

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 28, 2022

Mike Walla, P.E.  
Walla Engineering  
6501 Americas Parkway NE, Suite 301  
Albuquerque, NM 87110

**Re: 5200 Menaul Blvd NE  
Request for Certificate of Occupancy - Permanent  
Hydrology Final Inspection –Approved  
Grading and Drainage Plan Stamp Date: 6/4/21  
Certification dated: 9/7/22  
Drainage File: H18D073**

Dear Mr. Walla,

Based on the submittal received 9/7/22 and inspection on 9/12/22 this certification is approved for Permanent Certificate of Occupancy by Hydrology for Ziggy's Coffee.

If you have any questions, you can contact me at 505-924-3695 or [dggutierrez@cabq.gov](mailto:dggutierrez@cabq.gov).

Sincerely,

David G. Gutierrez, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** ZIGGYS COFFEE **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** \_\_\_\_\_

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** LOT 4-A1, BLOCK 108, OF BEL-AIR, A REPLAT OF LOT 4-A, BLOCK 108, SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICTS NOS. 13 AND 26, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 24, 1985 IN BOOK C27, PAGE 127.

**City Address:** 5200 MENAUL BLVD. NE, ALBUQUERQUE, NEW MEXICO

**Applicant:** WALLA ENGINEERING **Contact:** MIKE WALLA

**Address:** 6501 AMERICAS PARKWAY NE, SUITE 301, ALBUQUERQUE, NM 87110

**Phone#:** 505-881-3008 **Fax#:** 505-881-4025 **E-mail:** mikew@wallaengineering.com

**Other Contact:** MODULUS ARCHITECTS **Contact:** CARLOS TORRES

**Address:** 100 SUN AVE. NE, SUITE 600, ALBUQUERQUE, NM 87109

**Phone#:** 505-388-1499 **Fax#:** \_\_\_\_\_ **E-mail:** ctores@modulusarchitects.com

**TYPE OF DEVELOPMENT:** \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

**DEPARTMENT** \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

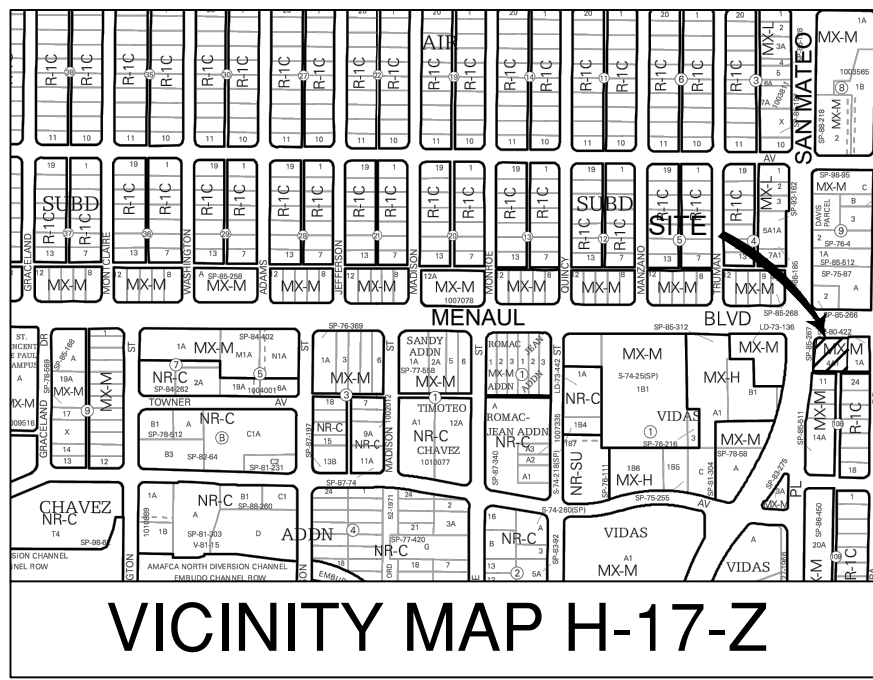
**DATE SUBMITTED:** 9-7-22 **By:** MIKE WALLA

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_





### HYDROLOGY CALCULATIONS

ZIGGYS COFFEE - SITE AREA = 0.499 ACRES

DESIGN CRITERIA: CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL - JUNE 2020  
CHAPTER 6 DRAINAGE, FLOOD CONTROL, AND EROSION CONTROL  
PROCEDURE FOR 40-ACRE AND SMALLER BASINS

PRECIPITATION ZONE 3 PER SECTION 6-2(A)(1), TABLE 6.2.7 AND FIGURE 6.2.3

EXCESS PRECIPITATION, E, PER TABLE 6.2.13

PEAK DISCHARGE FOR SMALL WATERSHEDS: PER TABLE 6.2.14

### PRE-DEVELOPED/EXISTING CONDITIONS

LAND TREATMENT	AREA (AC)	EXCESS PRECIP. "E" (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.000	0.67	1.84	0.37
B	0.009	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.490	2.58	4.49	0.91

WEIGHTED E:  $[(0.009 \times 0.86) + (0.490 \times 2.58)]/0.499 = 2.55$  IN

V360 =  $2.55 \times 0.499 \times 43560/12 = 4617$  CF

TOTAL QP =  $(0.009 \times 2.49) + (0.490 \times 4.49) = 2.222$  CFS

### POST DEVELOPED/PROPOSED CONDITIONS

LAND TREATMENT	AREA (AC)	EXCESS PRECIP. "E" (IN)	PEAK Q (CFS/AC)	COEFFICIENT C
A	0.000	0.67	1.84	0.37
B	0.041	0.86	2.49	0.50
C	0.000	1.09	3.17	0.64
D	0.458	2.58	4.49	0.91

WEIGHTED E:  $[(0.041 \times 0.86) + (0.458 \times 2.58)]/0.499 = 2.44$  IN

V360 =  $2.44 \times 0.499 \times 43560/12 = 4417$  CF

TOTAL QP =  $(0.041 \times 2.49) + (0.458 \times 4.49) = 2.16$  CFS

RATIONAL METHOD CHECK: 12-MINUTE PEAK INTENSITY, I = 4.96 IN/HR

Q = CIA =  $(0.50 \times 4.96 \times 0.041) + (0.91 \times 4.96 \times 0.458) = 2.17$  CFS OK

STORM WATER QUALITY VOLUME, (SWQV)

IMPERVIOUS AREA = 0.458 AC

BMP VOLUME REQUIRED:  $0.26" \times 0.458 \times 43560/12 = 432$  CF

SWQV POND VOLUME: POND #1

CONTOUR	AREA	VOLUME
14.50	272 SF	
14.00	126 SF	99 CF
13.50	50 SF	44 CF
SUB TOTAL		143 CF

SWQV POND VOLUME: POND #2

CONTOUR	AREA	VOLUME
13.00	180 SF	
12.50	104 SF	71 CF
12.00	28 SF	33 CF
SUB TOTAL		104 CF

SWQV POND VOLUME: POND #3

CONTOUR	AREA	VOLUME
13.29	135 SF	
13.00	90 SF	33 CF
12.50	38 SF	32 CF
SUB TOTAL		64 CF

TOTAL SWQV POND CAPACITY PROVIDED = 311 CF

PAYMENT-IN-LIEU CALCULATION: SWQV REQ'D LESS SWQV PROVIDED = 432 CF - 311 CF = 121 CF AT \$8.00/CF PAYMENT DUE = 121 CF X \$8 = \$968.00

WIER CALCULATIONS:  $Q = CLH^{3/2}$ , WHERE C = 2.7

AT SWQV POND:  $Q = 2.7 \times 1 \times (0.7)^{3/2} = 2.13$  CFS

AT CURB BREAKS/POND OVERFLOWS:  $Q = 2.7 \times 2 \times (0.5)^{3/2} = 7.2$  CFS

### GRADING & DRAINAGE DESIGN NARRATIVE

**SUBJECT PROPERTY:** ZIGGYS COFFEE - 5200 MENAUL BLVD. NE, ALBUQUERQUE, NM

**AREA OF SITE:** 0.499 ACRE

**REFERENCE:** CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL (DPM)

**PROJECT DESCRIPTION:** THE DEVELOPMENT IS THE RENOVATION OF AN EXISTING STRUCTURE THAT WILL INCLUDE REMOVAL OF AN EXISTING GAS STATION CANOPY AND REMOVAL AND REPLACEMENT OF EXISTING SITE PAVING. THE BUILDING WILL HAVE A DRIVE THRU WINDOW AND THE SITE WILL BE REGRADED TO CORRECT SITE DEVELOPED RUNOFF FLOWING TO AN ADJACENT ALLEY AND EXISTING DRIVE ENTRANCES TO THE SITE WILL BE CHANGED TO MEET COA TRANSPORTATION RECOMMENDATIONS.

**PREDEVELOPED CONDITIONS:** THE EXISTING SITE IS SLOPED TO DRAIN PRIMARILY TO SAN MATEO BLVD. AND HAS NO REAL ONSITE PONDING. THE MAJORITY OF THE SITE HAS IMPERVIOUS SURFACES THAT FREE DISCHARGE DEVELOPED RUNOFF TO DOWNSTREAM PUBLIC DRAINAGE FACILITIES THROUGH DRIVE ENTRANCES TO THE SITE.

**DEVELOPED RUNOFF:** THE NEW RENOVATION AND SITE DEVELOPMENT IS LIMITED DUE TO MAINTAINING THE EXISTING BUILDING FINISHED FLOOR ELEVATION BUT THE NEW PAVING AND REGRADED OF THE SITE WILL BE DESIGNED TO COLLECT, AS MUCH AS POSSIBLE IN EXPANDED LANDSCAPED AREAS, THE REQUIRED STORM WATER QUALITY VOLUME AS DEFINED IN THE DPM. CALCULATIONS INDICATE THAT THESE BMP'S WILL STILL NOT HAVE ENOUGH CAPACITY TO CAPTURE THE ENTIRE SWQV ON SITE SO A PAYMENT-IN-LIEU WILL BE REQUIRED FOR THAT SURPLUS VOLUME AND THAT FEE CALCULATION IS INCLUDED ON THIS PLAN.

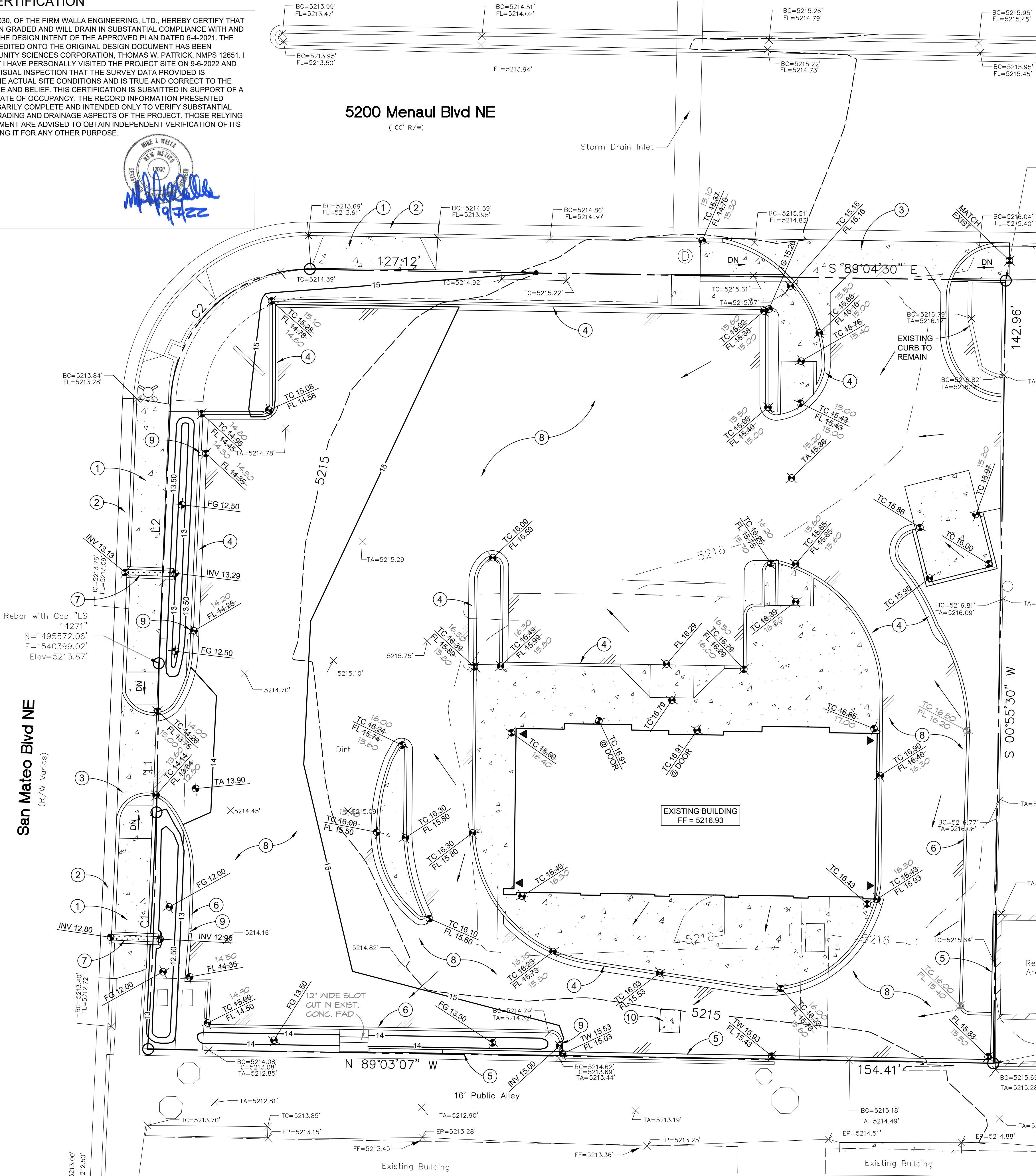
### DRAINAGE CERTIFICATION

I, MIKE WALLA, NMPE 11030, OF THE FIRM WALLA ENGINEERING, LTD., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 6-4-2021. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED FROM COMMUNITY SCIENCES CORPORATION, THOMAS W. PATRICK, NMPS 12651. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 9-6-2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF THE ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



San Mateo Blvd NE  
(R/W Varies)

Rebar with Cap "LS"  
14271"  
N=1495572.06'  
E=1540399.02'  
Elev=5213.87'



## 1 GRADING and DRAINAGE PLAN

SCALE: 1" = 10'-0"

### LEGAL DESCRIPTION

LOT 4-A1, BLOCK 108, OF BEL-AIR, A REPLAT OF LOT 4-A, BLOCK 108, SUBDIVISION OF A TRACT OF LAND IN SCHOOL DISTRICTS NOS. 13 AND 22, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JUNE 24, 1985 IN BOOK C27, PAGE 127.

### GENERAL NOTES

A ALL SIDEWALKS TO HAVE MAXIMUM 2% CROSS SLOPE

### SHEET KEYNOTES

- NEW CONCRETE SIDEWALK PER CITY OF ALBUQUERQUE STANDARD DWG. #2430
- NEW CONCRETE CURB AND GUTTER PER CITY OF ALBUQUERQUE STANDARD DWG. #2415A
- NEW CONCRETE DRIVE ENTRANCE PER CITY OF ALBUQUERQUE STANDARD DWG. #2426 AND #2420
- ONSITE CONCRETE CURB AND GUTTER PER A1/C20
- 8" CONCRETE RETAINING-WALL-PER A2/C20- 8" CMU WALL
- NEW CONCRETE CURB PER A3/C20
- 1'-0" WIDE SIDEWALK CULVERT PER CITY OF ALBUQUERQUE STANDARD DWG. #2236 - EXTEND 2'-0" EAST OF SIDEWALK
- ASPHALT PAVING PER A4/C20
- 1'-0" WIDE CURB BREAK FOR DRAINAGE
- REMOVE AND REPLACE CONCRETE APRON AT EXISTING WATER VALVE - ADJUST VALVE BOX TO NEW GRADE

### LEGEND

- PROPERTY LINE
- BUILDING PAD PERIMETER
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- NEW SPOT ELEVATION
- NEW CONTOUR
- TC TOP OF CONCRETE
- FG FINISHED GRADE
- FF FINISHED FLOOR
- TW TOP OF WALL
- INV INVERT
- ROOF DRAIN
- FLOW DIRECTION
- NEW CONCRETE PAVING
- NEW AC PAVING

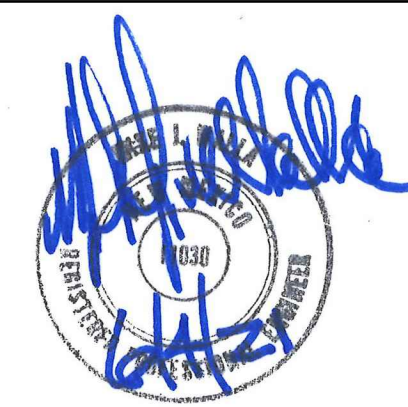
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY NOTICE TO CONTRACTOR (SPECIAL ORDER 19 - "SO-19")

- BUILD SIDEWALK CULVERT PER COA STD. DWG. 2236.
- CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A MEETING PRIOR TO FORMING.
- ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE, DIAL "811", OR CALL (505) 260-1990, FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR MUST CONTACT STORM DRAIN MAINTENANCE AT (505) 857-8033 TO SCHEDULE A CONSTRUCTION INSPECTION. FOR EXCAVATING AND BARRICADING INSPECTION, CONTACT CONSTRUCTION COORDINATION AT (505) 924-3416.

REV	DATE	BY	REVISION

**MODULUS ARCHITECTS**

100 SUN AVENUE NE SUITE 305  
ALBUQUERQUE, NEW MEXICO 87109  
PHONE (505) 338-1499 FAX (505) 338-1498  
TOLL FREE 1-866-224-2161



PROJECT TITLE <b>ZIGGYS COFFEE</b>	5200 MENAUL BLVD. NE ALBUQUERQUE, NM	DRAWN BY: LEK
PROJECT MANAGER MIJW	JOB NO.	
SHEET TITLE <b>GRADING and DRAINAGE PLAN</b>		

DATE 06-04-21	SHEET <b>C1</b>
SCALE:	