

# CITY OF ALBUQUERQUE

Planning Department

Alan Varela, Director



Mayor Timothy M. Keller

October 31, 2024

Ronald R. Bohannon, PE  
Tierra West LLC  
5571 Midway Park PI NE  
Albuquerque, NM 87109

**Re: McDonald's/ 5900 Menaul Blvd. NE**  
**Request for Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's stamped dated 11-09-23 (H18-D070)  
Certification dated 10-28-24

Dear Mr. Bohannon;

Based upon the information provided in your submittal received 10-29-24, Transportation Development has no objection to a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at [earmijo@cabq.gov](mailto:earmijo@cabq.gov)

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, PE  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

C: Laurie Elliot, Desiree Gonzales, Wendi Alcala, James Broomfield, Carlos Conroy



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: \_\_\_\_\_ Hydrology File # \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address, UPC, OR Parcel: \_\_\_\_\_

Applicant/Agent: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Applicant/Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_ Phone: \_\_\_\_\_

Email: \_\_\_\_\_

**TYPE OF DEVELOPMENT:**      Plat (# of lots) \_\_\_\_\_      Single Family Home  
All other Developments

RE-SUBMITTAL:      YES      NO

**DEPARTMENT:**      TRANSPORTATION      HYDROLOGY/DRAINAGE

**Check all that apply under Both the Type of Submittal and the Type of Approval Sought:**

### TYPE OF SUBMITTAL:

Engineering / Architect Certification  
Conceptual Grading & Drainage Plan  
Grading & Drainage Plan, and/or Drainage Report  
Drainage Report (Work Order)  
Drainage Master Plan  
Conditional Letter of Map Revision (CLOMR)  
Letter of Map Revision (LOMR)  
Floodplain Development Permit  
Traffic Circulation Layout (TCL) – Administrative  
Traffic Circulation Layout (TCL) – DFT Approval  
Traffic Impact Study (TIS)  
Street Light Layout  
OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

Pad Certification  
Building Permit  
Grading Permit  
Paving Permit  
SO-19 Permit  
Foundation Permit  
Certificate of Occupancy -      Temp      Perm  
Preliminary / Final Plat  
Site Plan for Building Permit - DFT  
Work Order (DRC)  
Release of Financial Guarantee (ROFG)  
CLOMR / LOMR  
Conceptual TCL - DFT  
OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: \_\_\_\_\_



**October 28, 2024**

Marwa Al-najjar  
Development Review Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: APPROVED TRAFFIC CIRCULATION LAYOUT  
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY  
MC DONALDS, 5900 MENAUL BLVD. NE, ALBUQUERQUE, NM 87110**

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Traffic Circulation Layout for issuance of a Permanent Certificate of Occupancy for the project referenced above. This project area as highlighted on the attached site plan is in substantial compliance as inspected on October 21st, 2024, and is in general accordance with the design intent of the Approved Traffic Circulation Layout dated 09/11/23.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and as-built Approved Traffic Circulation Layout. Therefore, we request approval of the as-built Approved Traffic Circulation Layout Permit and issuance of the Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,  
  
Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2024011  
RRB/DB/bf

2024011 Perm TCL Letter-.docx





Know what's below.  
Call before you dig.

A.G.R.S. MONUMENT "16\_H18"  
STANDARD A.G.R.S. ALUMINUM DISC  
(FOUND IN PLACE)  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE - N.A.D. 1983)  
N=1,495,150.704  
E=1,443,520.222  
PUBLISHED EL=5283.415 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999651945  
DELTA ALPHA ANGLE=-071.08.74"

BASIS OF BEARINGS  
S 89°37'55" E

REFER TO PUBLIC  
IMPROVEMENT PLANS  
FOR ALL WORK WITHIN  
THE ROW.

Menaul Boulevard N.E.  
(100' PUBLIC R.O.W.)

REFER TO PUBLIC IMPROVEMENT PLANS FOR ALL WORK WITHIN THE ROW.

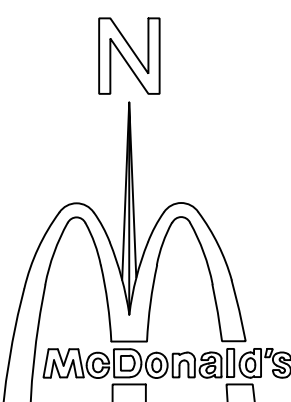
38-111 BUILDING

±4,397 S.F.

FF 5255.50

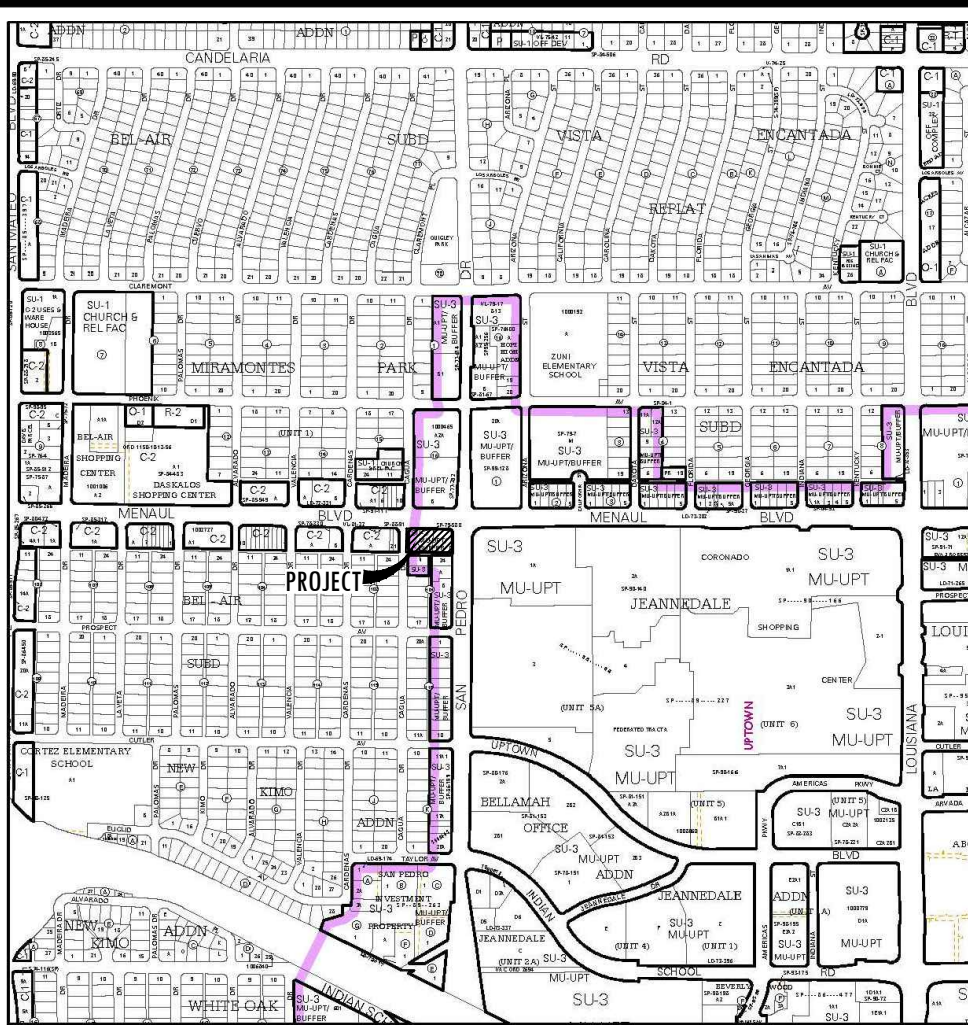
BASIS OF BEARING: S89°10'37"E

NOTE:  
NO WORK SHALL BE PERFORMED IN THE  
PUBLIC R.O.W. WITHOUT AN APPROVED  
WORK ORDER OR EXCAVATION PERMIT.



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY  
JURISDICTIONAL ENTITIES.



#### NOTES

- CLEAR SITE TRIANGLE NOTE: LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. PLEASE REFER TO COA STD. DWG. 2430 FOR SIDEWALK DETAILS AND COA STD. DWG. 2415A FOR 8" STANDARD CURB & GUTTER DETAILS.
- UNUSED CURB CUTS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. PLEASE REFER TO COA STD. DWG. 2430 FOR SIDEWALK DETAILS AND COA STD. DWG. 2415A FOR 8" STANDARD CURB & GUTTER DETAILS.

#### KEY NOTE LEGEND

MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @ DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @ NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAIL)
3	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
4	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
5	PERPENDICULAR CURB RAMP @ 1:12 MAX SLOPE PER COA STD. DWG. 2442 DETAIL A AND DWG. 2446
6	H.C. ACCESS RAMP @ 1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
7	PARALLEL CURB RAMP @ 1:12 MAX SLOPE PER COA STD. DWG. 2426 AND DWG. 2446
8	HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
9	McDONALD'S OOSP SIGN (RE: C10.4 STANDARD DETAILS)
10	BOLLARD (RE: C10.1 STANDARD DETAILS)
11	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
12	GRATE INLET (RE: C8.1 POST DEVELOPED DRAINAGE PLAN)
13	CONTRACTOR SHALL INSTALL SCREEN WALL - TYPE AS APPROVED BY OWNER AND PER CITY REQUIREMENTS.
14	(PAD MOUNT) TRANSFORMER (RE: C9.0 UTILITY PLAN)
15	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
16	"DO NOT ENTER" SIGN PER COA STD. DWG. 2600-603
17	"DRIVE THRU" WITH "CIRCLE/ARROW" - COLOR : YELLOW
18	6" DRIVE-THRU STRIPING - COLOR : YELLOW
19	DOUBLE DRIVE-THRU "ARROW" MARKING - COLOR : YELLOW
20	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
21	6" MERGE POINT - COLOR : YELLOW
22	"THANK YOU" AT END PATH - COLOR : YELLOW
23	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
24	MOTORCYCLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
25	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
26	FIRE LANE STRIPING PER CITY OF ALBUQUERQUE FIRE CODE STANDARDS
27	PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - COLOR : WHITE
28	4" OOSP STRIPING - COLOR : YELLOW
29	"NO PARKING" IN CAPITAL LETTERS, AT LEAST 1" HIGH AND AT LEAST 2" WIDE - COLOR: PER STATE/CITY REQUIREMENTS
30	BIKE RACK (RE: C10.4 STANDARD DETAILS) (2) Installed as 14" x 36"
31	"MC" IN CAPITAL LETTERS, AT LEAST 1" HIGH AND AT LEAST 2" WIDE - COLOR: WHITE
32	8" STANDARD CURB & GUTTER (RE: COA STD. DWG. #2415A)
33	VALLEY GUTTER (RE: COA STD. DWG. #2420)
34	6" HEADER CURB (RE: COA STD. DWG. #2415C)
35	"DO NOT ENTER" STRIPING - COLOR : WHITE
36	4" CONCRETE SIDEWALK (RE: COA STD. DWG. #2430)

TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Amijo 9/12/2023  
Signed Date

#### LEGEND

- REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
- HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU \*
- LIGHT DUTY REINFORCED CONCRETE OR ASPHALT \*
- REFERENCE PUBLIC IMPROVEMENT PLANS FOR PAVEMENT AT ALLEY.
- REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 6" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
- LANDSCAPE AREA
- CURB AND GUTTER CONCRETE \*
- SAWCUT LINE
- 2.5" IRRIGATION SLEEVES

\*REFER TO SHEET C5.0 PAVING PLAN AND  
GEOTECH REPORT PROVIDED BY  
TERRACON CONSULTANTS, INC. IN REPORT NO.  
66166090 FOR ALL PAVING SPECIFICATIONS.

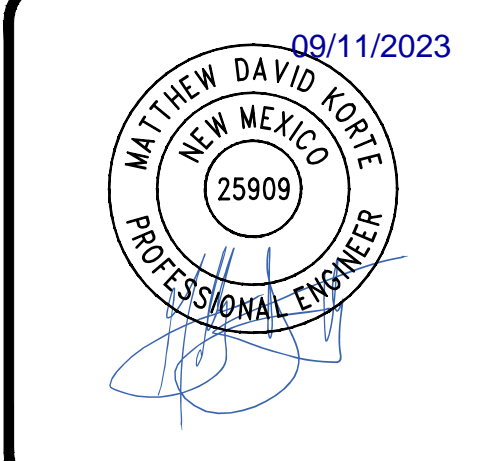
#### SITE INFORMATION

LAND AREA:	37,713 SF (0.8657 AC)
CURRENT ZONING:	SU-3, UPTOWN SECTOR PLAN MU-UP BUFFER ZONE
EXISTING USE:	McDONALD'S DRIVE-THRU RESTAURANT
PROPOSED USE:	McDONALD'S DRIVE-THRU RESTAURANT
BUILDING AREA (APPROXIMATE):	4,246 SF
BUILDING CONSTRUCTION TYPE:	VB
BUILDING LOT COVERAGE:	4,246 SF/37,713 SF = 11.3%
PARKING REQUIRED:	2 SPACES PER 1,000 SF 4,246 SF/500 SF = 9 SPACES
PARKING PROVIDED:	26
HANDICAP PARKING REQUIRED:	2
HANDICAP PARKING PROVIDED:	2
MOTORCYCLE PARKING REQUIRED:	1
MOTORCYCLE PARKING PROVIDED:	1
BICYCLE PARKING REQUIRED:	2
BICYCLE PARKING PROVIDED:	2
TOTAL IMPERVIOUS AREA:	31,132 SF
TOTAL PERVIOUS AREA:	6,581 SF
TOTAL OPEN AREA:	3,989 SF (10.6%)

#### LEGEND

- FLAG POLE (MAX. HEIGHT PER CITY & DETAILS)
- LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24' CLEAR FROM BACK OF CURB)
- ROAD SIGN (POLE OR MONUMENT)
- POWER POLE
- DOMESTIC WATER METER
- EXISTING IRRIGATION WATER METER
- BACK FLOW PREVENTION DEVICE (RE: C9.0 UTILITY PLAN)
- FIRE HYDRANT (EXISTING)
- GREASE INTERCEPTOR (RE: C9.0 UTILITY PLAN)
- McDONALD'S DIRECTIONAL SIGN
- DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C10.0 STANDARD DETAILS)
- "CIRCLE / ARROW" - COLOR : YELLOW
- ARROW PATH DIRECTION - COLOR : WHITE
- CLEAR SITE TRIANGLE

BY	DATE	DESCRIPTION
HJM	09/11/2023	ISSUE FOR PERMIT
LANGAN		
Langan Engineering and Environmental Services, Inc.		
2998 Olympus Blvd, Suite 605 Dallas, Texas 75019 (817) 324-3200		
LANGAN JOB NO.: 520015201		



McDonald's USA, LLC	McDONALD'S U.C. 030-0001
ADDRESS: 110 N. CARPENTER ST. CHICAGO, IL 60607	OFFICE: LONG BEACH FIELD OFFICE
DATE: 09/11/2023	DATE: 09/11/2023

PLAN APPROVALS	SIGNATURE (2 REQUIRED)	DATE	BY
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

DESIGNED	DEC 2021	HJM
DRAWN	MCS 2021	MKS
CHECKED	MAY 2023	TNT
AS-BUILT		

TRAFFIC  
CIRCULATION  
LAYOUT  
**C4.1**



## PUBLIC SIDEWALK EASEMENT

**Project No:** 409180  
**Project Name:** Tract B-1, Block 101, Bel-Air Subdivision

Grant of Sidewalk Easement, between McDonald's Real Estate Company, a Delaware corporation ("Grantor"), whose address is 110 N. Carpenter Street, Chicago, Illinois 60601, Attn. Director US Legal Department L/C 030-0001 and whose telephone number is (630) 623-3000 and the City of Albuquerque, a New Mexico municipal corporation ("City"), whose address is P.O. Box 1293, Albuquerque, NM, 87103.

Grantor, for and in certain valuable non-monetary consideration received from the City, the receipt of which is acknowledged by Grantor, does hereby give, bargain, sell, grant and convey unto City an exclusive, perpetual sidewalk easement ("Easement") in, over, upon and across the real property described on **Exhibit "A"** with the Legal Description of "Sidewalk Easement 1: Beginning at the most Northeasterly corner of said sidewalk easement from which point the most Northwesterly property corner of Tract B-1, bears north 89°10'37" West, 70.22 feet; thence from said point and place of beginning South 89°10'37" East, 34.29 feet to the Northeast corner of said easement; thence South 51°45'42" West, 10.70 feet to the Southeast corner of said easement; thence North 88°46'17" West, 18.84 feet to the Southwest corner of said easement; thence North 46°23'59" West, 9.73 feet to the point and place of beginning, containing 177 square feet more or less and Sidewalk Easement 2: Beginning at the Northeast corner of said sidewalk easement; which is the most Northeasterly property corner of Tract B-1; thence from said point and place of beginning South 43°59'06" East, 8.29 feet to the Southeast corner of said easement; thence North 88°56'51" West, 28.74 feet to the Southeast corner of said easement; thence North 64°17'22" West, 13.73 feet to the Northwest corner of said easement; thence 89°09'35" East, 35.35 feet to the said point and place of beginning, containing 186 square feet more or less" and attached hereto ("Property") for the construction, installation, maintenance, repair, modification, replacement and operation of a public sidewalk, together with the right to remove trees, bushes, undergrowth and any other obstacles upon the Property if the City determines they interfere with the appropriate use of this Easement.

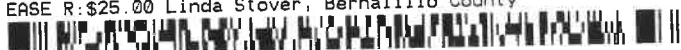
In the event Grantor constructs any improvements ("Improvements") within the Easement, the City has the right to enter upon Grantor's property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any Improvements or encroachments made by the Grantor, the City will not be financially or otherwise responsible for rebuilding or repairing the Improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or encroachments, the Grantor shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or encroachments.

Grantor covenants and warrants that Grantor is the owner in fee simple of the Property, that Grantor has a good lawful right to convey the Property or any part thereof and that Grantor will forever warrant and defend the title to the Property against all claims from all persons or entities.

**Doc# 2024072830**

10/15/2024 02:43 PM Page: 1 of 6  
EASE R:\$25.00 Linda Stover, Bernalillo County

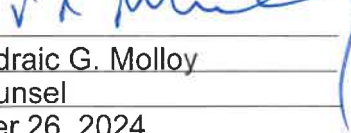
Revised July 2021



The grant and other provisions of this Easement constitute covenants running with the Property for the benefit of the City and its successors and assigns until terminated.

This Easement shall not be effective until approved by the City Engineer and recorded at the Bernalillo County Clerk.

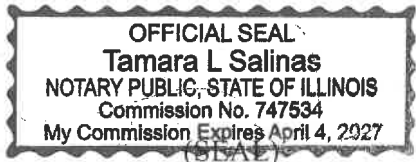
**GRANTOR:** McDonald's Real Estate Company,  
~~a Delaware corporation~~

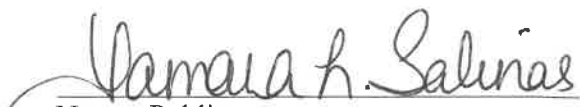
By [signature]:   
Name [print]: Padraic G. Molloy  
Title: Senior Counsel  
Date: September 26, 2024

**GRANTOR'S NOTARY**

STATE OF ILLINOIS                    )  
  )ss.  
COUNTY OF COOK                    )

This instrument was acknowledged before me on this 26<sup>th</sup> day of September, 2024 by Padraic G. Molloy, Senior Counsel, of McDonald's Real Estate Company, a Delaware corporation.



  
Notary Public  
My Commission Expires: 4/4/2027

**CITY OF ALBUQUERQUE:**

By: [Signature]  
Shahab Biazar, P.E., City Engineer

Date: 10/7/24

DS  
KV

Initial  
SB

**CITY'S NOTARY**

STATE OF NEW MEXICO           )  
  )ss.  
COUNTY OF BERNALILLO       )

This instrument was acknowledged before me on this 7<sup>th</sup> day of October,  
2024 by Shahab Biazar, P.E., City Engineer, City of Albuquerque, a municipal corporation,  
on behalf of said corporation.

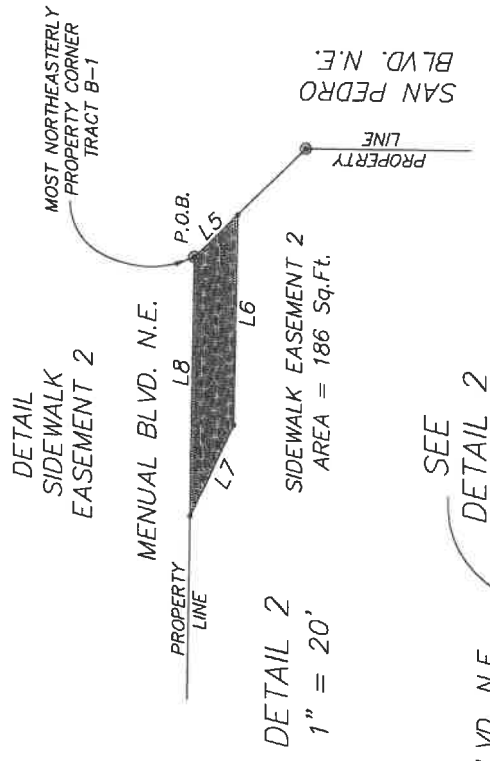
(SEAL)  
STATE OF NEW MEXICO  
NOTARY PUBLIC  
Rachael Miranda  
Commission No. 1119740  
November 09, 2025

[Signature]  
Notary Public

My Commission Expires: 11/9/2025

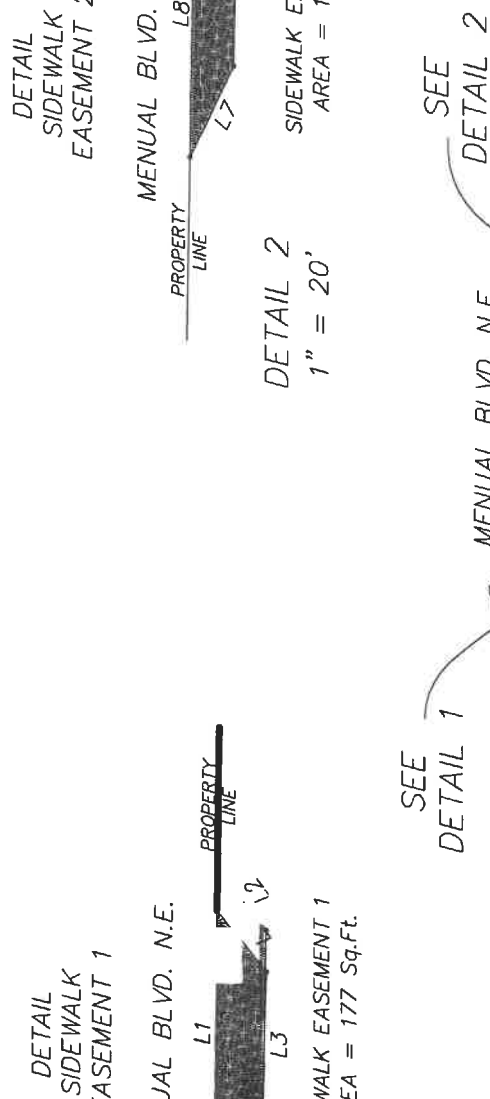
**(EXHIBIT “A” ATTACHED)**





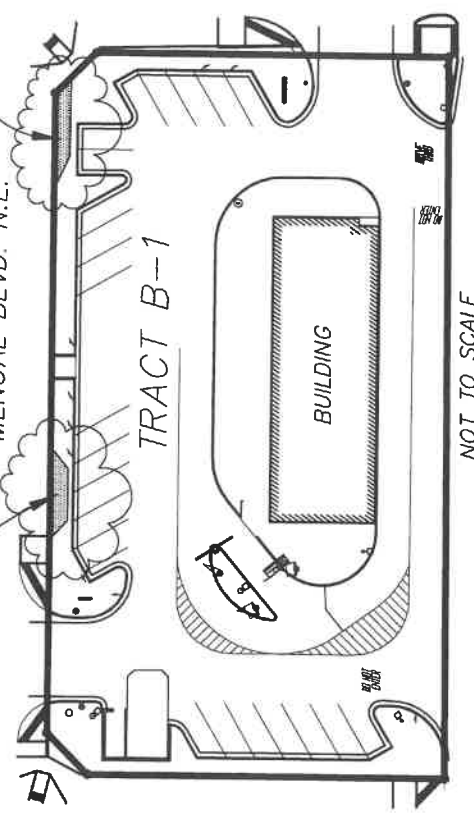
SIDEWALK 1

LINE	DIRECTION	LENGTH
L1	S89°10'37"E	34.29'
L2	S51°45'42"W	10.70'
L3	N88°46'17"W	18.84'
L4	N46°23'59"W	9.73'



SIDEWALK 2

LINE	DIRECTION	LENGTH
L5	S43°59'06"E	8.29'
L6	N88°56'51"W	28.74'
L7	N64°17'22"W	13.73'
L8	S89°09'35"E	35.35'



# EXHIBIT A

# LEGAL DESCRIPTIONS

## SIDEWALK EASEMENT 1:

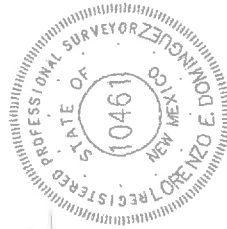
A CERTAIN TRACT OR PARCEL OF LAND WITHIN TRACT B-1, AS SHOWN ON THE HEREON ATTACHED EXHIBIT "A" AND BEING MORE PARTICULAR DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHEASTERLY CORNER OF SAID SIDEWALK EASEMENT FROM WHICH POINT THE MOST NORTHWESTERLY PROPERTY CORNER OF TRACT B-1, BEARS NORTH 89°10'37" WEST, 70.22 FEET; THENCE FROM SAID POINT AND PLACE OF BEGINNING SOUTH 89°10'37" EAST, 34.29 FEET TO THE NORTHEAST CORNER OF SAID EASEMENT; THENCE SOUTH 51°45'42" WEST, 10.70 FEET TO THE SOUTHEAST CORNER OF SAID EASEMENT; THENCE NORTH 88°46'17" WEST, 18.84 FEET TO THE SOUTHWEST CORNER OF SAID EASEMENT; THENCE NORTH 46°23'59" WEST, 9.73 FEET TO THE POINT AND PLACE OF BEGINNING, CONTAINING 177 SQUARE FEET MORE OR LESS.

## SIDEWALK EASEMENT 2:

A CERTAIN TRACT OR PARCEL OF LAND WITHIN TRACT B-1, AS SHOWN ON THE HEREON ATTACHED EXHIBIT "A" AND BEING MORE PARTICULAR DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SIDEWALK EASEMENT; WHICH IS THE MOST NORTHEASTERLY PROPERTY CORNER OF TRACT B-1; THENCE FROM SAID POINT AND PLACE OF BEGINNING SOUTH 43°59'06" EAST, 8.29 FEET TO SOUTHEAST CORNER OF SAID EASEMENT; THENCE NORTH 88°56'51" WEST, 28.74 FEET TO THE SOUTHEAST CORNER OF SAID EASEMENT; THENCE NORTH 64°17'22" WEST, 13.73 FEET TO THE NORTHWEST CORNER OF SAID EASEMENT; THENCE 89°09'35" EAST, 35.35 FEET TO THE SAID POINT AND PLACE OF BEGINNING, CONTAINING 186 SQUARE FEET MORE LESS.



5-15-2024

DATE

LORENZO DOMINGUEZ

LORENZO E. DOMINGUEZ  
P.S. #10461

P.O. BOX 1607  
MORIARTY, NM 87035  
(505) 450-2097

EXHIBIT A

**Bernalillo County, NM**  
415 Silver Ave. SW, 2nd Floor  
P.O. Box 542  
Albuquerque, NM 87102

**Receipt: 1556130**

<b>Product</b>	<b>Name</b>	<b>Extended</b>
EASE	Easement	\$25.00
	# Pages	6
	Document #	2024072830
	# Of Entries	0

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<b>Total</b>	\$25.00
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Tender (Check)	\$25.00
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Check# 5562

Paid By BARNESLEY  
CONSTRUCTION

Phone 5058565576  
#

Thank You!

**10/15/24 2:43 PM MST msouchet**



## CONTRACT CONTROL FORM

**PROJECT:** 409180 **CONTACT PERSON:** David Jones

**CCN:** \_\_\_\_\_

(New/Existing) New

Type of Paperwork Public Sidewalk Easement

Project Name/Description  
(From CTS): Tract B-1, Block 101, Bel-Air Subdivision

Developer/Owner/Vendor McDonald's Real Estate Company

Contract Amount \$ \_\_\_\_\_ Contract Period: \_\_\_\_\_ - \_\_\_\_\_

### FINAL CONTRACT REVIEW

#### APPROVALS REQUIRED:

	Approved By	Approval Date
DRC Manager	<u>KV</u> <small>Initial</small>	<u>10/6/2024   6:30 PM MDT</u>
Legal Department	<u>JS</u> <small>Initial</small>	<u>10/7/2024   8:45 AM MDT</u>
City Engineer	<u>JS</u> <small>Initial</small>	<u>10/7/24</u>
Hydrology Engineer	<u>El</u> <small>Initial</small>	<u>10/2/2024   8:51 AM MDT</u>
Transportation Engineer	_____	_____
Construction Engineer	_____	_____
OTHER: <u>CAO</u>	_____	_____

#### DISTRUBUTION:

Date: \_\_\_\_\_ By: \_\_\_\_\_

Received by City clerk \_\_\_\_\_