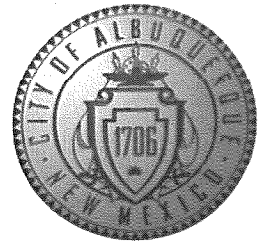


CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

September 1, 2022

Carlos Torres
Modulus Architects
100 Sun Ave. NE, Suite 600
Albuquerque, NM 87109

Re: Ziggis Coffee
5200 Menaul Blvd. NE
30-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 06-04-21 (H18-D073)
Certification dated 08-30-22

Dear Mr. Torres,

Based upon the information provided in your submittal received 08-23-22, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Provide As Built site plan, and red mark the following changes:
 1. Per site visit, the dimension from the ADA ramp (at the north of the building) to the building are 4'.
 2. Per site visit, the location of the Bike Rack is on the northeast side of the building (on the Patio area).
- "Drive-Thru" pavement marking is missing.
- Please provide "Drive-Thru" signs at the beginning of drive-thru lanes.

Once these corrections are complete, email pictures to malnajjra@cabq.gov for release of Final CO.

If you have any questions, please contact me at (505) 924-3675.


Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

ma via: email
C: CO Clerk, File



Planning Department – Transportation & Hydrology

City of Albuquerque
600 2nd Street NW, Suite 201
Albuquerque, NM 87102
925.965.4475

August 15, 2022

**RE: Traffic Certification for Ziggis Coffee at 5200 Menaul Blvd. NE (BP-2022-14172)
(Original permit # BP-2021-25150)**

To whom it may concern,

I, Stephen Dunbar, NMRA #4218, of the firm Modulus Architects, hereby certify that the above referenced project is in substantial compliance and in accordance with the design intent of the Architectural Site Plan (TCL), dated 8-25-21. I further certify that Carlos Torres, Sr. Project Manager at Modulus Architects, personally visited the site on 8-11-22 and has determined by visual inspection that the improvements installed to date are representative of actual site conditions with minor modification and is true and correct to the best of his knowledge and belief. This certification is submitted in support of a request for a permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Sincerely,

Stephen Dunbar, AIA
Principal in Charge
Modulus Architects, Inc.
110 Sun Avenue NE, Suite 305
Albuquerque, NM 87109
(O) 505.338.1499, Ext. 1004



TRAFFIC CIRCULATION LAYOUT APPROVED

Signed

Date

8/25/21

PARKING CALCULATIONS

SPACES REQUIRED

RESTAURANT: 8 SPACES PER 1,000 S.F.
843 SF = 8 SPACES

OUTDOOR PATIO: 5 SPACES PER 1,000 S.F.
400 SF = 2 SPACES

BUSINESS: 3.5 SPACES PER 1,000 S.F.
1,037 SF = 3 SPACES

BICYCLE: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES
11 SPACES * 10% = 1.1

MOTORCYCLE: 1 SPACE PER 1-25 PARKING SPACES
11 SPACES = 1 SPACE

SPACES PROVIDED

TOTAL RESTAURANT: 8 SPACES

TOTAL OUTDOOR PATIO: 2 SPACES

TOTAL BUSINESS: 6 SPACES

VEHICLE GRAND TOTAL PROVIDED: 16

TOTAL BICYCLE: 3 SPACES

TOTAL MOTORCYCLE: 1 SPACE

GRAND TOTAL SPACES: 20

KEYED NOTES:

1. CURB RAMP RE: 1964
2. TYP. CURB RE: 864
3. BIKE RACK RE: 1964
4. ADA PARKING RE: 206
5. ADA SIGN RE: 1106
6. MOTORCYCLE SIGN RE: 1208
7. ADA RAMP RE: 1964
8. CROSSWALK RE: 694
9. BOLLARD RE: 404
10. "DO NOT ENTER" SIGN RE: 1246
11. "DO NOT ENTER" MARKING RE: 706
12. "ONE WAY" MARKING FONT SIZE COLOR AND STYLE TO MATCH DETAIL 706
13. EXISTING FIRE HYDRANT
14. CONCRETE RAMP PER COA DRAWING STANDARD 2405
15. CONC. ISLAND RE: 964 S.M.
16. PAVEMENT MARKING TO FOLLOW COA STANDARD RE: 864
17. EXISTING LANDSCAPE
18. DUMPSTER ENCLOSURE RE: 405
19. NEW LANDSCAPE AREA
20. CLEARANCE BAR
21. EXISTING SIDEWALK
22. NEW CONC. RETAINING WALL RE: CIVIL
23. DEMO EXISTING RAMPS AND DRIVE. PREPARE AREA FOR NEW SIDEWALK, CURB & GUTTER REFER TO COA DRAWING STANDARD 2415A & 2430.
24. DEMO EXISTING SIDEWALK AND RAMPS. PREPARE FOR NEW SIDEWALK, ADA RAMP AND DRIVE. REFER TO COA DRAWING STANDARD 2430 FOR SIDEWALK.
25. NEW PRIVATE ENTRANCE PER COA STANDARD DRAWING 2405 W/ PARALLEL ADA RAMP.
26. VALLEY GUTTER SIMILAR TO COA STANDARD DRAWING 2430.
27. DETECTABLE WARNING PER COA STANDARD DRAWING 2446
28. PROVIDE SIGNAGE IN MEDIAN DIRECTLY ACROSS DRIVE. REFER TO DETAILS "A" "ONE WAY" 14 ON G6.
30. PROVIDE "DO NOT ENTER" SIGN FACING SAN MATEO OUTWARD. PROVIDE "ONE WAY" AND NO LEFT TURN SIGN FACING PROPERTY INWARD. REFER TO DETAILS "A" & "A" ON G6.
31. WHEEL STOP RE: 405

EASEMENT NOTES:

1. EXISTING 5' PNM EASEMENT (01/31/1995, BOOK MISC. 270-A, PAGE 677 AS DOCUMENT NO. 85-76776)
2. EXISTING 10' PNM EASEMENT (01/31/1995, BOOK MISC. 270-A, PAGE 677 AS DOCUMENT NO. 85-76776)
3. EXISTING 5' PNM EASEMENT (01/31/1995, BOOK MISC. 270-A, PAGE 677 AS DOCUMENT NO. 85-76776)
4. EXISTING 5' UTILITY EASEMENT AS SCALED FROM PLAT (5-12-1947, D-85)

GENERAL NOTES

- A. "G" SERIES SHEETS APPLY TO THE ENTIRE SET OF DRAWINGS.
- B. INDICATED DIMENSIONS ARE TO FACE OF FINISH U.N.O.
- C. PARKING AN ACCESSIBLE PAVEMENT MARKING AND STRIPPING SHALL CONFORM TO THE NEW MEXICO COMMERCIAL BUILDING CODE SECTION 1110.3.87.2
- D. EXISTING BROKEN OR CRACKED SIDEWALK SHALL BE REPLACED WITH SIDEWALK AND CURB AND GUTTER.
- E. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS THEREFORE: SIGNS, WALLS, TREES AND SHRUBS BETWEEN 3' AND 8' TALL (AS MEASURED FROM THE GUTTER PLAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- F. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED W/ SIDEWALK CURB & GUTTER. REFER TO COA STANDARD DRAWING 2415A AND 2430

CITY OF ALBUQUERQUE PLANNING

These plans have been reviewed
for code compliance and are:

APPROVED

The Approval of these plans shall not
be construed to be a permit for any
violations of any code or ordinance
of this city.

PERMIT #: BP-2021-25150

DATE: 08/27/21

A printed copy of these plans shall be on the job site for all
requested inspection.

EXISTING LANDSCAPE

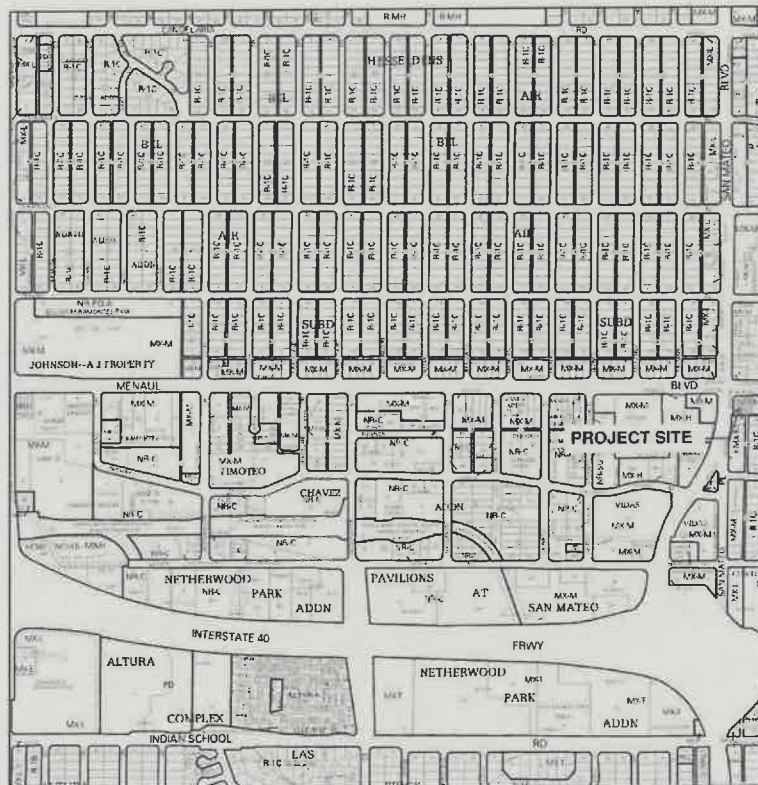
NEW CURB

PATIO

SAN MATEO BLVD. NE.

R/W MARKS

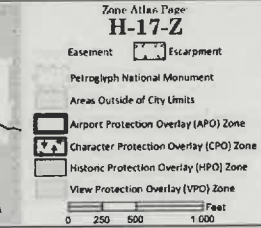
PROJECT SITE



IDO Zone Atlas
May 2018



IDO Zoning Information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).



MODULUS ARCHITECTS

100 SUN AVENUE NE SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-224-2481



CONSTRUCTION DOCUMENTS

PROJECT TITLE
ZIGIS COFFEE

5200 MENAUL BLVD. NE ALBUQUERQUE, NM

PROJECT MANAGER JOB NO. DRAWN BY:

SHEET TITLE
ARCHITECTURAL SITE PLAN

DATE
06-04-21

SHEET
G3

SCALE:

418-0073