

NOTES

1) The basis of bearing is the monument line of Menaul Boulevard, also being the North line of the Southwest Quarter of Section 12, using a bearing of South 89 degrees 30 minutes 00 seconds East per Plat of "BLOCKS 101 TO 116 OF BEL-AIR", recorded in 1947-061247A, records of Bernalillo County, New Mexico.

2) The Benchmark used for this survey is the Bernalillo County Monument ID 19_H18A, being a Aluminum Cap Flush, located at the Northeast corner of San Mateo Boulevard and Menaul Boulevard, having an elevation of 5214.23', NAVD88.

3) All title information and the description shown is based on a Commitment for Title Insurance issued by Chicago Title Insurance Company, Commitment Number SP000107209, dated April 20, 2021 and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.

4) The number of striped parking spaces on the subject property are as follows:
Regular: 12
Handicapped: 1
Total: 13

5) The building lines and dimensions shown depict the exterior building footprint at ground level based on field measurements. This information is intended to depict the general configuration of the building at ground level and may or may not be the exact dimensions of the building foundation. The building square footage shown is based on the exterior building footprint and is not intended to reflect the interior or leasable area of any building. The building offset distances shown are to actual building corners. Building heights shown are the measurement between the adjacent natural ground to the highest point on the building visible from the ground.

6) According to FEMA Flood Insurance Rate Map, Map Number 35001C0352H, dated August 16, 2012, the surveyed property is located in Zone X. Zone X is defined as "Area of Minimal Flood Hazard."

7) The underground utilities shown are based on information obtained from plans and markings, combined with observed evidence. However, lacking excavation, the exact location of underground features cannot be accurately, completely and reliably depicted. If this site is to be improved, the utilities and their locations shown on this survey should be verified. Please contact a private underground utility locator for any further utility locations on site prior to any design and/or excavation.

8) There was no observable evidence of cemeteries, gravesites, or burial grounds on the subject property as disclosed by record documents provided to the surveyor, or observed in the process of conducting the survey.

9) The surveyed property has direct physical access to Menaul Boulevard and La Veta Drive, being an improved and open public rights-of-way.

10) The descriptions provided mathematically close and contain no gaps, gores or overlaps between the parcels described.

11) Use of the information contained in this instrument for other than the specific purpose for which it was intended is forbidden unless expressly permitted in writing in advance by Superior Surveying Services, Inc. Superior Surveying Services, Inc. shall have no liability for any such unauthorized use of this information without their written consent.

LEGEND

---	BOUNDARY LINE
---	CENTER LINE OR MONUMENT LINE
----	CONCRETE SURFACE
----	24 INCH VERTICAL CURB & GUTTER
----	6 INCH CONCRETE CURB
----	INDICATES DRIVEWAY (MEANS OF ACCESS)
----	WALL
X	FENCE
O.H.E.	OVERHEAD ELECTRIC LINE
E	UNDERGROUND ELECTRIC LINE
G	UNDERGROUND GAS LINE
S	UNDERGROUND SANITARY SEWER LINE
SD	UNDERGROUND STORM SEWER LINE
W	UNDERGROUND WATER LINE
⊗	INDICATES BOUNDARY CORNER NOTHING FOUND OR SET
⊙	CALCULATED POSITION NO MONUMENT FOUND OR SET
⊖	SCHEDULE B ITEM
⊕	DOWN GUY
⊙	FIRE HYDRANT
⊙	GUARD POST OR GATE POST
⊙	HANDICAPPED SPACE
⊙	METAL GRATE (RECTANGULAR)
X	LIGHT POLE
○	METAL COVER (CIRCULAR)
▽	PEDESTRIAN ACCESS RAMP
●	POWER POLE
⊙	SEWER MANHOLE
⊙	TRAFFIC SIGNAL BOX
⊙	WATER METER
⊙	WATER VALVE
FL	FLOW LINE
FF	FINISHED FLOOR
TC	TOP OF CURB
NG	NATURAL GROUND
P	PAVEMENT
C	CONCRETE
RIM	TOP OF RIM
INV	INVERT ELEVATION
A.P.N.	ASSESSORS PARCEL NUMBER
B.C.R.	BERNALILLO COUNTY RECORDS
R/W	RIGHT OF WAY
BK	BOOK
PG.	PAGE
(TYP.)	TYPICAL
(R)	RECORD PER C30-98, B.C.R.
(M)	MEASURED

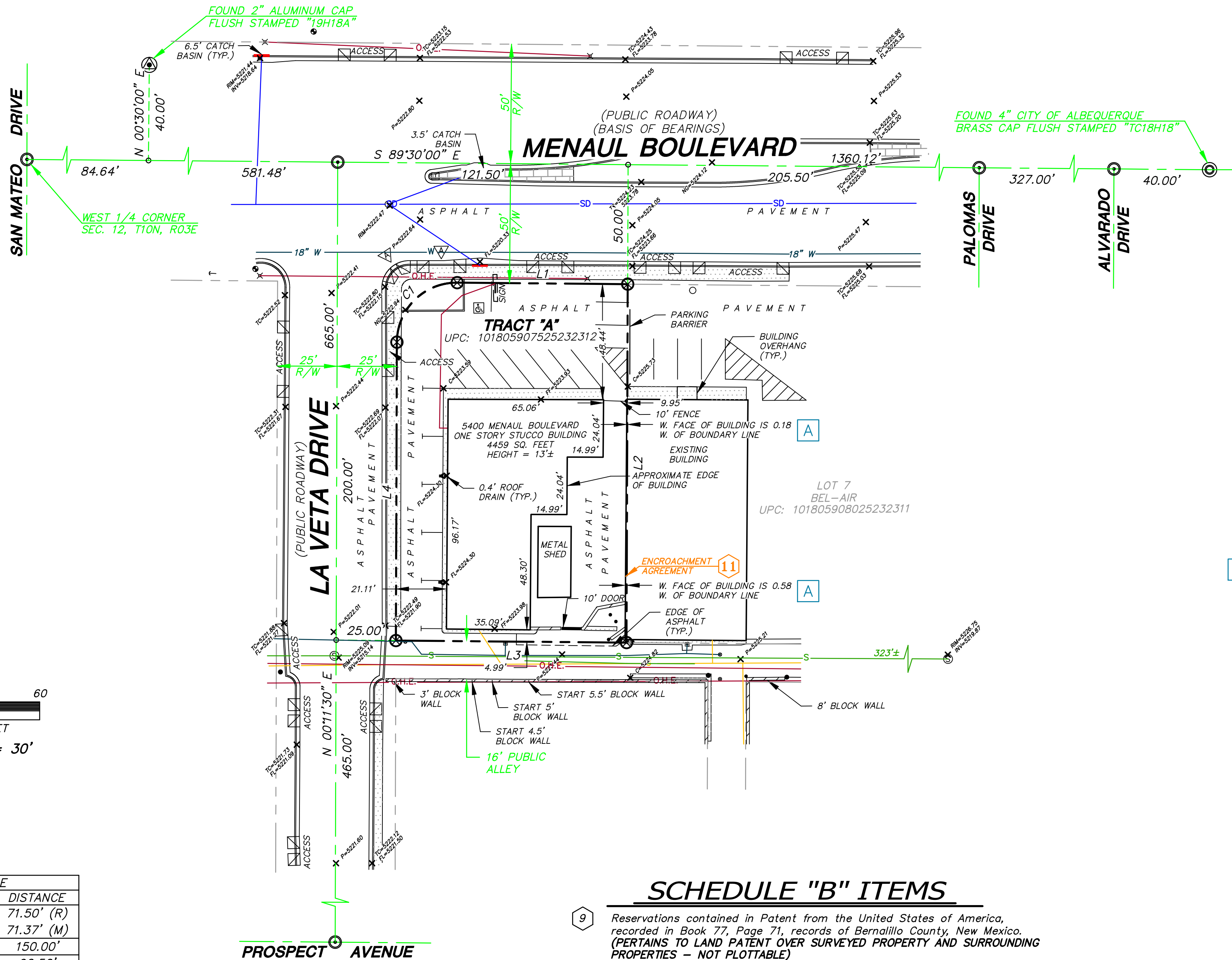
0 30 60
SCALE IN FEET
SCALE : 1" = 30'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 89°30'00" E	71.50' (R) 71.37' (M)
L2	S 00°11'30" W	150.00'
L3	N 89°30'00" W	96.50'
L4	N 00°11'30" E	125.00' (R) 124.87' (M)

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD DISTANCE
C1	25.00'	39.27' (R) 39.40' (M)	90°18'30"	N 45°20'45" E	35.45'

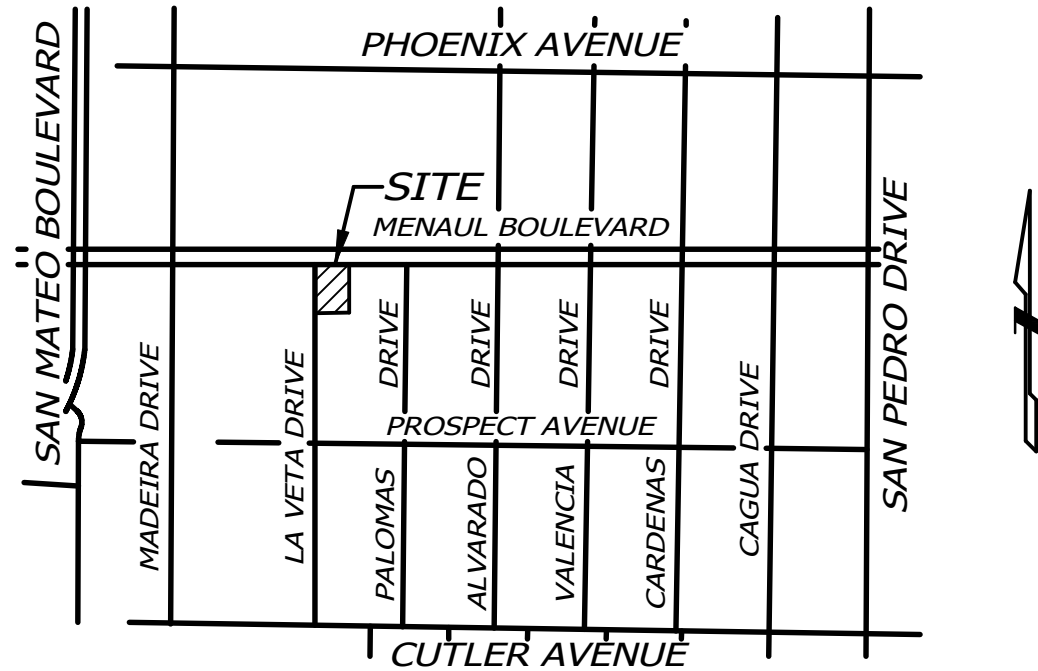
ALTA / NSPS LAND TITLE SURVEY

OF A PORTION OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 10 NORTH, RANGE 3 EAST OF THE NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, NEW MEXICO



SCHEDULE "B" ITEMS

- 9) Reservations contained in Patent from the United States of America, recorded in Book 77, Page 71, records of Bernalillo County, New Mexico. (PERTAINS TO LAND PATENT OVER SURVEYED PROPERTY AND SURROUNDING PROPERTIES - NOT PLOTTABLE)
- 10) Easements and notes as shown, noted and provided for on the plat recorded in Map Book C30, Folio 98, records of Bernalillo County, New Mexico. (NO PLOTTABLE EASEMENTS PERTAINING TO THE SURVEYED PROPERTY ARE CREATED BY THIS DOCUMENT)
- 11) Encroachment Agreement dated October 12, 2002, by and between Terry Scott Warnke and M. Leanne Potts, husband and wife and Mr. Casual, Inc., a New Mexico corporation, filed December 3, 2002, in Book A45, page 9602, as Document No. 2002160019, records of Bernalillo County, New Mexico. (ENCROACHMENT AGREEMENT ALONG EAST BOUNDARY LINE - NO EXACT LOCATION DEFINED)



VICINITY MAP

NOT TO SCALE

DESCRIPTION

Tract lettered "A", in Block numbered One Hundred Six (106), of BEL-AIR SUBDIVISION, being a replat of Lots 8, 9, and 10, Block 106, Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the Plat filed in the Office of the County Clerk of Bernalillo County, New Mexico on May 9, 1986, Plat book C30, Folio 98.

AREA = 0.329 ACRES

14,339 SQ. FT.

SIGNIFICANT OBSERVATIONS

- A) EVIDENCE OF BUILDING OVER WEST BOUNDARY LINE BY A MAXIMUM OF 0.58 FEET.

REFERENCES

GENERAL LAND OFFICE RECORDS ON FILE WITH THE U.S. DEPARTMENT OF THE INTERIOR BUREAU OF LAND MANAGEMENT

PLAT OF "TRACT A, BLOCK 106 BEL-AIR SUBDIVISION" RECORDED IN BOOK C30 OF MAPS, PAGE 98, BERNALILLO COUNTY RECORDS

BOUNDARY SURVEY PLAT OF "LOT 1 & THE EAST 19.5' OF LOT 2, BLOCK 103 BEL-AIR SUBDIVISION" RECORDED IN BOOK 98S OF MAPS, PAGE 224, BERNALILLO COUNTY RECORDS

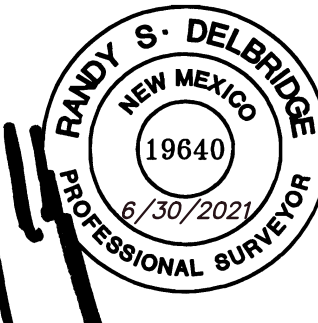
BOUNDARY SURVEY PLAT FOR "BRANCH HOLDINGS, LLC TRACT 53-B-2" RECORDED IN BOOK 2008S OF MAPS, PAGE 106, BERNALILLO COUNTY RECORDS

CERTIFICATION

To: NORTHERN PARTNERS HOLDINGS, LLC; DEMOTTE LLC, a New Mexico limited liability company; CHICAGO TITLE INSURANCE COMPANY:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 4, 3, 5, 7(a), 7(b)(1), 7(c), 8, 9, and 11(a) of Table A thereof. The field work was completed on June 11, 2021.

Date of Plat or Map: June 30, 2021
Randy S. Delbridge
P.S. 18214



ALTA / NSPS LAND TITLE SURVEY

5406 MENAUL BOULEVARD
ALBUQUERQUE NEW MEXICO, 87110

2122 W. Lone Cactus Drive, Suite 11
Phoenix, AZ 85027
623-869-0223 (office) 623-869-0726 (fax)
www.superiorsurveying.com
info@superiorsurveying.com

SUPERIOR
SURVEYING SERVICES, INC.

DWN: MB CHK: GBF
SHEET 1 OF 1
DATE: 6/30/2021
JOB: 202105018