

August 31, 2020

Kenneth Myers, RA
KMA
220 Hermosa Drive NE
Albuquerque NM 87108

Re: **Comfort Dental**
5820 Menaul NE
Traffic Circulation Layout
Architect's Stamp 08-27-2020 (H18-D068)

Dear Mr. Myers,

The TCL submittal received 08-27-2020 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Milo Salgado-Fernandez, P.E.
Senior Engineer, Planning Dept.
Development Review Services

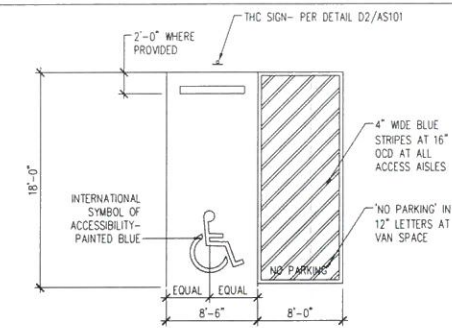
C: CO Clerk, File

PO Box 1293

Albuquerque

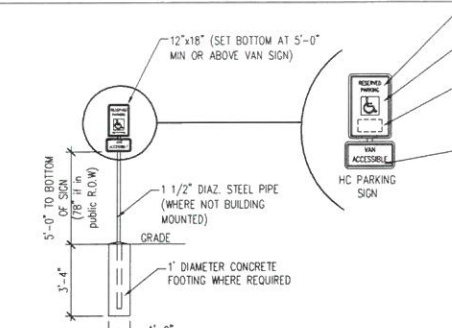
NM 87103

www.cabq.gov



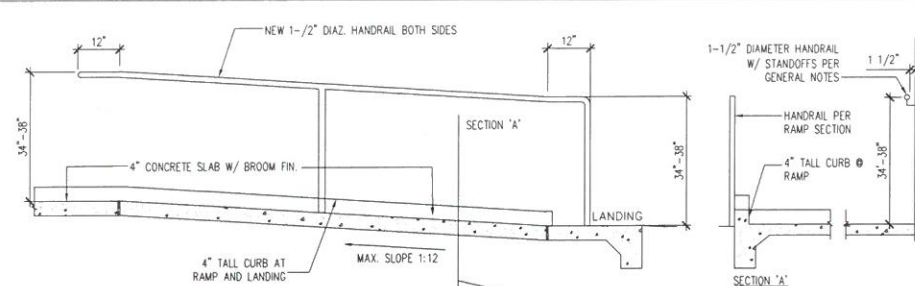
D1 HC PARKING DETAIL

1/8"=1'-0"



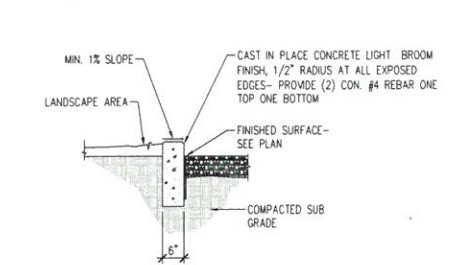
D2 HC SIGN DETAIL

1/4"=1'-0"



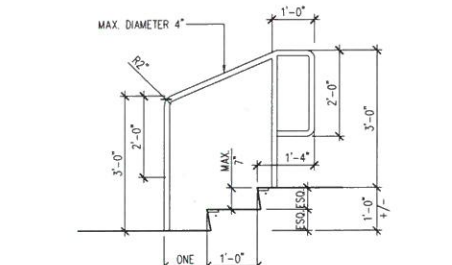
D3 RAMP DETAIL

1/2"=1'-0"



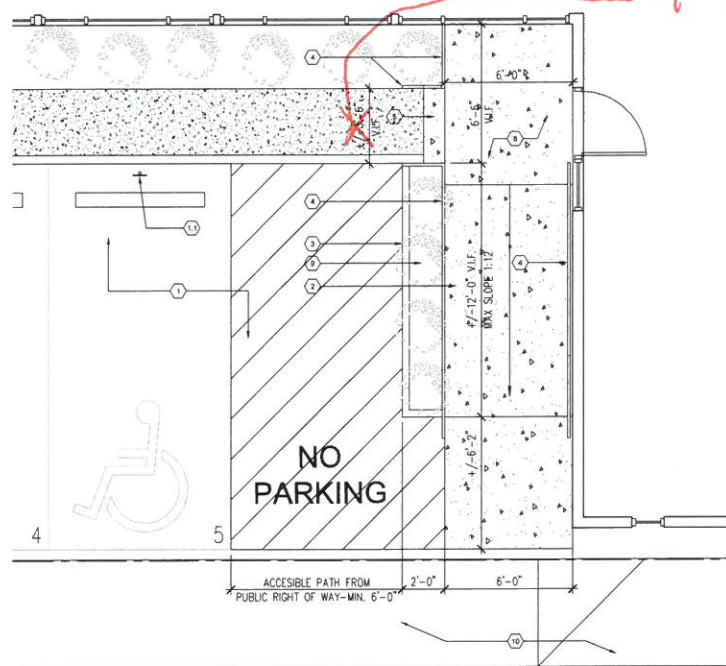
C1 CONCRETE MOW CURB DETAIL

1/2"=1'-0"



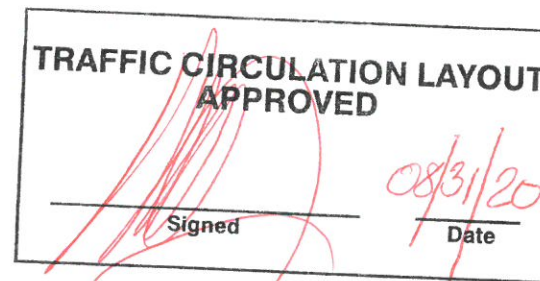
C2 CONCRETE STEP DETAIL

1/2"=1'-0"



B1 ENLARGED PLAN- ENTRY

1/4"=1'-0"

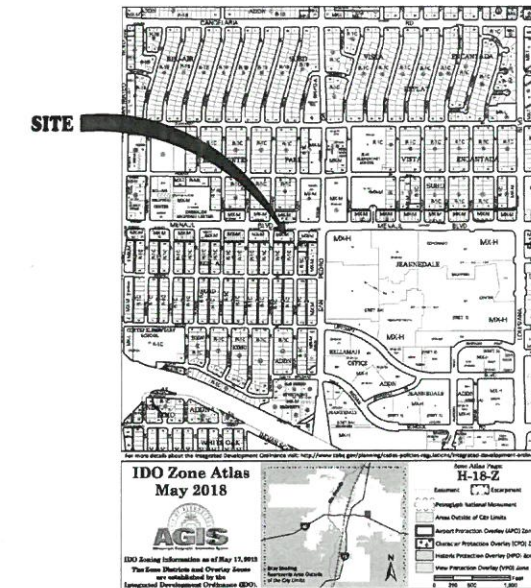


EXECUTIVE SUMMARY/ GENERAL NOTES

- EXISTING PARKING LOT TO REMAIN- NO CHANGE TO SURFACE
- NO CHANGE TO PARKING COUNT- HC SPACE HAS BEEN RELOCATED FOR BETTER ACCESS TO BUILDING AND TO ACCOMMODATE NEW RAMP LOCATION
- ONE HC PARKING SPACE AND ACCESS ISLE REQUIRED PER ZONING ONE REMAINS
- NO WORK TO TAKE PLACE WITHIN THE PUBLIC RIGHT OF WAY

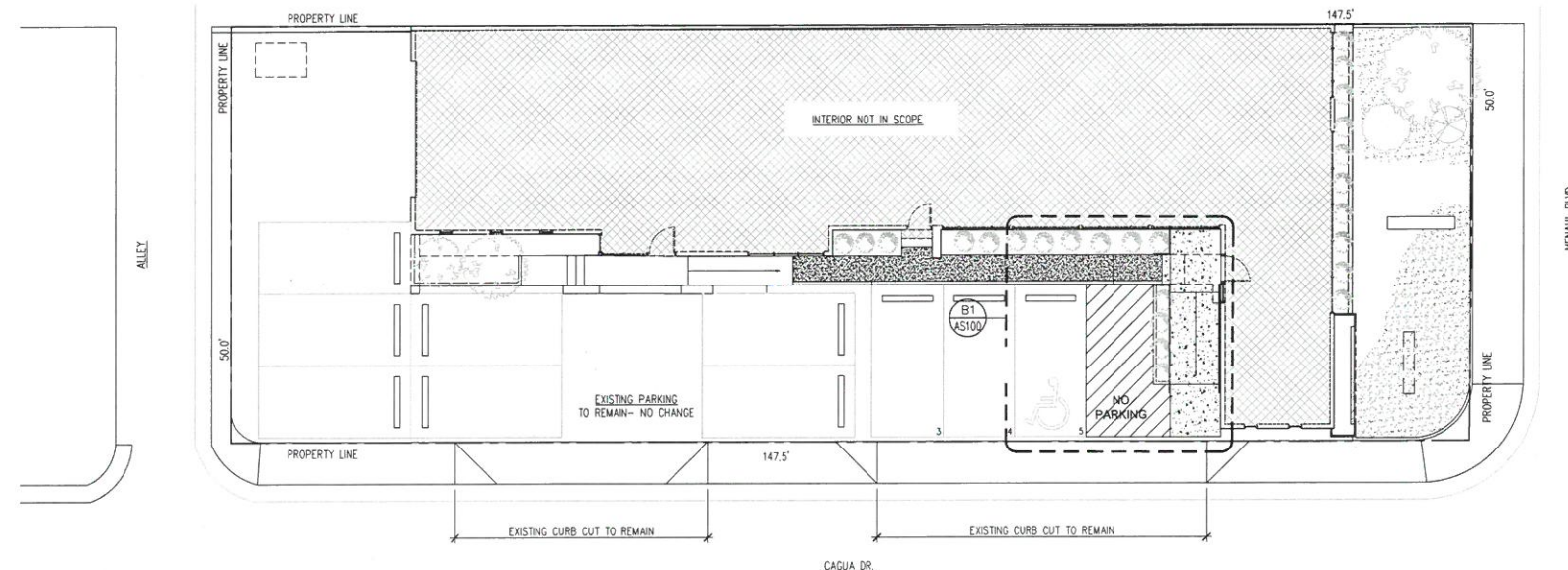
KEYED NOTES- PLANS

- RELOCATED HC PARKING SPACE-SEE DETAIL D1/AS100
- NEW HC SIGN PER DETAIL D2/AS100
- NEW MOW CURB PER DETAIL C1/AS100
- NEW HC RAMP PER DETAIL D3/AS100
- NEW HANDRAIL PER DETAIL D3/AS100 (RAMP) AND C2/AS100 (STAIRS)
- NOT USED
- NOT USED
- EXISTING LANDING TO REMAIN
- NEW LANDSCAPING AREA- PROVIDE GRAVEL AND GROUND COVER
- EXISTING PUBLIC SIDEWALK TO REMAIN



B4 ZONING ATLAS PAGE

NTS



A1 TCL PLAN

1"=10'-0"

COMFORT DENTAL
5820 MENAUL BLVD.NE
ALBUQUERQUE, NM 87110



SIGNATURE DATE: *[Signature]* 08/27/2020

+KMA
KENNETH MYERS, ARCHITECT
220 Hemosa Dr. NE
Albuquerque, NM 87108
T:518-354-9914
KENNY@KENNETHMYERS.COM

Project: **COMFORT DENTAL**
Drawn By: **KMA** Checked By: **KMA**
Phase: **PERMIT SET**
Date: **08/12/2020**

Drawing Title:
**TRAFFIC
CIRCULATION
LAYOUT PLAN**

Project Number:
2020

Sheet Number:

AS100