

CITY OF ALBUQUERQUE



December 12, 2018

Lorenz Design & Construction LLC
Dennis Lorenz
2501 Rio Grande Blvd NW, Suite A
Albuquerque, NM 87104

Re: 2207 San Pedro Dr. NE
2207 San Pedro Dr. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp 12-11-2018 (H18D072)

Dear Mr. Lorenz,

The TCL submittal received 12-11-18 is approved for Building Permit. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

/MM via: email
C: File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 2207 SAN PEDRO Building Permit #: BP2018.42264 Hydrology File #: NA
DRB#: NA EPC#: NA Work Order#: NA
Legal Description: TRACT A SAN PEDRO INVESTMENT PROPERTIES
City Address: 2207 SAN PEDRO DR NE

Applicant: DENNIS LORENZ Contact: _____
Address: 2501 RIO GRANDE NW STE. A, ALB 87104
Phone#: 220.0869 Fax#: _____ E-mail: DENNISL@LORENZNM.COM
Other Contact: CARLO INC Contact: C. PAVLIDES
Address: 2201 SAN PEDRO NE, ALB 87110
Phone#: 883.1881 Fax#: _____ E-mail: _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL

- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 12.11.18 By: DENNIS LORENZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

12/11/2018 Issued By: E08375 364343

Permit Number: 2018 060 661

Category Code 970

Application Number: 18REV-60661, Review: Drain Plan-Lomr-Traffic Impact

Address:

Location Description: 2207 SAN PEDRO

Project Number: null

Applicant
DENNIS A. LORENZ PE

Agent / Contact
DENNIS A. LORENZ PE

2501 RIO GRANDE BLVD NW SUITE A
ALBUQUERQUE NM 87104

2501 RIO GRANDE BLVD NW SUITE A
ALBUQUERQUE NM 87104

joshmt@lorenznm.com

JOSHMT@LORENZNM.COM

Application Fees

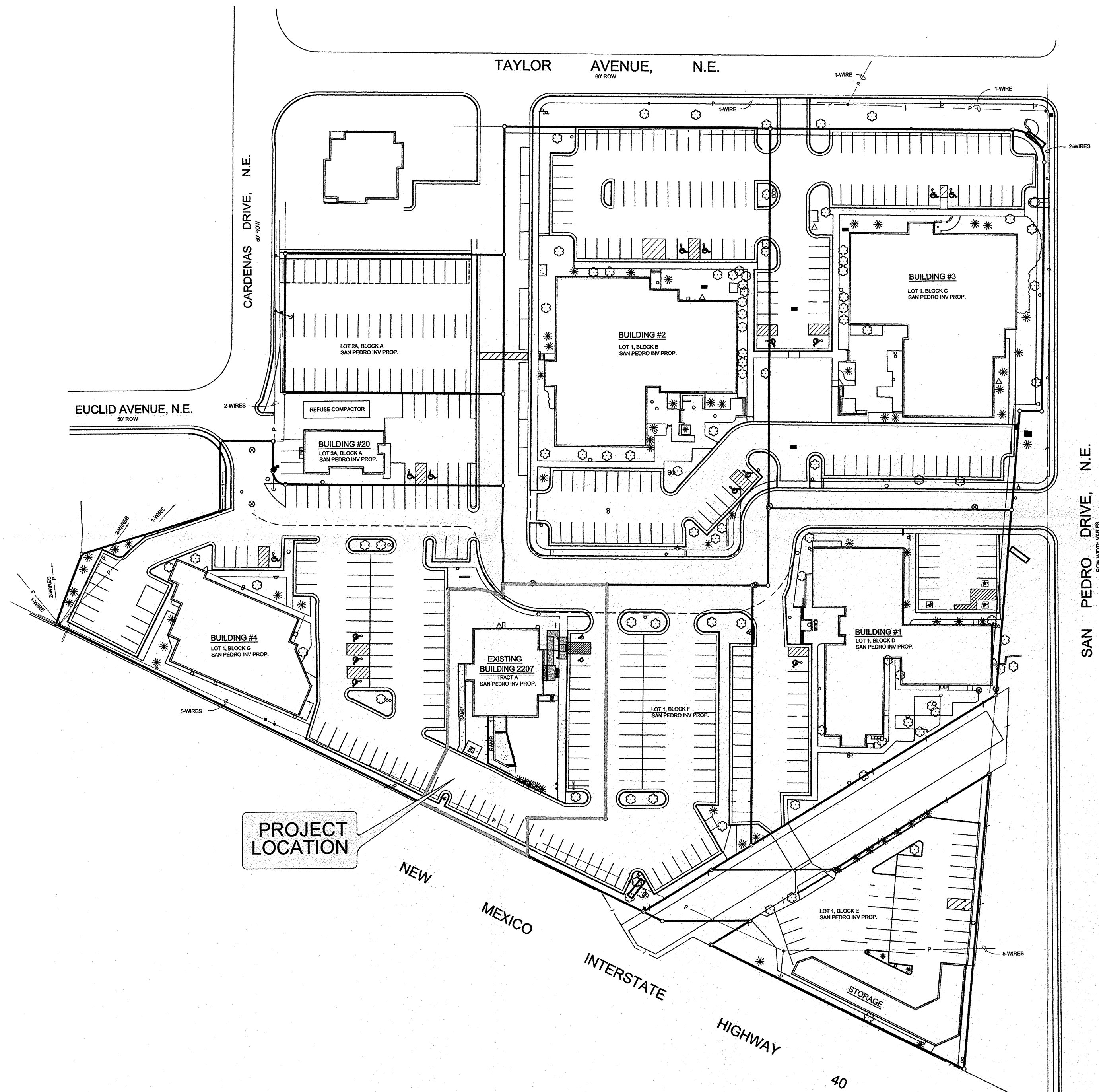
REV Actions \$225.00

TOTAL: \$225.00

City of Albuquerque Treasury
Date: 12/11/2018 Office: ANNEX
Stat ID: 9873 Cashier: E39083
Batch: 9873 Trans #: 35
Permit: 2018060661
Receipt Num 00537999
Payment Total: \$225.00
0909 REV Actions
Check Tendered: \$225.00

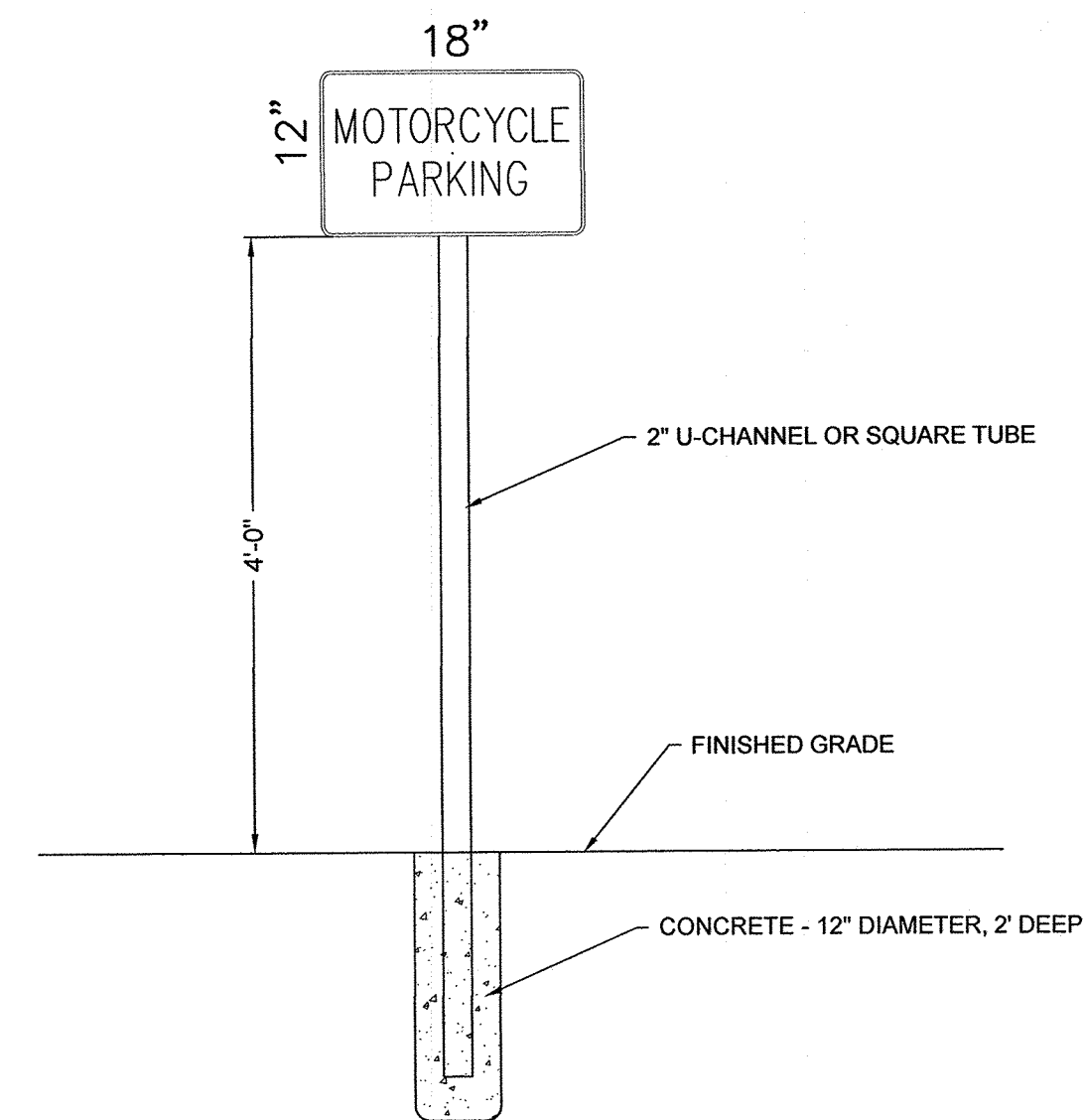
TRAFFIC CIRCULATION LAYOUT
APPROVED
andul 12/12/18
Signed Date

ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



SAN PEDRO OFFICE PARK OVERALL SITE PLAN

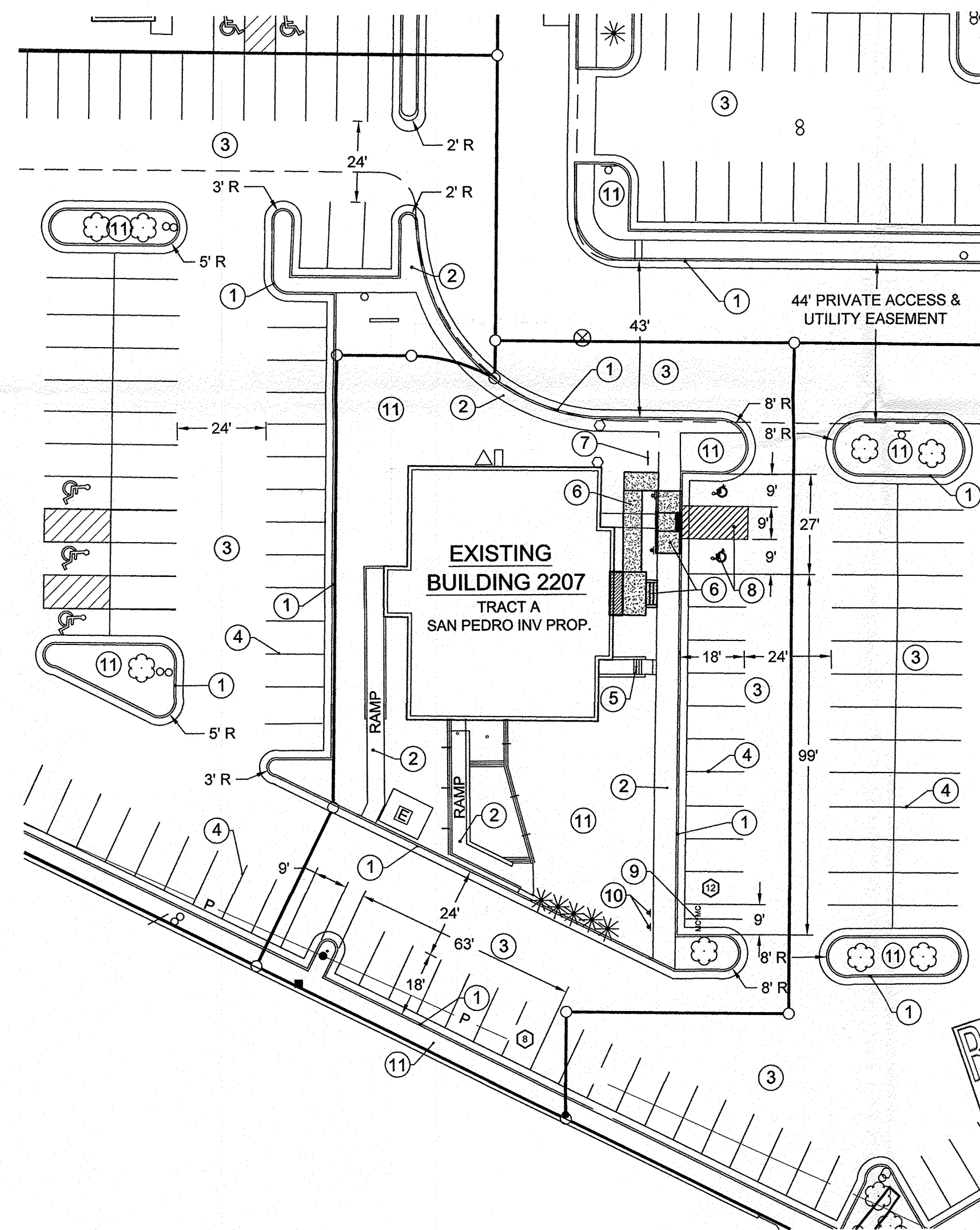
1" = 60'



MOTORCYCLE SIGN DETAIL

NTS

A
C.2

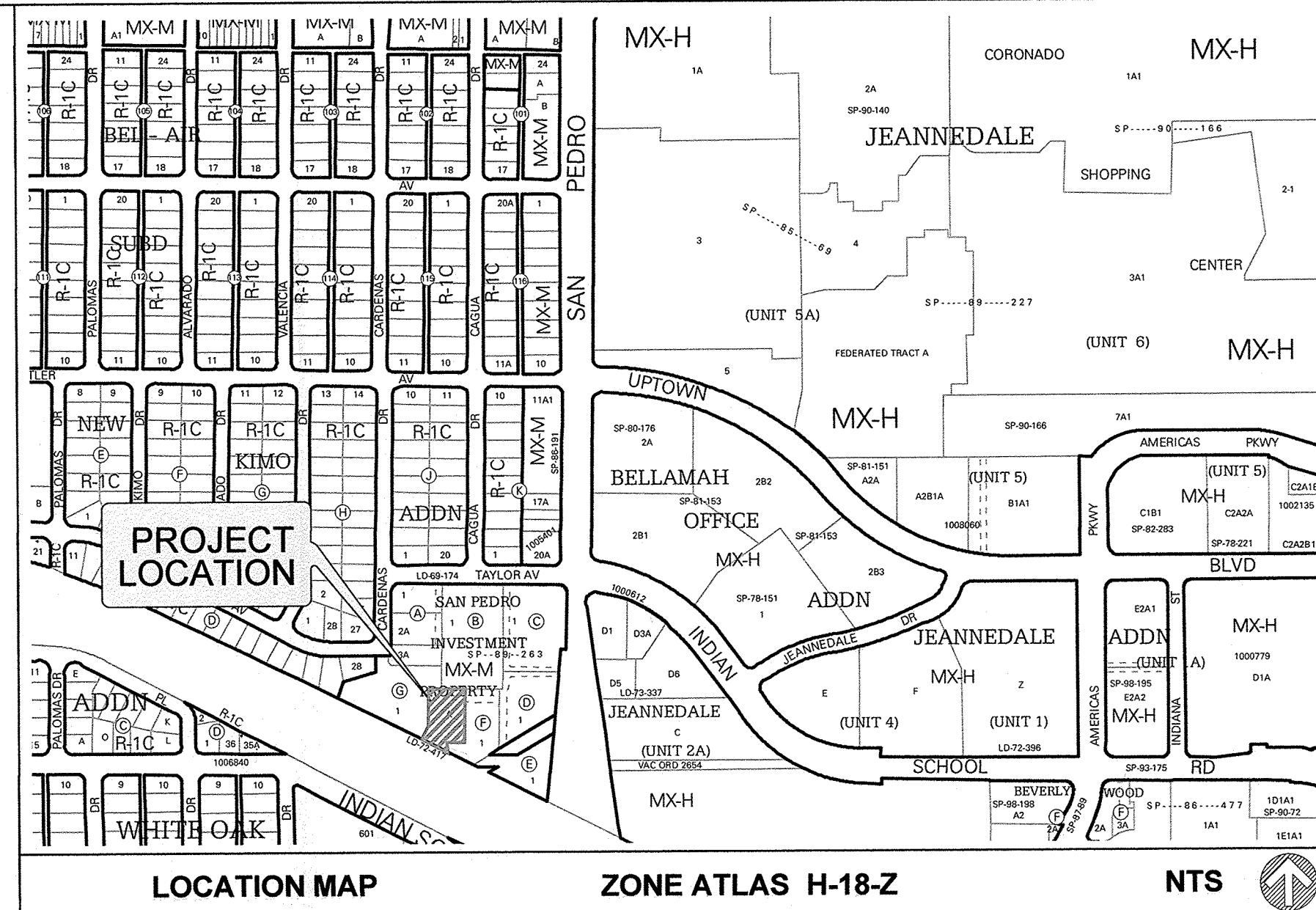
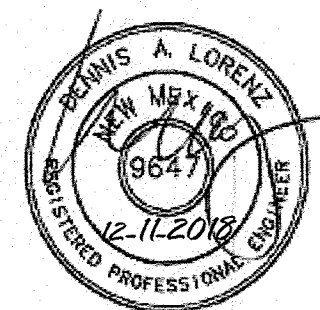


2207 SAN PEDRO NE - TCL

1" = 30'

PROJECT SCOPE

SAN PEDRO OFFICE PARK IS FULLY DEVELOPED. ALL SITE IMPROVEMENTS EXIST AS SHOWN ON THE OVERALL SITE PLAN. BUILDING 2207 IS LOCATED ON TRACT A, SAN PEDRO INVESTMENT PROPERTIES. THE SCOPE OF THIS PROJECT IS TO CONSTRUCT AN ACCESSIBLE ENTRY TO THE EXISTING BUILDING. PROPOSED SITE IMPROVEMENTS INCLUDE 2 NEW ACCESSIBLE PARKING SPACES, ACCESSIBLE RAMPS, SIDEWALKS, 2 NEW MOTORCYCLE PARKING SPACES AND A BICYCLE RACK, PER THE IDO.



LOCATION MAP

ZONE ATLAS H-18-Z

NTS

LEGEND

ITEM	EXISTING	PROPOSED
PROPERTY LINE	---	---
EASEMENT	---	---
CURB AND GUTTER	---	---
CONCRETE	---	---
PARKING COUNT	11	11

SITE INFORMATION

PROPERTY ADDRESS: 2201 SAN PEDRO DRIVE NE
BUILDING 2207
ALBUQUERQUE, NEW MEXICO 87110

LEGAL DESCRIPTION: TRACT A
SAN PEDRO INVESTMENT PROPERTIES

ZONING: MX-M

SITE AREA: 0.55 ACRES (24,019 SF)

BUILDING AREA: EXISTING BUILDING 5,327 SF
BUILDING ADDITION 23 SF
TOTAL BUILDING AREA 5,350 SF

PARKING CALCULATIONS

OCCUPANCY TYPE: OFFICE
AREA: 5,350 SF

PARKING SPACES REQUIRED @ 3.5 SPACES PER 1,000 SF: 19
PARKING SPACES PROVIDED: 20

HANDICAP SPACES REQUIRED: 1
HANDICAP SPACES PROVIDED: 2
MOTOR CYCLE SPACES REQUIRED: 1
MOTOR CYCLE SPACES PROVIDED: 2
BICYCLE SPACES REQUIRED: 3
BICYCLE SPACES PROVIDED: 3

ALL REGULAR SPACES ARE 9' X 18'
MOTOR CYCLE SPACES ARE 4' X 18'

KEYED NOTES

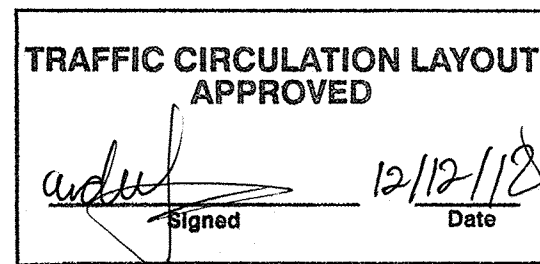
- EXISTING 6" CONCRETE CURB AND GUTTER.
- EXISTING SIDEWALK.
- EXISTING ASPHALT PAVEMENT.
- EXISTING PARKING LOT STRIPING.
- EXISTING STAIRWAY.
- CONSTRUCT ACCESSIBLE IMPROVEMENTS TO NEW BUILDING ENTRY. SEE SHEET C.1 FOR DETAILS.
- INSTALL 3 SPACE BICYCLE RACK.
- PROVIDE ACCESSIBLE PARKING STRIPING PER CODE.
- PROVIDE MOTORCYCLE STENCILING - 2 SPACES.
- INSTALL MOTORCYCLE PARKING SIGNAGE. SEE DETAIL A THIS SHEET.
- EXISTING LANDSCAPING.

2207 San Pedro Dr NE
Traffic Circulation Layout Plan

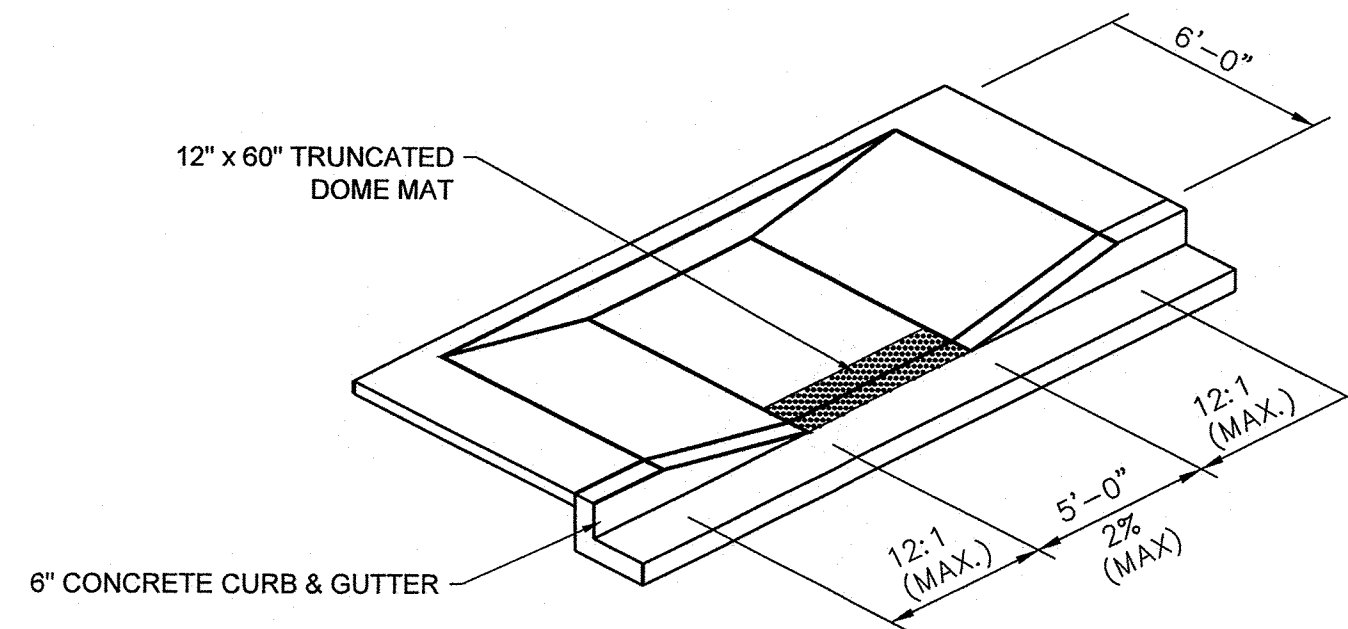
LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering | Construction Management

2501 Rio Grande Blvd NW, Suite A, Albuquerque, New Mexico 87104
Ph: 505-888-6088 Fax: 505-245-0655

DRAWN BY: DAL
CHECKED BY: DAL
FILE: 14-018.2207 SP
DATE: December 2018
C.2



ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.



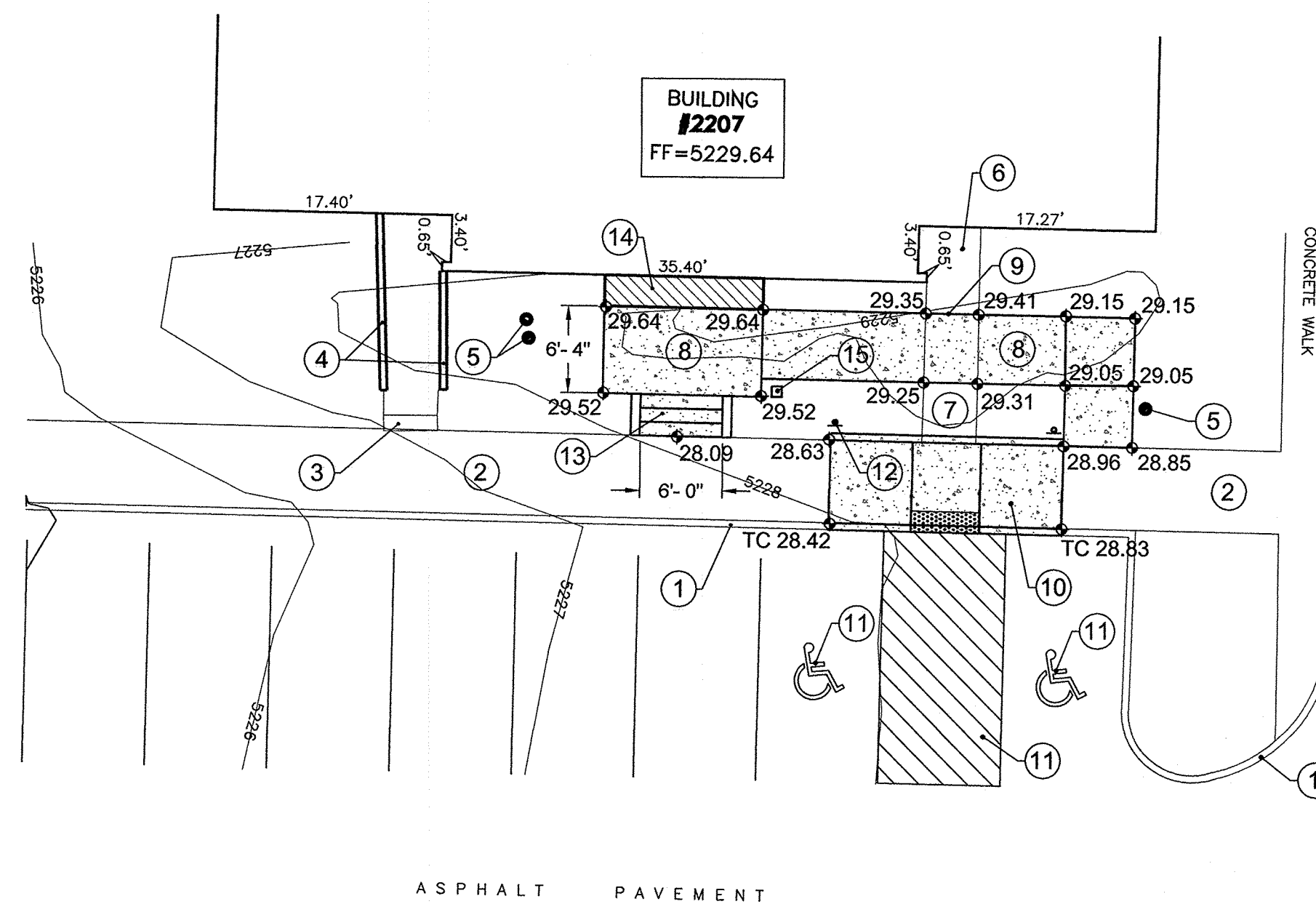
HANDICAP RAMP DETAIL

NTS

1
C.1

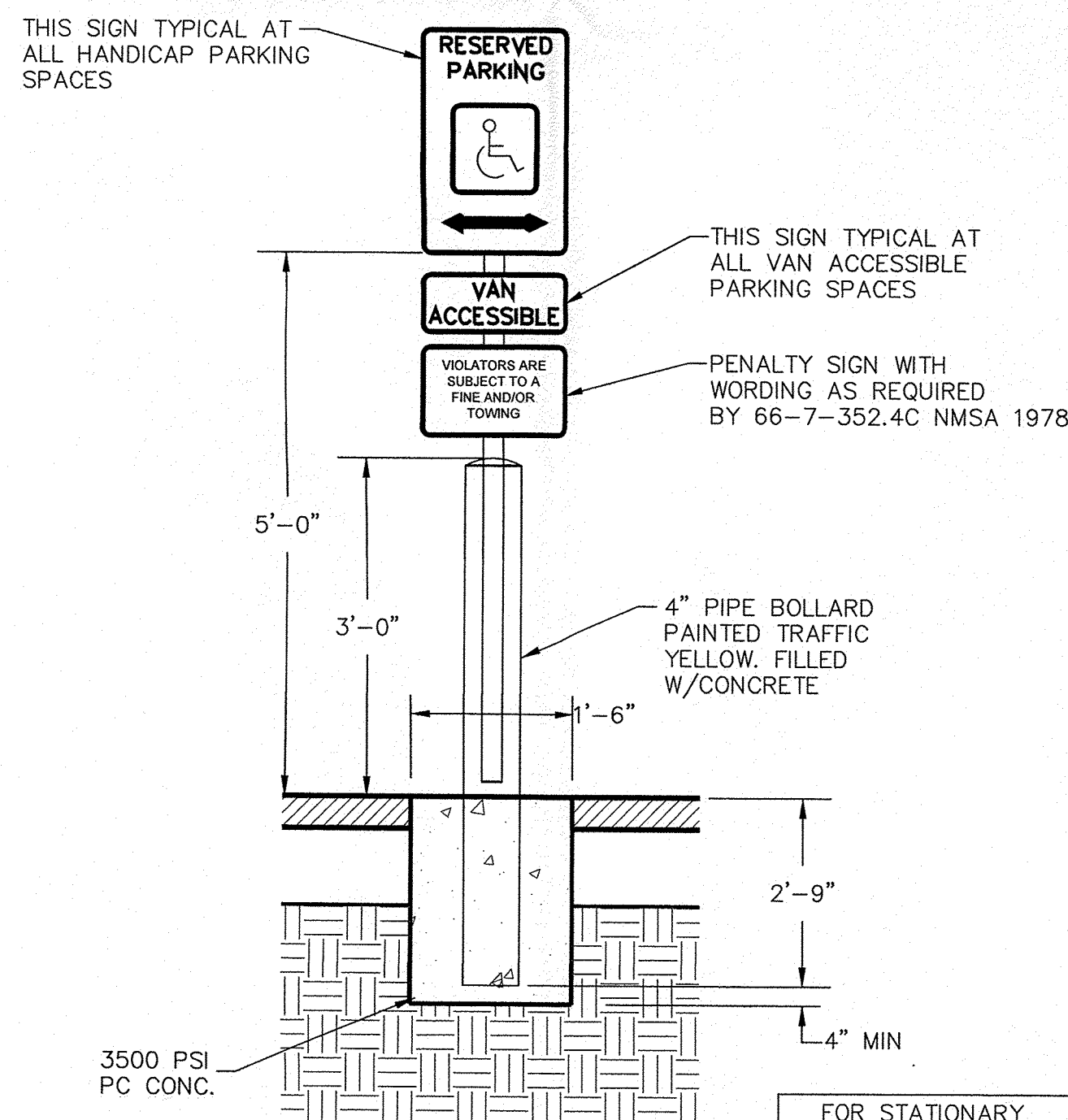
ACCESS PLAN

1" = 10'



KEYED NOTES

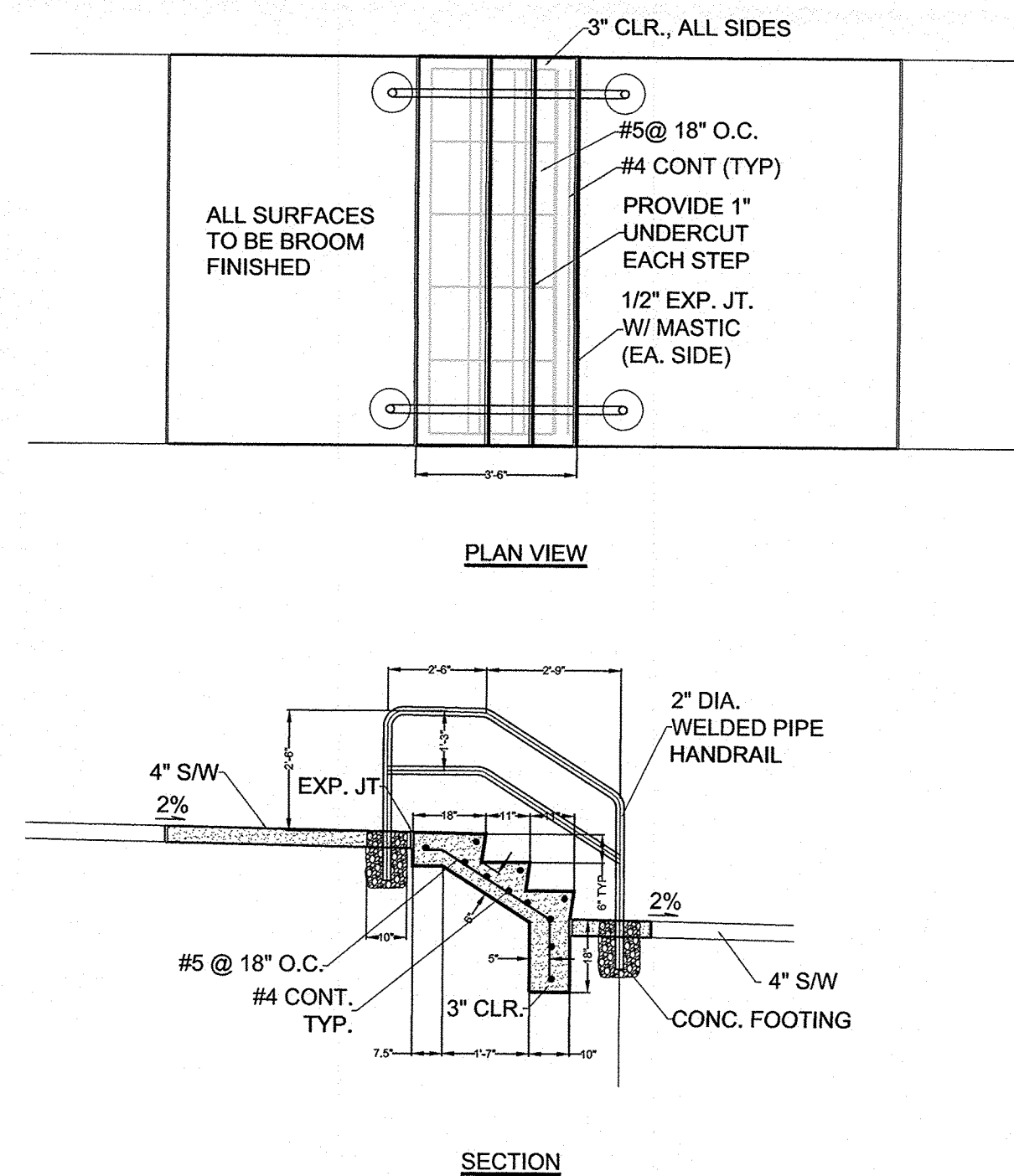
1. EXISTING CONCRETE CURB.
2. EXISTING CONCRETE SIDEWALK.
3. EXISTING SIDEWALK DRAIN.
4. EXISTING CONCRETE RETAINING WALL.
5. EXISTING CLEANOUT.
6. EXISTING SIDEWALK TO REMAIN.
7. REMOVE & DISPOSE EXISTING SIDEWALK.
8. CONSTRUCT 4" CONCRETE SIDEWALK.
9. SAWCUT EXISTING SIDEWALK.
10. CONSTRUCT HANDICAP RAMP. SEE DETAIL 1/C.1.
11. INSTALL HANDICAP PARKING SYMBOL AND ACCESSIBLE AREA STRIPING PER CODE.
12. CONSTRUCT HANDICAP SIGN ASSEMBLY. SEE DETAIL 2/C.2.
13. CONSTRUCT CONCRETE STAIRS. SEE DETAIL 3/C.3.
14. NEW CONCRETE FLOOR SLAB. SEE SHEET A-1.
15. CONSTRUCT PEDESTAL MOUNTED HC DOOR PUSH PLATE SWITCH. SEE SHEET A.1.



HC SIGN ASSEMBLY / BOLLARD DETAIL

NTS

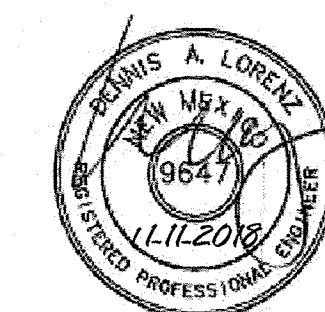
2
C.1



CONCRETE STAIR DETAILS

NTS

3
C.1



2207 San Pedro Dr NE
Access Plan

LORENZ
DESIGN & CONSULTING, LLC
Civil Engineering | Construction Management

2501 Rio Grande Blvd NW, Suite A Albuquerque, New Mexico 87104
Ph: 505-388-6088 Fax: 505-242-6655

DRAWN BY: DAL.	DATE: November 2018
CHECKED BY: DAL.	
FILE: 14-018.2207.SP	C.1