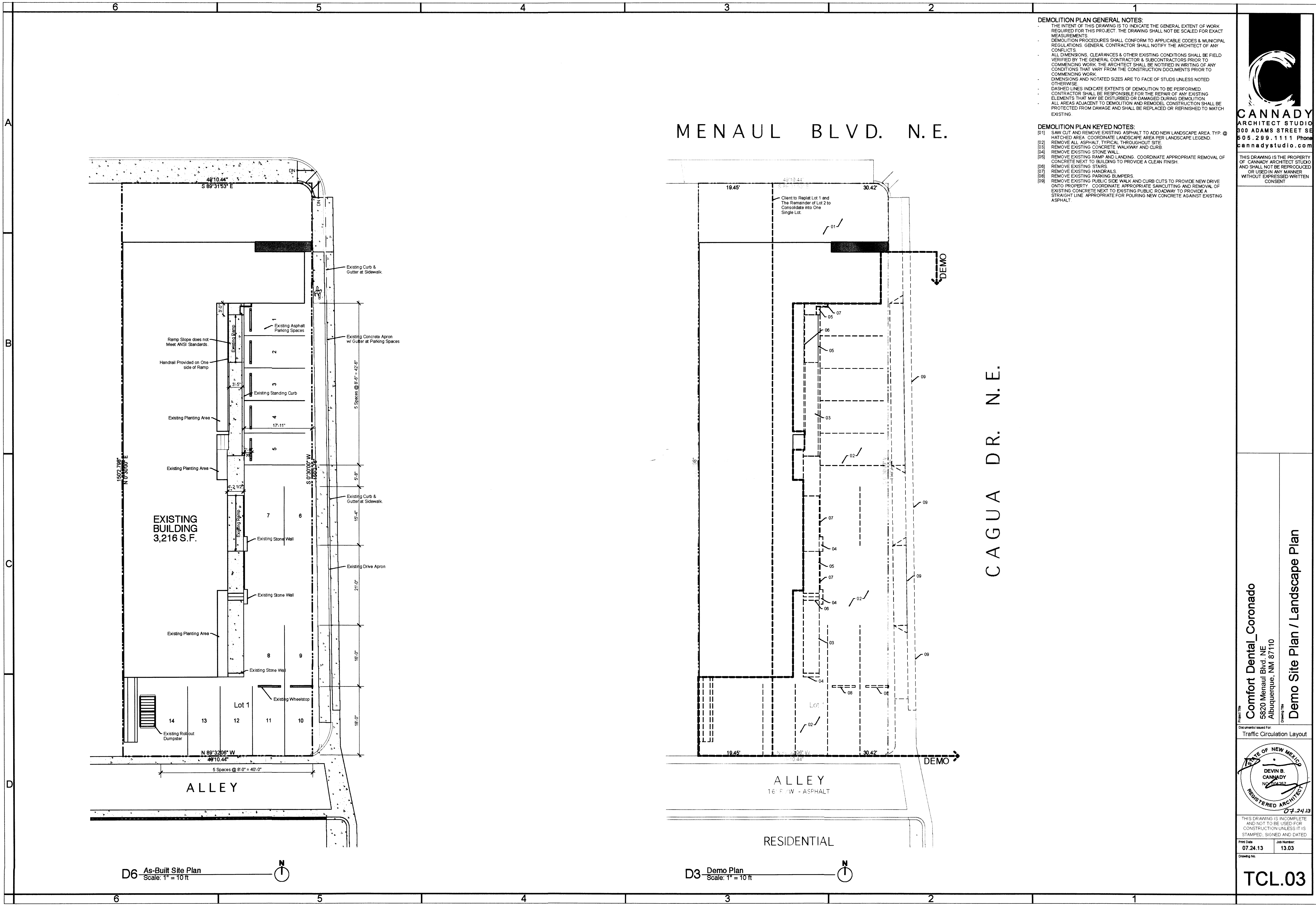
Print Date  
07.24.13

Job Number  
13.03

Drawing No.

**TCL.02**





**DEMOLITION PLAN GENERAL NOTES:**

- THE INTENT OF THIS DRAWING IS TO INDICATE THE GENERAL EXTENT OF WORK REQUIRED FOR THIS PROJECT. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS.
- DEMOLITION PROCEDURES SHALL CONFORM TO APPLICABLE CODES & MUNICIPAL REGULATIONS. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY CONFLICTS.
- ALL DIMENSIONS, CLEARANCES & OTHER EXISTING CONDITIONS SHALL BE FIELD VERIFIED BY THE GENERAL CONTRACTOR & SUBCONTRACTORS PRIOR TO COMMENCING WORK. THE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY CONDITIONS THAT VARY FROM THE CONSTRUCTION DOCUMENTS PRIOR TO COMMENCING WORK.
- DIMENSIONS AND NOTATED SIZES ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE.
- DASHED LINES INDICATE EXTENTS OF DEMOLITION TO BE PERFORMED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY EXISTING ELEMENTS THAT MAY BE DISTURBED OR DAMAGED DURING DEMOLITION.
- ALL AREAS ADJACENT TO DEMOLITION AND REMODEL CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE AND SHALL BE REPLACED OR REFINISHED TO MATCH EXISTING.

**DEMOLITION PLAN KEYED NOTES:**

- [01] SAW CUT AND REMOVE EXISTING ASPHALT TO ADD NEW LANDSCAPE AREA. TYP. @ HATCHED AREA. COORDINATE LANDSCAPE AREA PER LANDSCAPE LEGEND.
- [02] REMOVE ALL ASPHALT, TYPICAL THROUGHOUT SITE.
- [03] REMOVE EXISTING CONCRETE WALKWAY AND CURB.
- [04] REMOVE EXISTING STONE WALL.
- [05] REMOVE EXISTING RAMP AND LANDING. COORDINATE APPROPRIATE REMOVAL OF CONCRETE NEXT TO BUILDING TO PROVIDE A CLEAN FINISH.
- [06] REMOVE EXISTING STAIRS.
- [07] REMOVE EXISTING HANDRAILS.
- [08] REMOVE EXISTING PARKING BUMPERS.
- [09] REMOVE EXISTING PUBLIC SIDE WALK AND CURB CUTS TO PROVIDE NEW DRIVE ONTO PROPERTY. COORDINATE APPROPRIATE SAWCUTTING AND REMOVAL OF EXISTING CONCRETE NEXT TO EXISTING PUBLIC ROADWAY TO PROVIDE A STRAIGHT LINE APPROPRIATE FOR POURING NEW CONCRETE AGAINST EXISTING ASPHALT.

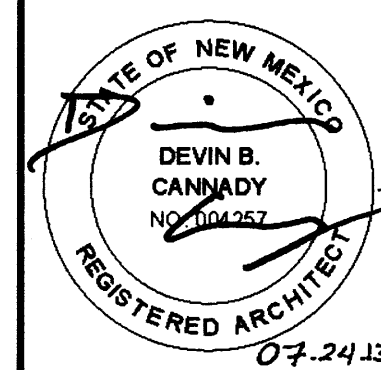


**CANNADY**  
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Project Title  
**Comfort Dental\_Coronado**  
5820 Menaul Blvd. NE  
Albuquerque, NM 87110

Documents Issued For:  
Traffic Circulation Layout



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Print Date: 07.24.13 Job Number: 13.03  
Drawing No:

**TCL.03**