

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

August 4, 2023

Matthew D. Korte, P.E.
Langan Engineering
2999 Olympus Blvd., Suite 165
Dallas, TX 75019

**RE: McDonald's
5900 Menaul Blvd. NE
Grading & Drainage Plans
Engineer's Stamp Date: 08/02/23
Hydrology File: H18D070**

Dear Mr. Korte:

PO Box 1293

Albuquerque

Based upon the information provided in your submittal received 07/10/2023, the Grading & Drainage Plans are approved for Building Permit, Grading Permit, and Work Order. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for **\$25.00** made out to "**Bernalillo County**" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review at Plaza de Sol.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

CITY OF ALBUQUERQUE

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If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT _____ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE REPORT
- _____ DRAINAGE MASTER PLAN
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ STREET LIGHT LAYOUT
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

FULL PATH: C:\Users\lgawar\OneDrive\Documents\Projects\2023\Grading\Grading Plans\Grading Plan C7.0.dwg

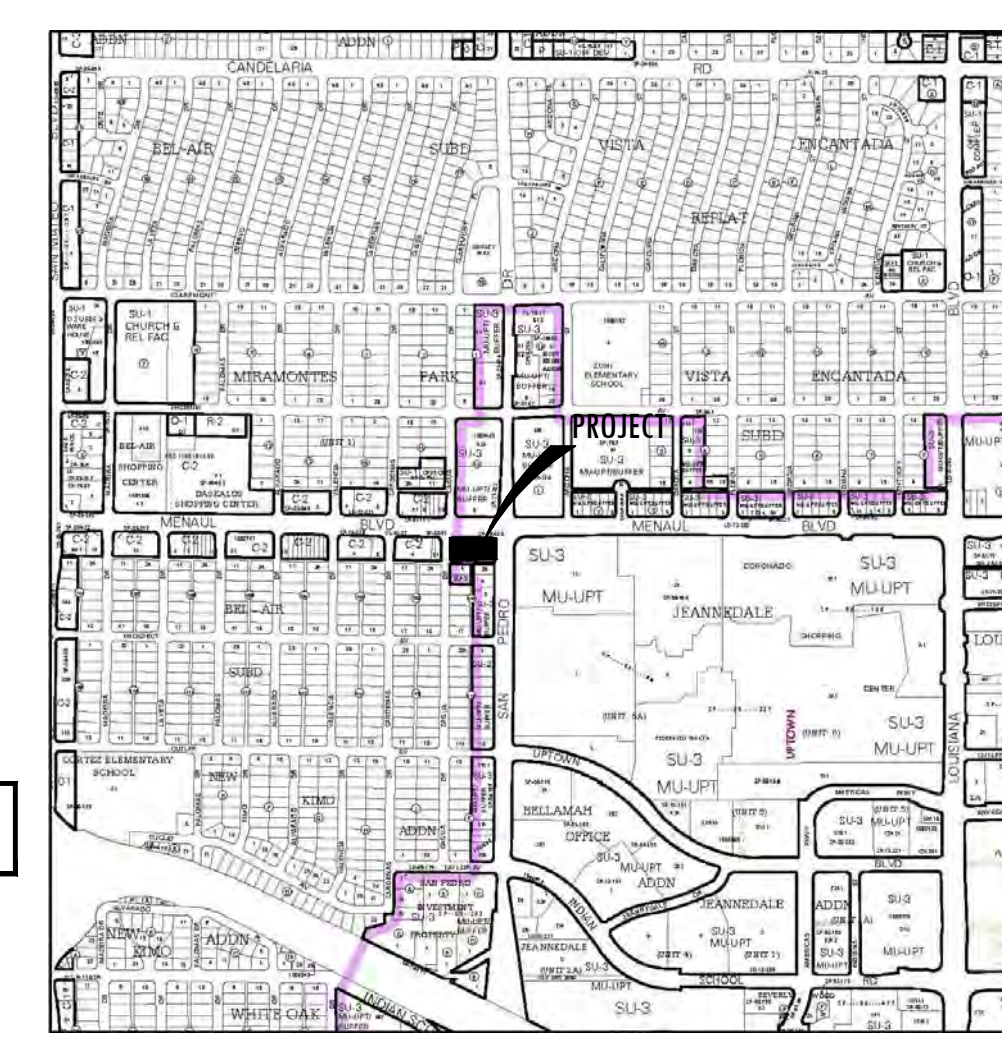
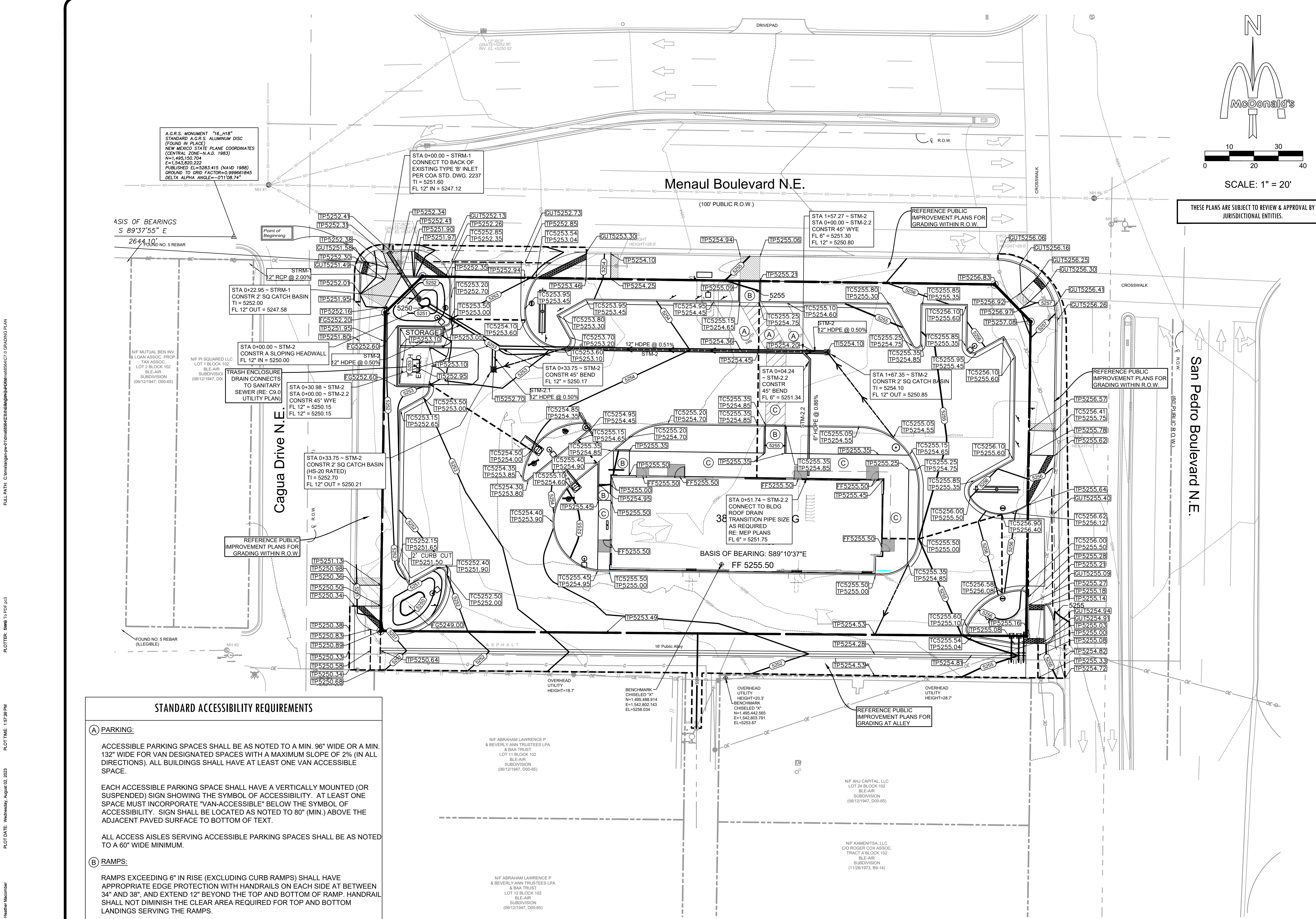
PLOTTER: DWG To PDF v3

PLOT TIME: 1:27:29 PM

PLOT DATE: Wednesday, August 02, 2023

PLOTTED BY: Heather Macomber

FILENAME: C7.0 GRADING PLAN.dwg



VICINITY MAP (ZONE ATLAS H-18-Z N.T.S.)

NOTE: NO WORK SHALL BE PERFORMED IN THE PUBLIC R.O.W. WITHOUT AN APPROVED WORK ORDER OR EXCAVATION PERMIT.

NOTE: REFER TO SHEET C8.1 FOR STORM CALCULATIONS.

BENCHMARK

1. A.G.R.S. MONUMENT "18_H18" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,495,167.654 E=1,541,177.063 PUBLISHED EL=5232.741 (NAVD 1988) GROUND TO GRID FACTOR=0.999661845 DELTA ALPHA ANGLE=0°11'27.04"

2. A.G.R.S. MONUMENT "16_H18" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,495,150.704 E=1,543,820.222 PUBLISHED EL=5283.415 (NAVD 1988) GROUND TO GRID FACTOR=0.999661845 DELTA ALPHA ANGLE=0°11'08.74"

**** FEMA NOTE ****

According to Map No. 35001C0352H, Dated AUGUST 16, 2012, of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within flood zone "X", areas determined to be outside the 0.2% annual chance floodplain. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Langan Engineering.

LEGEND

TC = PROPOSED TOP OF CURB
TP = PROPOSED TOP OF PAVEMENT
FG = PROPOSED FINISHED GRADE
FF = PROPOSED FINISHED FLOOR
TI = PROPOSED TOP OF INLET

--- SWALE
--- GRADE BREAK
--- RIDGE LINE
--- XXX --- EXISTING CONTOUR
--- XXX --- PROPOSED CONTOUR
--- LEVEL LANDING @ 2% MAX SLOPE IN ANY DIRECTION

LEGAL DESCRIPTION

TRACT B-1, BLOCK 101
BEL-AIR SUBDIVISION
CITY OF ALBUQUERQUE,
FILED IN THE OFFICE OF THE COUNTY CLERK,
BERNALILLO COUNTY, NEW MEXICO, ON
MARCH 21, 2023 IN DOC# 2023016713

STANDARD ACCESSIBILITY REQUIREMENTS

(A) PARKING:

ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 80" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

(B) RAMPS:

RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38" AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).

LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" VERTICAL RISE.

RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).


(C) SIDEWALKS AND ACCESSIBLE ROUTES:

SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).

LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).




DESIGNED		MAR 2023		HJM	
DRAWN		MAR 2023		HJM	
CHECKED		MAY 2023		TNT	
AS-BUILT					
GRADING PLAN					
C7.0					


OFFICE		LONG BEACH FIELD OFFICE		MCDONALD'S LLC: 030-0001	
ADDRESS		110 N. CARPENTER ST., CHICAGO, IL 60607			
		McDonald's USA, LLC			
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OPERATIONS DEPT.					
REAL ESTATE DEPT.					
CO-SIGN SIGNATURES					
CONTRACTOR		5900 MENAUL BLVD. NE ALBUQUERQUE, NM			
OWNER					

PLAN APPROVALS		DATE		SIGNATURE (2 REQUIRED)	
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OWNER					


DESIGNED		MAR 2023		HJM	
DRAWN		MAR 2023		HJM	
CHECKED		MAY 2023		TNT	
AS-BUILT					
GRADING PLAN					
C7.0					

OFFICE		LONG BEACH FIELD OFFICE		MCDONALD'S LLC: 030-0001	
ADDRESS		110 N. CARPENTER ST., CHICAGO, IL 60607			
		McDonald's USA, LLC			
These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall remain the confidential and proprietary property of McDonald's USA, LLC. No part of these drawings or specifications may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of McDonald's USA, LLC. This drawing is for informational purposes only and is not to be used for construction. Use of this drawing for any other purpose without the prior written permission of McDonald's USA, LLC is strictly prohibited. McDonald's USA, LLC is not responsible for any errors or omissions in this drawing. McDonald's USA, LLC is not responsible for any damages, including consequential damages, arising from the use of this drawing. McDonald's USA, LLC is not responsible for any claims, including consequential claims, arising from the use of this drawing.					
REGIONAL MGR.					
CONST. MGR.					
OPERATIONS DEPT.					
REAL ESTATE DEPT.					
CO-SIGN SIGNATURES					
CONTRACTOR		5900 MENAUL BLVD. NE ALBUQUERQUE, NM			
OWNER					

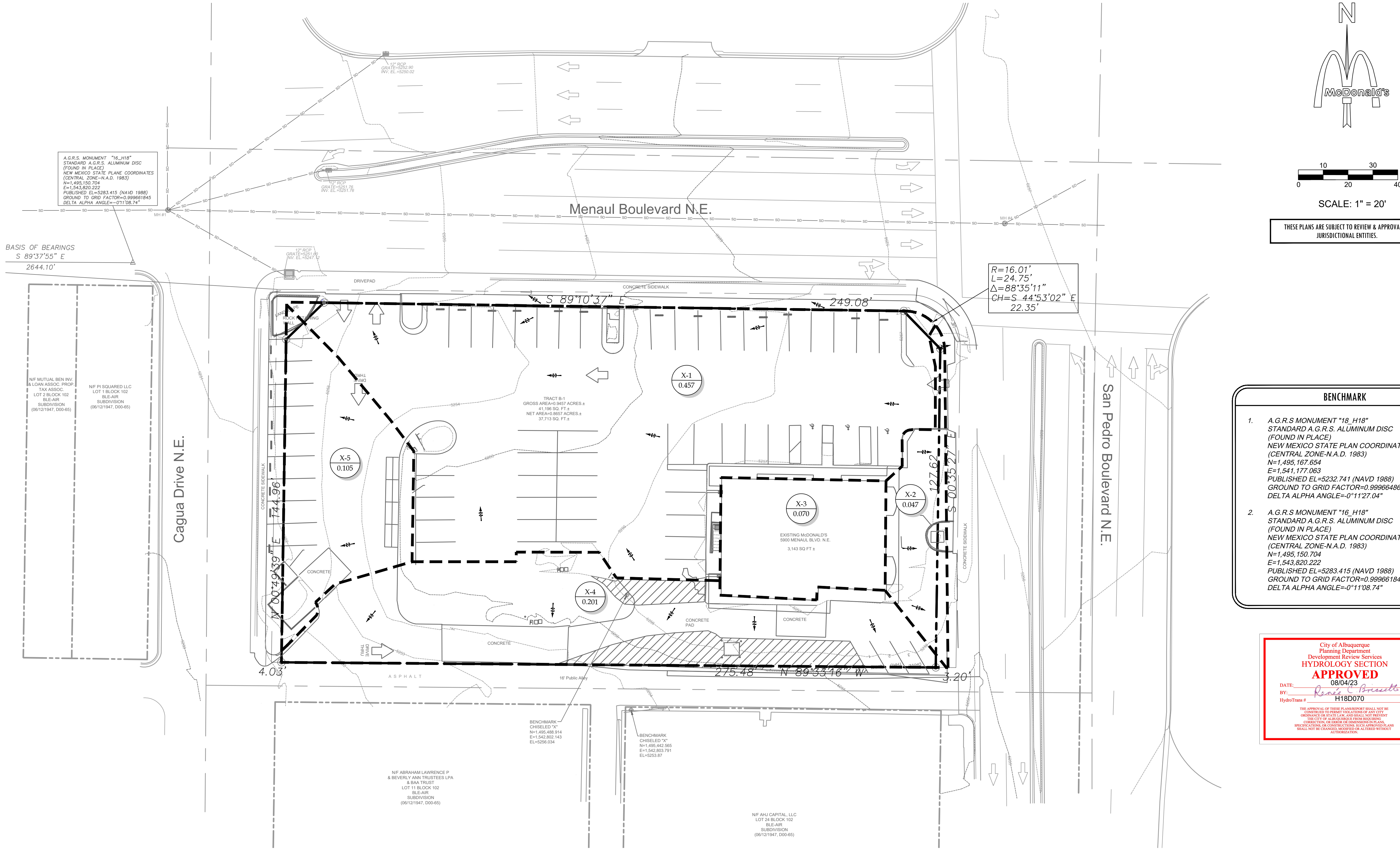
DESIGNED		MAR 2023		HJM	
DRAWN		MAR 2023		HJM	
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AS-BUILT					
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C7.0					

OFFICE		LONG BEACH FIELD OFFICE		MCDONALD'S LLC: 030-0001	
ADDRESS		110 N. CARPENTER ST., CHICAGO, IL 60607			
		McDonald's USA, LLC			
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REGIONAL MGR.					
CONST. MGR.					
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CO-SIGN SIGNATURES					
CONTRACTOR		5900 MENAUL BLVD. NE ALBUQUERQUE, NM			
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DESIGNED		MAR 2023		HJM	
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C7.0					

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ADDRESS		110 N. CARPENTER ST., CHICAGO, IL 60607			
		McDonald's USA, LLC			
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OPERATIONS DEPT.					
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CONTRACTOR		5900 MENAUL BLVD. NE ALBUQUERQUE, NM			
OWNER					

DESIGNED		MAR 2023		HJM	
DRAWN		MAR 2023		HJM	
CHECKED		MAY 2023		TNT	
AS-BUILT					



- BENCHMARK**
- A.G.R.S MONUMENT "18_H18" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,495,167.654 E=1,541,177.063 PUBLISHED EL=5232.741 (NAVD 1988) GROUND TO GRID FACTOR=0.999664864 DELTA ALPHA ANGLE=-0°11'27.04"
 - A.G.R.S MONUMENT "16_H18" STANDARD A.G.R.S. ALUMINUM DISC (FOUND IN PLACE) NEW MEXICO STATE PLAN COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,495,150.704 E=1,543,820.222 PUBLISHED EL=5283.415 (NAVD 1988) GROUND TO GRID FACTOR=0.999661845 DELTA ALPHA ANGLE=-0°11'08.74"



LEGEND		
	DRAINAGE AREA LINE	
	EXISTING CONTOUR	
	DRAINAGE AREA NUMBER DRAINAGE AREA (ACRES)	
	EXISTING DRAINAGE DIRECTION	

PRE-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS									
Basin ID	Area (ac)	Land Treatment Condition				Excess Precipitation	Volume	Peak Discharge	Remarks
		A	B	C	D	(in)	(acft)	(cfs)	
X-1	0.457	0.000	0.000	0.014	0.443	2.29	0.09	2.27	Sheet flow North to Menaul Blvd
X-2	0.047	0.000	0.038	0.017	0.030	2.31	0.01	0.31	Sheet flow East to San Pedro Blvd
X-3	0.070	0.000	0.000	0.000	0.070	2.36	0.01	0.35	Roof flow to other drainage areas
X-4	0.201	0.000	0.000	0.020	0.181	2.14	0.04	0.98	Sheet flow South to alley
X-5	0.105	0.000	0.000	0.007	0.098	2.21	0.02	0.51	Sheet flow West to Cagua Dr
Total	0.880	0.000	0.038	0.057	0.822	11.319	0.165	4.425	
Note: Calculations in accordance with the City of Albuquerque Development Process Manual, Chapter 22. The site is in Precipitation Zone 3.									



BY
HJM

DATE
08/02/2023

REV

DESCRIPTION
ISSUE FOR DRB HYDROLOGY REVIEW

LANGAN
Langan Engineering and
Environmental Services, Inc.
2990 Olympus Blvd, Suite 605 ■ Dallas, Texas 75019 ■ (817) 334-3300

LANGAN JOB NO.:
520015201

08/02/2023
MATTHEW DAVID KORTE
NEW MEXICO
25909
PROFESSIONAL ENGINEER

OFFICE
LONG BEACH FIELD OFFICE

ADDRESS
110 N. CARPENTER ST., CHICAGO, IL 60607

MC DONALD'S USA, LLC

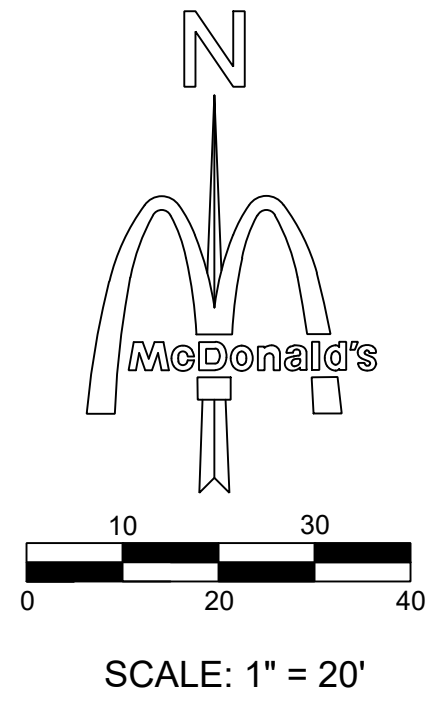
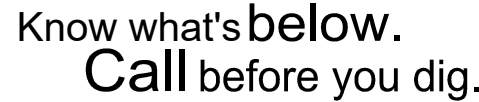
5000 MENAUL BLVD. NE
ALBUQUERQUE, NM

DESIGNED	APR 2020	MDK
DRAWN	APR 2020	MDK
CHECKED	MAY 2023	TNT
AS-BUILT		

PRE-DEVELOPED
DRAINAGE PLAN
C8.0

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGN SIGNATURES



THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY
JURISDICTIONAL ENTITIES.

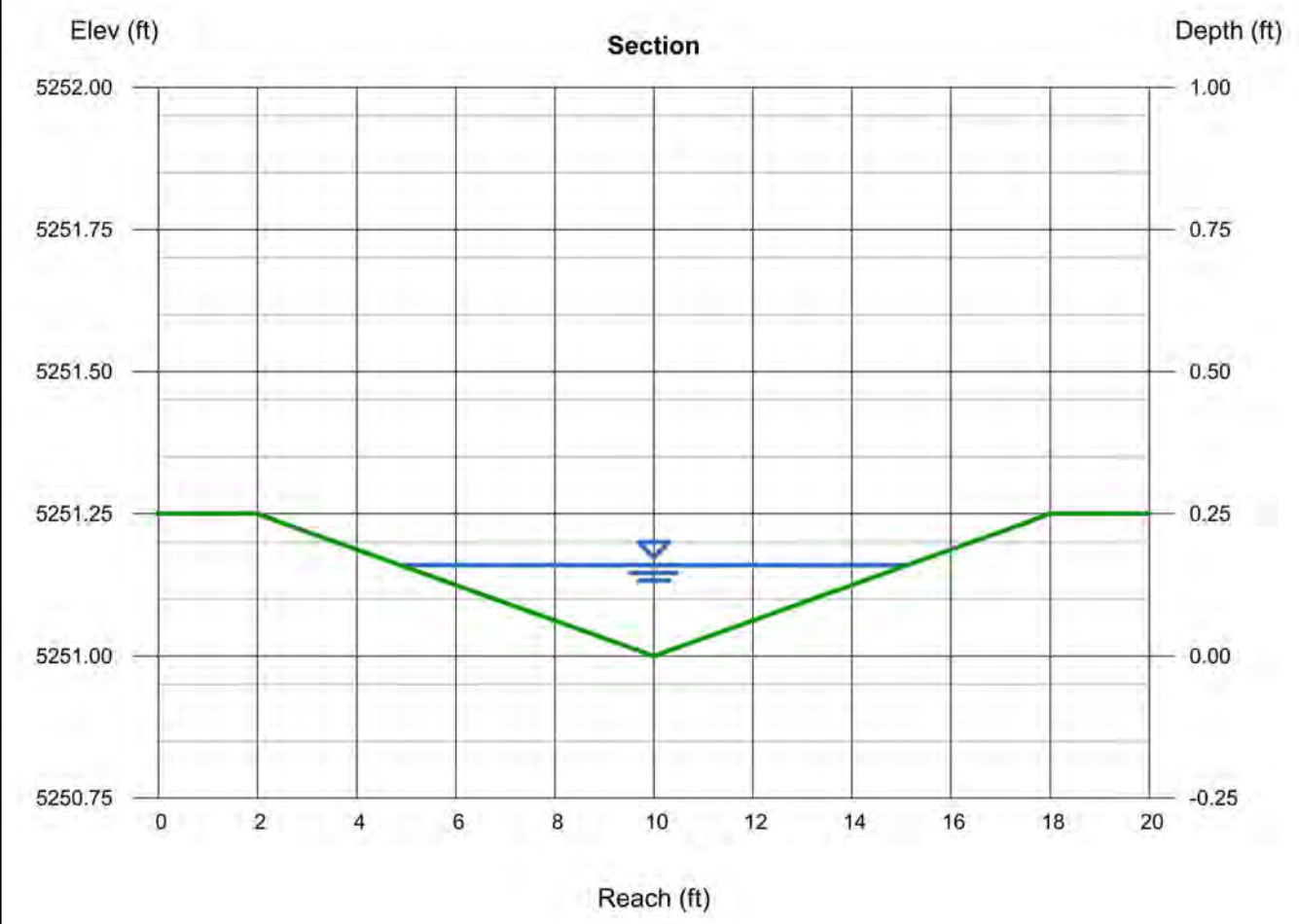
NOTE:
NO WORK SHALL BE PERFORMED IN THE
PUBLIC R.O.W. WITHOUT AN APPROVED
WORK ORDER OR EXCAVATION PERMIT.

Hydraflow Express Extension for Autodesk® Civil 3D® by Autodesk, Inc.

Wednesday, Mar 22 2023

Triangular	
Side Slopes (z:1)	= 32.00, 32.00
Total Depth (ft)	= 0.25
Invert Elev (ft)	= 5251.00
Slope (%)	= 1.00
N-Value	= 0.015
Calculations	
Compute by:	Known Q
Known Q (cfs)	= 1.36

Q (cfs)	= 1.360
Area (sqft)	= 0.82
Velocity (ft/s)	= 1.66
Wetted Perim (ft)	= 10.25
Crit Depth, Yc (ft)	= 0.17
Top Width (ft)	= 10.24
EGL (ft)	= 0.20



FIRST FLUSH VOLUME CALCULATIONS					
Basin ID	Impervious Area (Ac)	SWQV Req. (cf) ⁽¹⁾	SWQV Provided (cf) ⁽²⁾	Pond #	Deficiency / Bypass (cf)
DA-1, DA-3,DA-8, R-1	0.434	409	230	1	179
DA-2	0.092	86	160	2	0
DA-4	0.164	155	0	N/A	155
DA-5	0.000	0	0	N/A	0
DA-6	0.009	8	0	N/A	8
DA-7	0.013	12	0	N/A	12
Total	0.710	670	391	N/A	280

Footnotes:
 (1) - Required volume is 0.26" from the impervious surface (re-development)
 Payment in Lieu for 284 CF @ \$8/CF = \$2,240

POST-DEVELOPMENT 100-YEAR, 6-HOUR RUNOFF CALCULATIONS									
Basin ID	Area	Land Treatment Condition				Excess Precipitation	Volume	Peak Discharge	Remarks
	(ac)	A	B	C	D	(in)	(ac/ft)	(cfs)	
DA-1	0.21	0.00	0.00	0.04	0.17	1.95	0.03	0.98	Flows to inlet then piped to Pond 1
DA-2	0.12	0.00	0.00	0.02	0.09	1.88	0.02	0.55	Sheet flow to Pond 2, then to Cagua Dr
DA-3	0.23	0.00	0.00	0.06	0.17	1.77	0.03	1.05	Flows to inlet then piped to Pond 1
DA-4	0.17	0.00	0.00	0.00	0.16	2.30	0.03	0.84	Sheet flow to off-site alley-way
DA-5	0.02	0.00	0.00	0.02	0.00	0.13	0.00	0.06	Sheet flow off site to Cagua Drive
DA-6	0.01	0.00	0.00	0.00	0.01	1.92	0.00	0.05	Sheet flow off site to San Pedro Blvd
DA-7	0.01	0.00	0.00	0.00	0.01	2.36	0.00	0.06	Sheet flow off site to Manual Blvd
DA-8	0.01	0.00	0.00	0.01	0.00	0.13	0.00	0.03	Flows to Pond 1
R-1	0.10	0.00	0.00	0.00	0.10	2.36	0.02	0.49	Roof drain piped to Pond 1
Total	0.87	0.00	0.00	0.16	0.71	14.80	0.14	4.11	

Note: Calculations in accordance with the City of Albuquerque Development Process Manual. The site is in Precipitation Zone 3.

FIRST FLUSH VOLUME SUMMARY			
Total Impervious Area = 30,942.01 SF (0.710 acres)			
Required Retention Volume (0.26 in/acre) = 670 cubic feet			
Retention Volume Provided = 391 cubic feet			

POND 1 STAGE-STORAGE VOLUME					
Elevation	Area (sq. ft.)	Avg. Area (sq. ft.)	Inc. Depth (ft.)	Inc. Volume (cu. Ft.)	Total Volume (cu. ft.)
5250	10.36				0.00
5251	97.02	53.69	1.00	53.69	53.69
		176.38	1.00	176.38	
5252	255.73				230.07

POND 2 STAGE-STORAGE VOLUME					
Elevation	Area (sq. ft.)	Avg. Area (sq. ft.)	Inc. Depth (ft.)	Inc. Volume (cu. Ft.)	Total Volume (cu. ft.)
5249	0				0
		28.42	1	28.42	
5250	56.84				28.42
		132.025	1	132.025	
5251	207.21				160.45

Site Location - The site is located on an approximately 0.880 acres at the Southwest corner of Menaul Blvd., N.E. and San Pedro Blvd. The site is bordered to the West by Cagua Dr., N.E. and to the South by an alleyway adjacent to residences. Proposed construction will include the demolition and complete rebuild of the existing McDonald's restaurant with associated paving, grading, landscaping, and utility infrastructure.

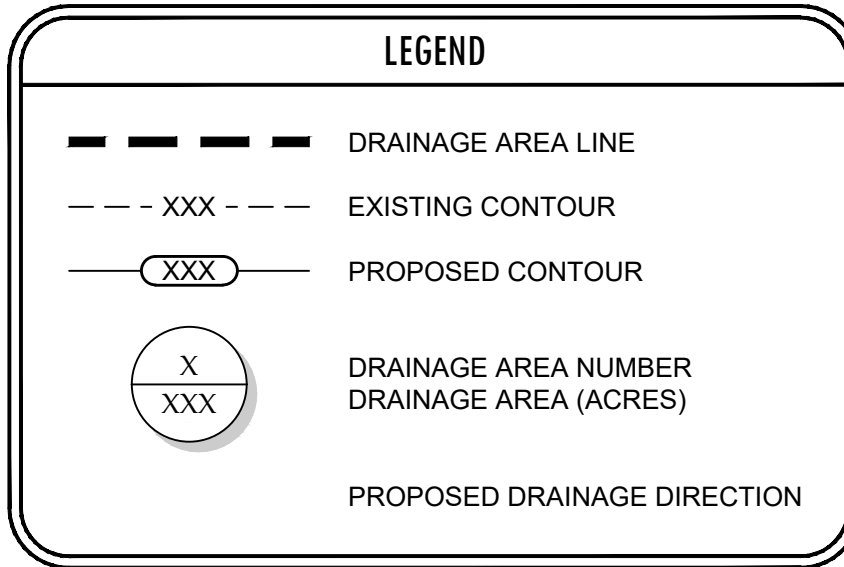
Methodology - The proposed storm water management system will be evaluated in accordance with Chapter 22 of the City of Albuquerque Development Process Manual. The site is located in Bernalillo County Precipitation Zone 3. The 100-year, 6-hour frequency rainfall event will be used to calculate peak discharge rates and runoff volumes under existing and proposed conditions.

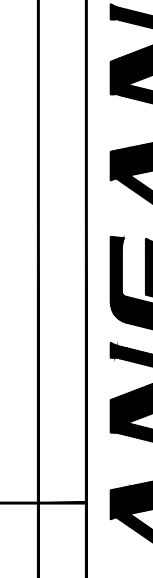
Existing Conditions - Storm water runoff generally drains from the east to the west across the site under existing conditions. Roof drains deposit through downspouts and sheet flow away from the building through the parking lot. Some sheet flow is concentrated through the existing driveway entrance along Menaul Blvd. on the Northwest corner of the site which ultimately deposits into the city storm drain system. Additional sheet drainage flows off the site along the South property line to the alley and ultimately into Cagua Dr., N.E. Minor flow exits the site to the East through two separate driveways along San Pedro Blvd., N.E.

Proposed Conditions - Under proposed conditions, nearly all site flow will be sheet flow directed to first flush detention basins located around the site. The roof downspout will drain through a storm pipe to Basin 1 and ultimately into the grate inlet on Menaul Blvd., N.E. Drainage areas DA-1 and DA-3 will be captured by inlets then drain through a storm pipe to Basin 1 and ultimately into the grate inlet on Menaul Blvd., N.E. Drainage area DA-2 will sheet flow through the parking lot to the grate inlet in Basin 2. These first flush detention zones have a total Stormwater Quality capacity of 391 cubic feet which does not meet the first flush requirement of 675 cubic feet. Overall, approximately half the site drains through these first flush zones resulting in an overall stormwater quality volume deficiency of 280 cubic feet. This deficiency will be offset by paying a fee-in-lieu of \$2,240.00. A small portion of the site on the Southern side drains directly to an adjacent alleyway which is unavoidable, but also matches existing conditions. Discharge from first flush zones will mimic current off-site flow to locations around the site.


Surrounding 20' - The areas around the site consist of roadways to the West, North, and East which are crowned in the middle with drainage towards curb/gutter. The South side of the site consists of an adjacent public alleyway that will be re-built with the project. All drainage patterns in the 20' perimeter around the site will remain similar in the developed condition.

Conclusions - The overall amount of impervious area at this site will be reduced under the proposed conditions. Because the original site was developed prior to a first flush capture requirement, none of the flow at the existing site is being captured prior to flowing off the site; however, under proposed conditions, over half of the site-generated flow will be captured prior to flowing off the site. Further, quality/quantity of flow should be improved when compared to the existing site.



		LANGAN JOB NO.: 520015201	
Langan Engineering and Environmental Services, Inc. 2999 Olympus Blvd, Suite 165 ■ Dallas, Texas 75019 ■ (817) 338-3200			
REV	DATE	DESCRIPTION	BY
000001	08/02/2023	ISSUE FOR PERMIT	HJM



PLAN APPROVALS		OFFICE	LONG BEACH FIELD OFFICE	MCDONALD'S, L.C. 030-0001
		ADDRESS	110 N. CARPENTER ST., CHICAGO, IL 60607	
REGIONAL MGR.		DATE		
CONST. MGR.				
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CO-SIGN SIGNATURES		 <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of a properly licensed architect and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p>		
CONTRACTOR		5900 MENAUL BLVD. NE		
OWNER		ALBUQUERQUE, NM		

	DATE	BY
DESIGNED	APR 2020	RMS
DRAWN	APR 2020	RMS
CHECKED	MAY 2023	HJM
AS-BUILT		

POST-DEVELOP DRAINAGE PLAN

C8.1