

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

June 24, 2021

Mike Walla, P.E.  
Walla Engineering  
6501 Americas Pwky NE, Suite 301  
Albuquerque, NM 87110

**RE: Ziggys Coffee Shop  
5200 Menaul Blvd. NE  
Grading & Drainage Plan  
Engineer's Stamp Date: 06/04/21  
Hydrology File: H18D073**

Dear Mr. Walla:

PO Box 1293

Based upon the information provided in your submittal received 06/04/2021, the Grading and Drainage Plan is approved for Building Permit and SO-19 Permit.

Albuquerque

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

[www.cabq.gov](http://www.cabq.gov)

Please provide Drainage Covenant for the stormwater quality ponds per Article 6-15(C) of the DPM prior to Permanent Release of Occupancy. There is a recording fee (\$25, payable to Bernalillo County). Please contact me if you have any question pertaining to the Drainage Covenant and email me the Covenant and Exhibit prior to executing it for completeness.

Please do one of the following:

- Drop off the original executed drainage covenant, the exhibit, and the \$ 25.00 recording fee check made payable to Bernalillo County at the drop box outside the building and labeled the package using the address below.
- Mail the original executed drainage covenant, the exhibit, and the \$ 25.00 recording fee check made payable to Bernalillo County to:

# CITY OF ALBUQUERQUE

*Planning Department*  
Brennon Williams, Director



*Mayor Timothy M. Keller*

Planning Dept./DRC  
Attn: Curtis Cherne  
600 2nd St. NW, Ste. 400  
Albuquerque, NM, 87102

Once approved and recorded, you will get a pdf copy of the recorded Drainage Covenant via email.

Also, the Payment-in-Lieu of **\$ 968.00** must be paid prior to Hydrology's Permanent Release of Occupancy approval. Please follow the instructions:

Please use the attached City of Albuquerque Treasury Deposit form and when ready please email this form to Shannon Cordero ([sdcordova@cabq.gov](mailto:sdcordova@cabq.gov)). She will then produce and email back with a receipt and instructions on how to pay online. Once paid, please email me proof of payment. This will insure that Hydrology will be able to process Permanent Release of Occupancy approval when officially submitted.

PO Box 1293

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

Albuquerque

NM 87103

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** ZIGGYS COFFEE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LOT 4-A1, BLOCK 108, OF BEL-AIR, A REPLAT OF LOT 4-A, BLOCK 108, SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICTS NOS. 13 AND 26, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 24, 1985 IN BOOK C27, PAGE 127.

**City Address:** 5200 MENAUL BLVD. NE, ALBUQUERQUE, NEW MEXICO

**Applicant:** WALLA ENGINEERING **Contact:** MIKE WALLA

**Address:** 6501 AMERICAS PARKWAY NE, SUITE 301, ALBUQUERQUE, NM 87110

**Phone#:** 505-881-3008 **Fax#:** 505-881-4025 **E-mail:** mikew@wallaengineering.com

**Other Contact:** MODULUS ARCHITECTS **Contact:** CARLOS TORRES

**Address:** 100 SUN AVE. NE, SUITE 600, ALBUQUERQUE, NM 87109

**Phone#:** 505-388-1499 **Fax#:** \_\_\_\_\_ **E-mail:** ctorres@modulusarchitects.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

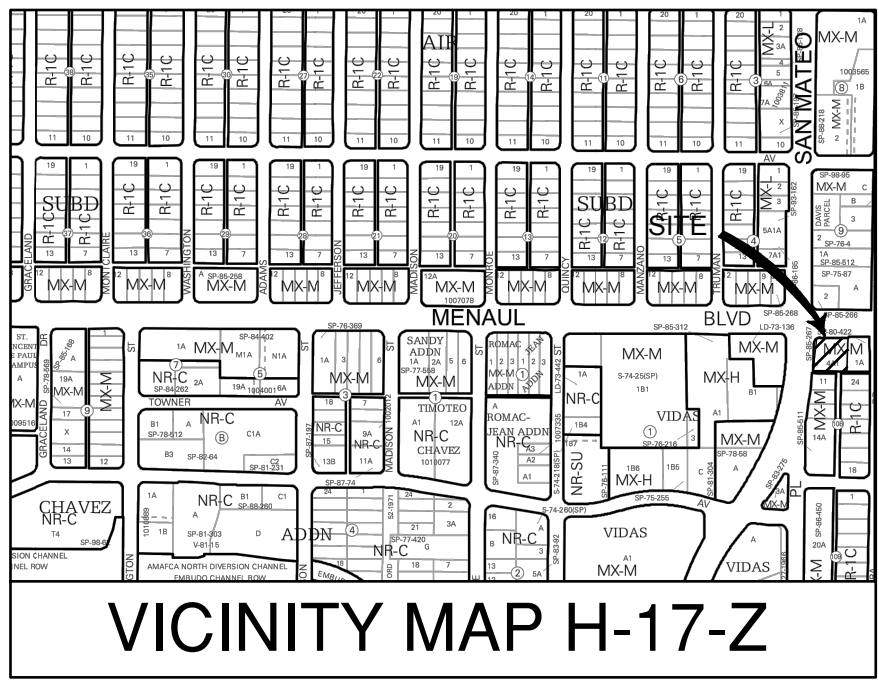
**DATE SUBMITTED:** 6-4-21 **By:** MIKE WALLA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





### HYDROLOGY CALCULATIONS

ZIGGYS COFFEE - SITE AREA = 0.499 ACRES  
DESIGN CRITERIA: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL - JUNE 2020  
CHAPTER 6 DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL  
PROCEDURE FOR 40-ACRE AND SMALLER BASINS  
PRECIPITATION ZONE 3 PER SECTION 6-2(A)(1), TABLE 6.2.7 AND FIGURE 6.2.3  
EXCESS PRECIPITATION, E, PER TABLE 6.2.13  
PEAK DISCHARGE FOR SMALL WATERSHEDS: PER TABLE 6.2.14

#### PRE-DEVELOPED/EXISTING CONDITIONS

LAND TREATMENT	AREA (AC)	EXCESS PRECIP. "E" (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.000	0.67	1.84	0.37
B	0.009	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.490	2.58	4.49	0.91

WEIGHTED E:  $[(0.009 \times 0.86) + (0.490 \times 2.58)]/0.499 = 2.55$  IN  
V360 =  $2.55 \times 0.499 \times 43560/12 = 4617$  CF  
TOTAL QP =  $(0.009 \times 2.49) + (0.490 \times 4.49) = 2.222$  CFS

#### POST DEVELOPED/PROPOSED CONDITIONS

LAND TREATMENT	AREA (AC)	EXCESS PRECIP. "E" (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.000	0.67	1.84	0.37
B	0.041	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.458	2.58	4.49	0.91

WEIGHTED E:  $[(0.041 \times 0.86) + (0.458 \times 2.58)]/0.499 = 2.44$  IN  
V360 =  $2.44 \times 0.499 \times 43560/12 = 4417$  CF  
TOTAL QP =  $(0.041 \times 2.49) + (0.458 \times 4.49) = 2.16$  CFS

RATIONAL METHOD CHECK: 12-MINUTE PEAK INTENSITY, I = 4.96 IN/HR  
Q = CIA =  $(0.50 \times 4.96 \times 0.041) + (0.91 \times 4.96 \times 0.458) = 2.17$  CFS OK

#### STORM WATER QUALITY VOLUME, (SWQV)

IMPERVIOUS AREA = 0.458 AC

BMP VOLUME REQUIRED:  $0.26'' \times 0.458 \times 43560/12 = 432$  CF

#### SWQV POND VOLUME: POND #1

CONTOUR	AREA	VOLUME
14.50	272 SF	
14.00	126 SF	99 CF
13.50	50 SF	44 CF
SUB TOTAL		143 CF

#### SWQV POND VOLUME: POND #2

CONTOUR	AREA	VOLUME
13.00	180 SF	
12.50	104 SF	71 CF
12.00	28 SF	33 CF
SUB TOTAL		104 CF

#### SWQV POND VOLUME: POND #3

CONTOUR	AREA	VOLUME
13.29	135 SF	
13.00	90 SF	33 CF
12.50	38 SF	32 CF
SUB TOTAL		64 CF

TOTAL SWQV POND CAPACITY PROVIDED = 311 CF

PAYMENT-IN-LIEU CALCULATION: SWQV REQ'D LESS SWQV PROVIDED = 432 CF - 311 CF = 121 CF  
AT \$8.00/CF PAYMENT DUE = 121 CF X \$8 = \$968.00

#### WIER CALCULATIONS: $Q = CLH^{3/2}$ , WHERE C = 2.7

AT SWQV POND:  $Q = 2.7 \times 1' \times (0.7')^{3/2} = 2.13$  CFS

AT CURB BREAKS/POND OVERFLOWS:  $Q = 2.7 \times 2' \times (0.5')^{3/2} = 7.2$  CFS

### GRADING & DRAINAGE DESIGN NARRATIVE

**SUBJECT PROPERTY:** ZIGGYS COFFEE - 5200 MENAUL BLVD. NE, ALBUQUERQUE, NM

**AREA OF SITE:** 0.499 ACRE

**REFERENCE:** CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM)

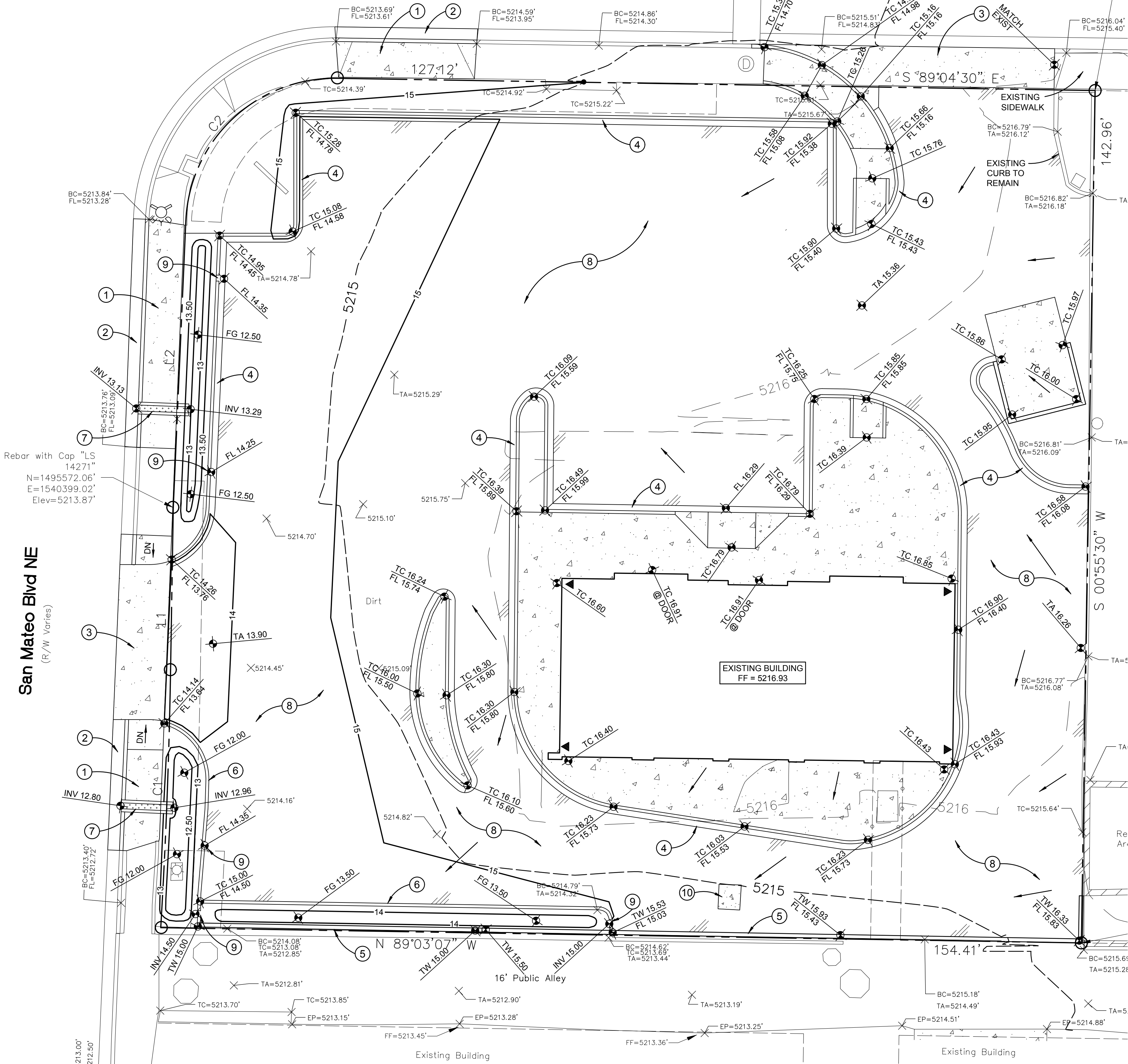
**PROJECT DESCRIPTION:** THE DEVELOPMENT IS THE RENOVATION OF AN EXISTING STRUCTURE THAT WILL INCLUDE REMOVAL OF AN EXISTING GAS STATION CANOPY AND REMOVAL AND REPLACEMENT OF EXISTING SITE PAVING. THE BUILDING WILL HAVE A DRIVE THRU WINDOW AND THE SITE WILL BE REGRADED TO CORRECT SITE DEVELOPED RUNOFF FLOWING TO AN ADJACENT ALLEY AND EXISTING DRIVE ENTRANCES TO THE SITE WILL BE CHANGED TO MEET COA TRANSPORTATION RECOMMENDATIONS.

**PREDEVELOPED CONDITIONS:** THE EXISTING SITE IS SLOPED TO DRAIN PRIMARILY TO SAN MATEO BLVD. AND HAS NO REAL ONSITE PONDING. THE MAJORITY OF THE SITE HAS IMPERVIOUS SURFACES THAT FREE DISCHARGE DEVELOPED RUNOFF TO DOWNSTREAM PUBLIC DRAINAGE FACILITIES THROUGH DRIVE ENTRANCES TO THE SITE.

**DEVELOPED RUNOFF:** THE NEW RENOVATION AND SITE DEVELOPMENT IS LIMITED DUE TO MAINTAINING THE EXISTING BUILDING FINISHED FLOOR ELEVATION BUT THE NEW PAVING AND REGRADED OF THE SITE WILL BE DESIGNED TO COLLECT, AS MUCH AS POSSIBLE IN EXPANDED LANDSCAPED AREAS, THE REQUIRED STORM WATER QUALITY VOLUME AS DEFINED IN THE DPM. CALCULATIONS INDICATE THAT THESE BMP'S WILL STILL NOT HAVE ENOUGH CAPACITY TO CAPTURE THE ENTIRE SWQV ON SITE SO A PAYMENT-IN-LIEU WILL BE REQUIRED FOR THAT SURPLUS VOLUME AND THAT FEE CALCULATION IS INCLUDED ON THIS PLAN.



### 5200 Menaul Blvd NE (100' R/W)



### 1 GRADING and DRAINAGE PLAN SCALE: 1" = 10'-0"

### LEGAL DESCRIPTION

LOT 4-A1, BLOCK 108, OF BEL-AIR, A REPLAT OF LOT 4-A, BLOCK 108, SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICTS NOS. 13 AND 22, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 24, 1985 IN BOOK C27, PAGE 127.

### GENERAL NOTES

A ALL SIDEWALKS TO HAVE MAXIMUM 2% CROSS SLOPE

### SHEET KEYNOTES

- NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG. #2430
- NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG. #2415A
- NEW CONCRETE DRIVE ENTRANCE PER CITY OF ALBUQUERQUE STANDARD DWG. #2426 AND #2420
- ONSITE CONCRETE CURB AND GUTTER PER A1/C20
- 8" CONCRETE RETAINING WALL PER A2/C20
- NEW CONCRETE CURB PER A3/C20
- 1'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DWG. #2236 - EXTEND 2'-0" EAST OF SIDEWALK
- ASPHALT PAVING PER A4/C20
- 1'-0" WIDE CURB BREAK FOR DRAINAGE
- REMOVE AND REPLACE CONCRETE APRON AT EXISTING WATER VALVE - ADJUST VALVE BOX TO NEW GRADE

### LEGEND

- PROPERTY LINE
- BUILDING PAD PERIMETER
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW CONTOUR
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- FF FINISHED FLOOR
- TW TOP OF WALL
- INV INVERT
- ROOF DRAIN
- FLOW DIRECTION
- NEW CONCRETE PAVING
- NEW AC PAVING

PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR  
(SPECIAL ORDER 19 - "SO-19")

- BUILD SIDEWALK CULVERT PER COA STD. DWG. 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- ANY EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE, DIAL "811", OR CALL (505) 260-1990, FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

REV	DATE	BY	REVISION

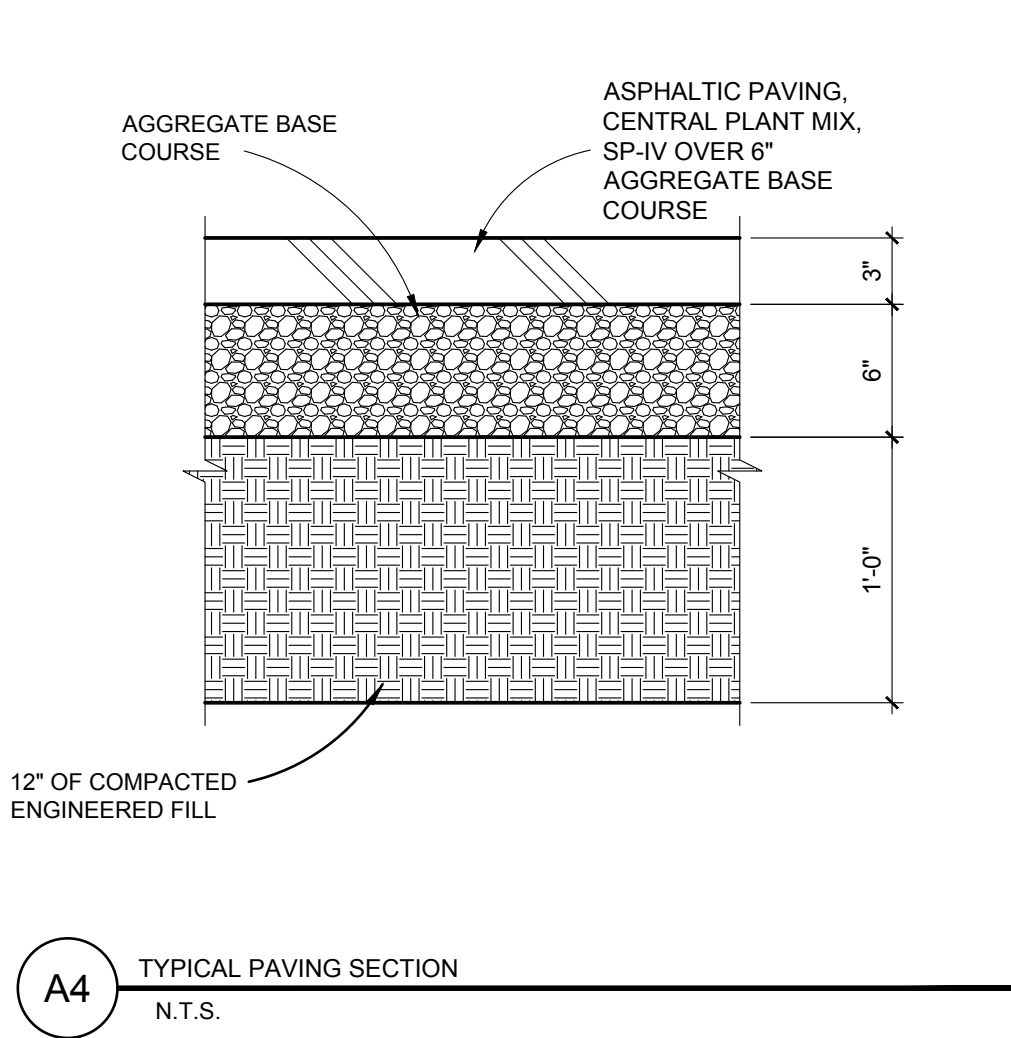
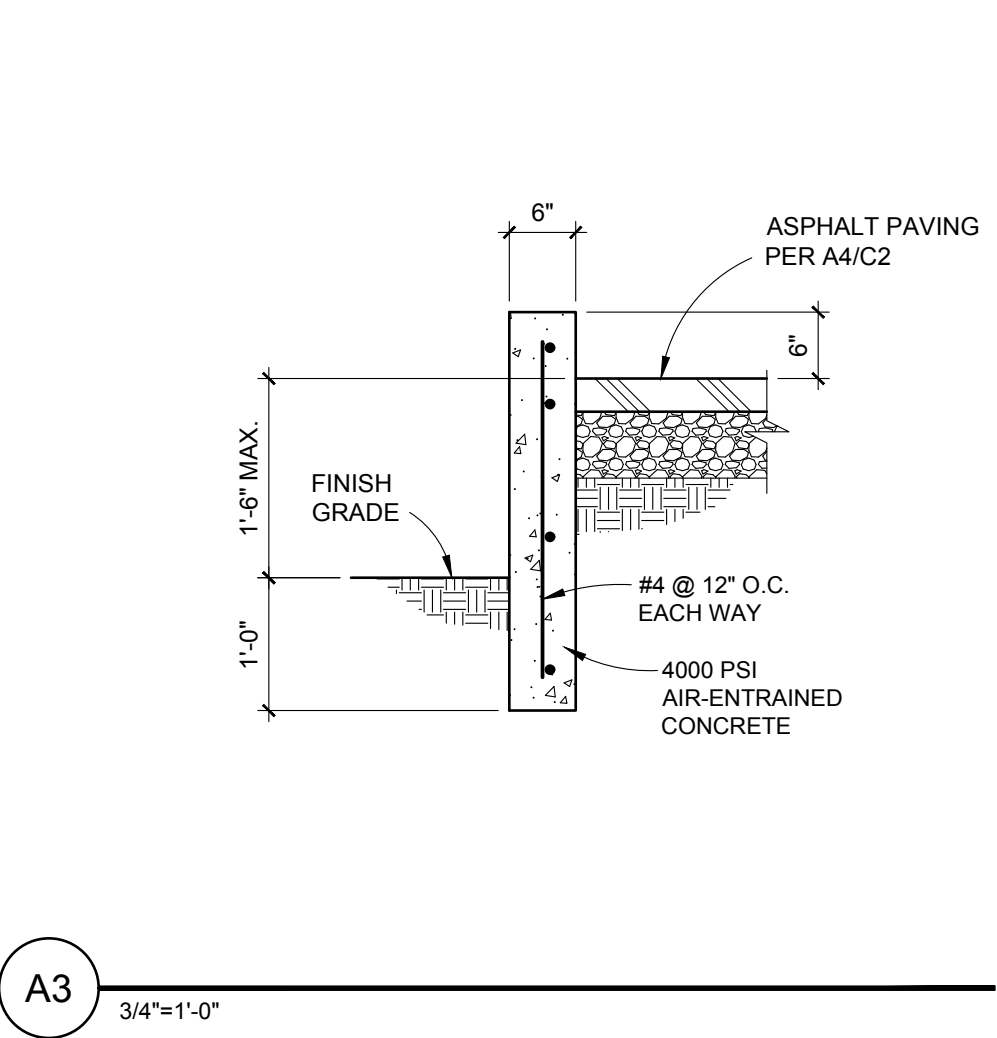
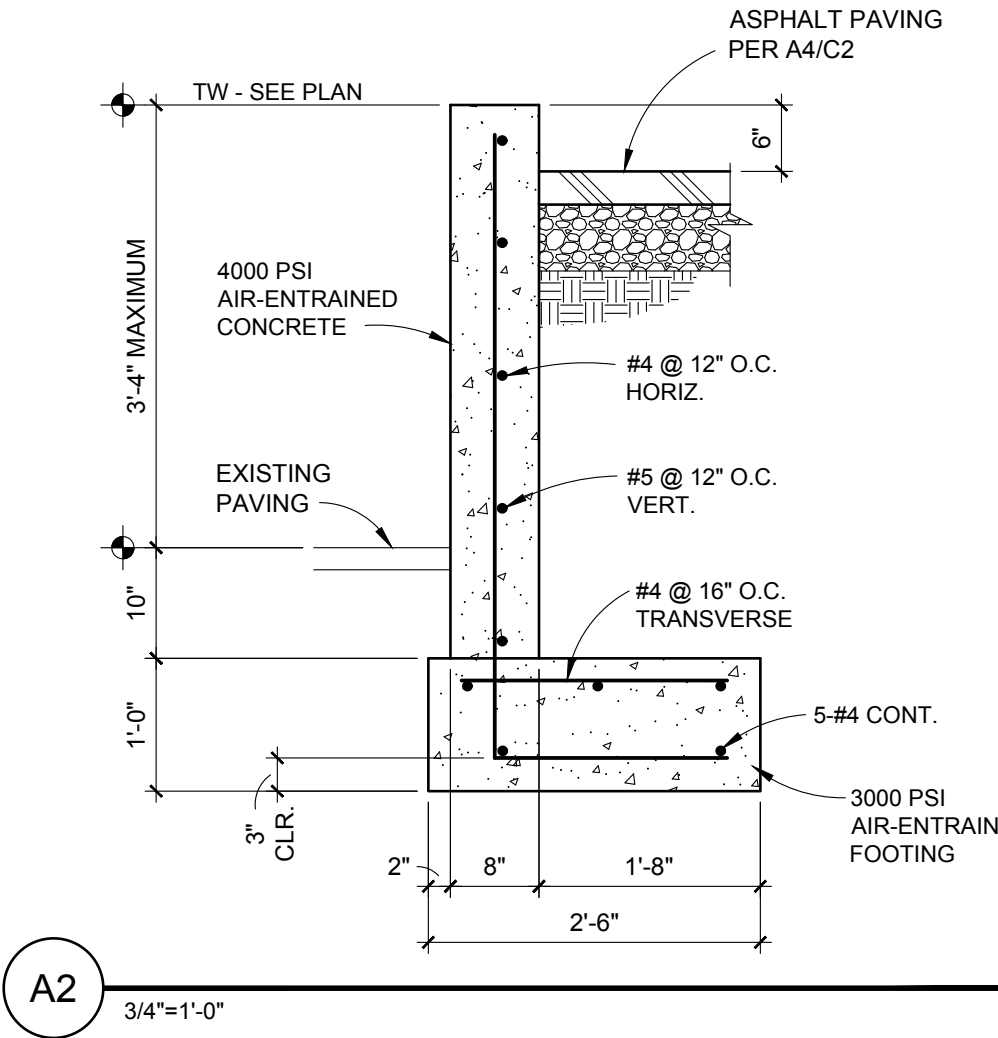
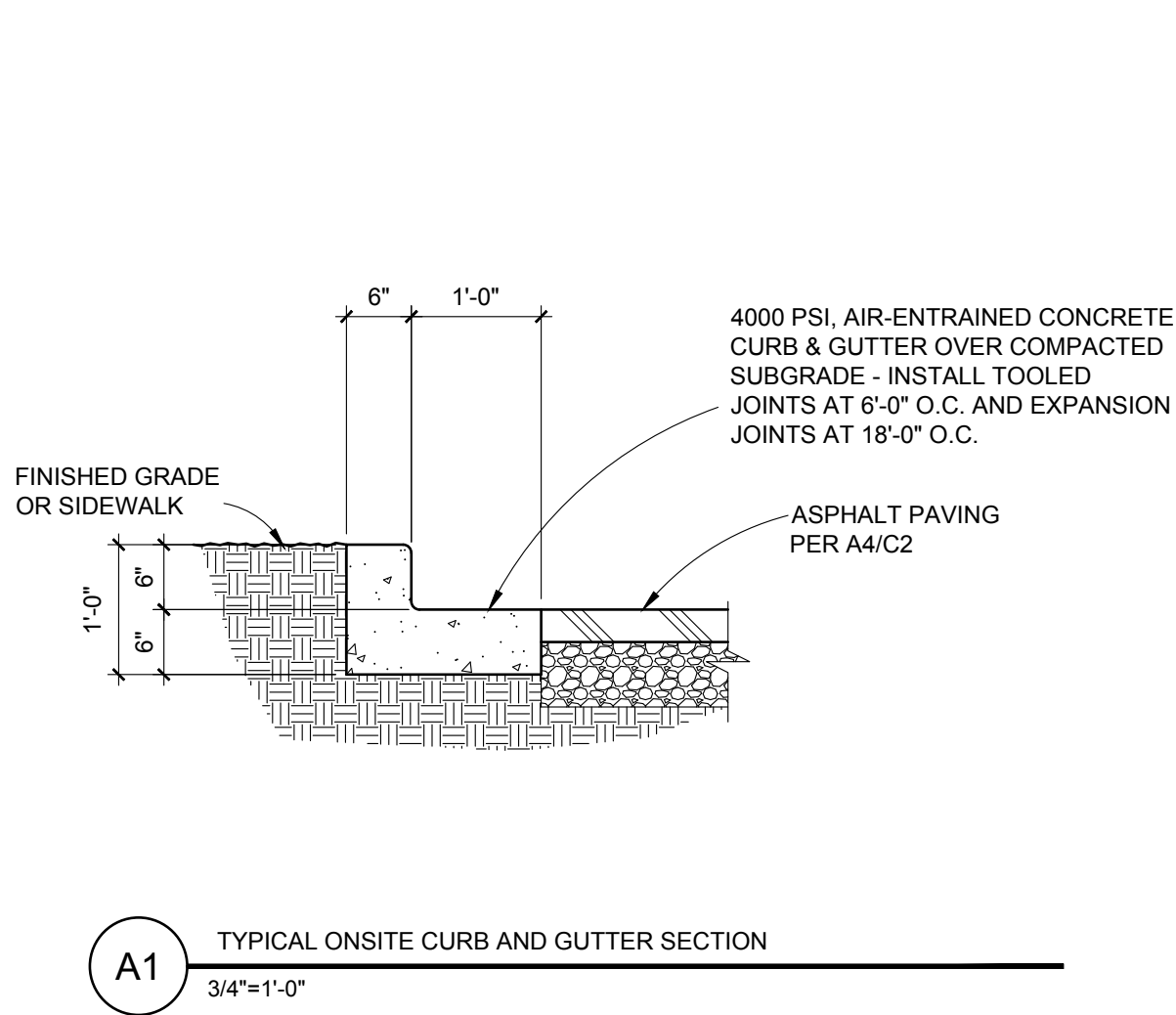
**MODULUS ARCHITECTS**  
100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161



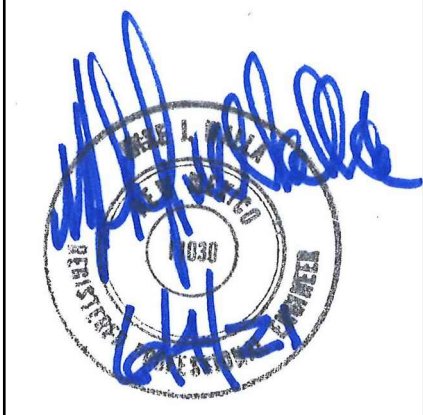
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5200 MENAUL BLVD. NE ALBUQUERQUE, NM		5	
SHEET TITLE <b>GRADING and DRAINAGE PLAN</b>		C1	

DATE 06-04-21	SHEET C1
SCALE:	





PROJECT TITLE <b>ZIGGIS COFFEE</b>		JOB NO.		DRAWN BY: LEK	
5200 MENAUL BLVD. NE ALBUQUERQUE, NM		PROJECT MANAGER		SHEET TITLE <b>CIVIL DETAILS</b>	
DATE 06-04-21		SCALE:		SHEET <b>C20</b>	



**MODULUS ARCHITECTS**

100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION