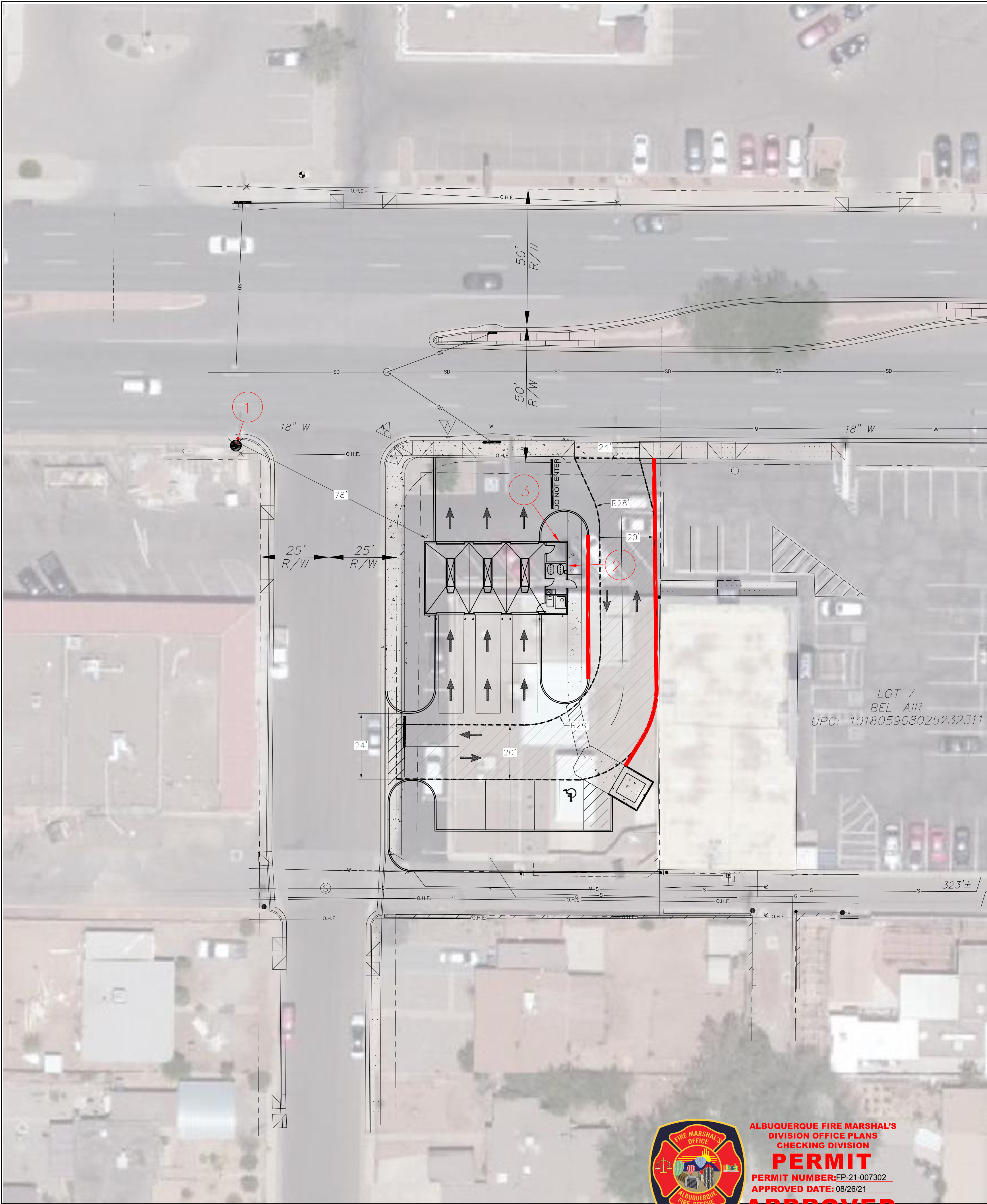


\\TNWAS\Z_Drive\2021\077 5400 Menaul Drive-Thru Oil Change Facility\dwg\Exhibits\FireOnePlan.dwg Aug 17, 2021 4:31pm



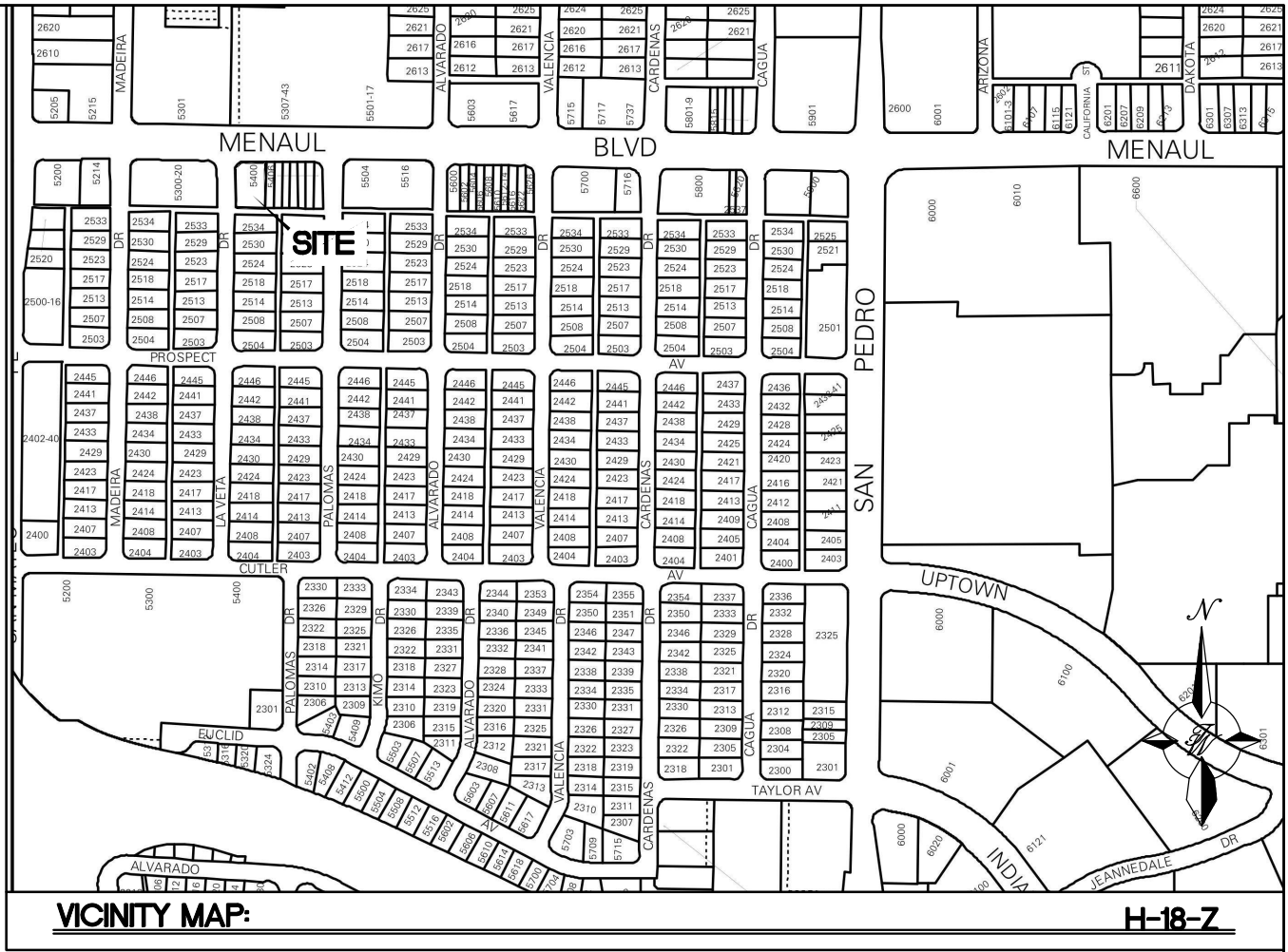
ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: FP-21-007302
APPROVED DATE: 08/26/21

APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: Fire Flow 1500GPM 1 Fire Hydrant V-B 14125QFT

LEGEND

- UTILITY EASEMENT
- BOUNDARY LINE
- SIDEWALK
- EXISTING OVERHEAD UTILITIES
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- SAS MANHOLE
- EXISTING FIRE HYDRANT
- FIRE ACCESS ROAD
- FIRE LANE MARKING (SEE DETAIL THIS SHEET)



LEGAL DESCRIPTION

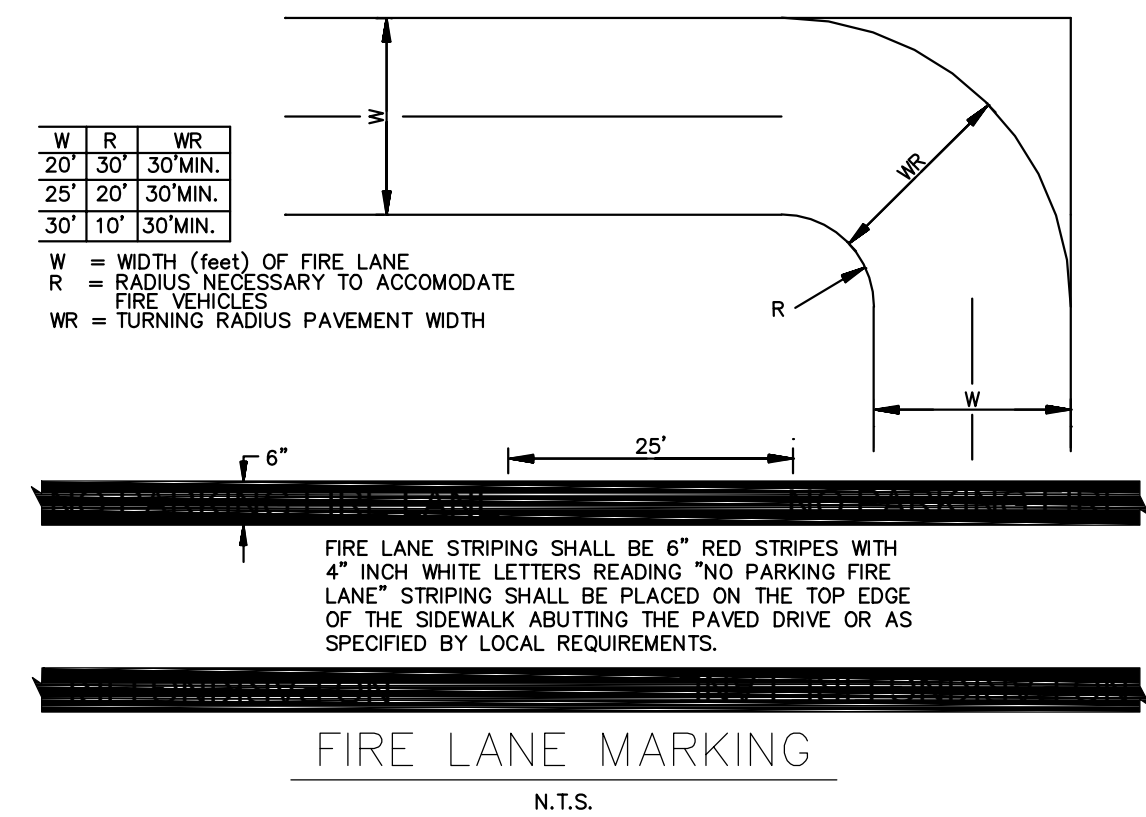
TR A PLAT OF TR A BLK 106 BEL-AIR SUBD BEING A REPLAT OF LTS 8,9 & 10 BLK 106 CONT 14,475 SF M/L

SITE DATA

5400 MENAUL BLVD NE
ALBUQUERQUE NM 87110
BUILDING FOOTPRINT = 1,412 SF
OCCUPANCY TYPE = B
CONSTRUCTION TYPE = V-B
NOT SPRINKLED
FIRE-FLOW = 1,500 GPM

NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHAL.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
- KNOX KEY SWITCH SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED. ONE IS TO BE PROVIDED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
- KNOX KEY SWITCH REQUIRED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
- BUILDINGS WILL REQUIRE VERTICAL AND HORIZONTAL FIRE SEPARATION BETWEEN EACH DWELLING UNIT WITH A FIRE-RESISTANCE RATING NO LESS THAN 2 HOURS PER 707.3.10 OF THE IBC.
- NO BUILDING SHOWN HEREIN SHALL EXCEED 30 FEET IN HEIGHT

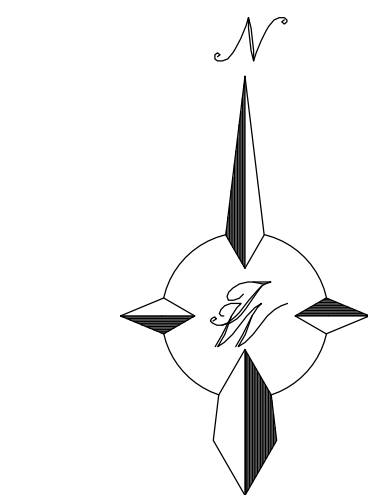


KEYED NOTES

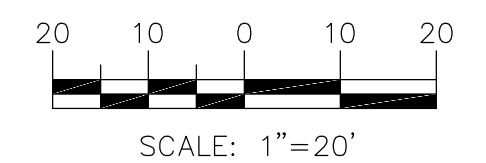
- EXISTING FIRE HYDRANT
- KNOX BOX
- PREMISE ID LOCATION

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

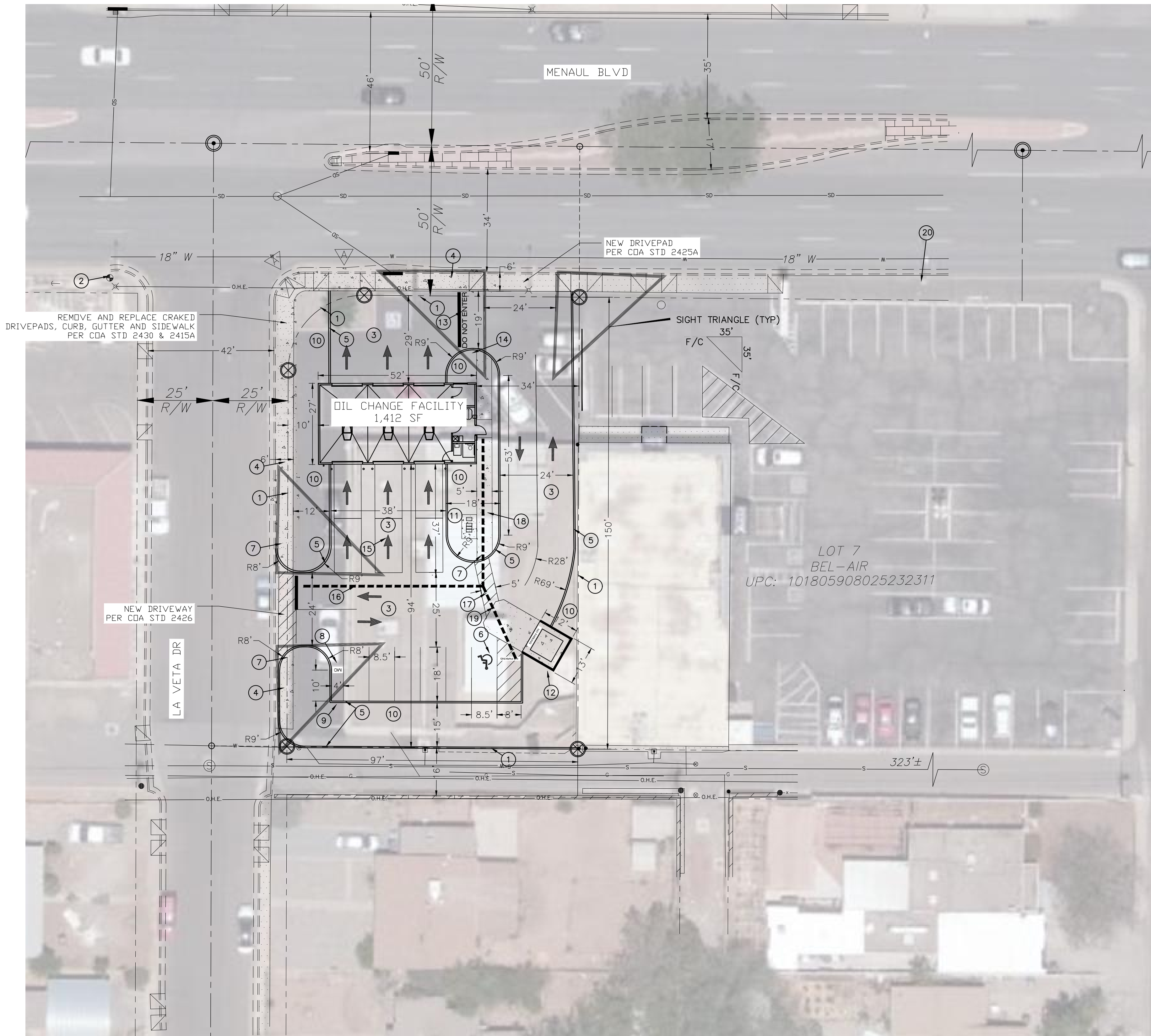


GRAPHIC SCALE



ENGINEER'S SEAL	3-BAY OIL CHANGE	DRAWN BY LN
	5400 MENAUL BLVD NE	DATE 08/17/2021
	FIRE 1	FIREONEPLAN
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrowestllc.com	SHEET # F1
		JOB # 2021077

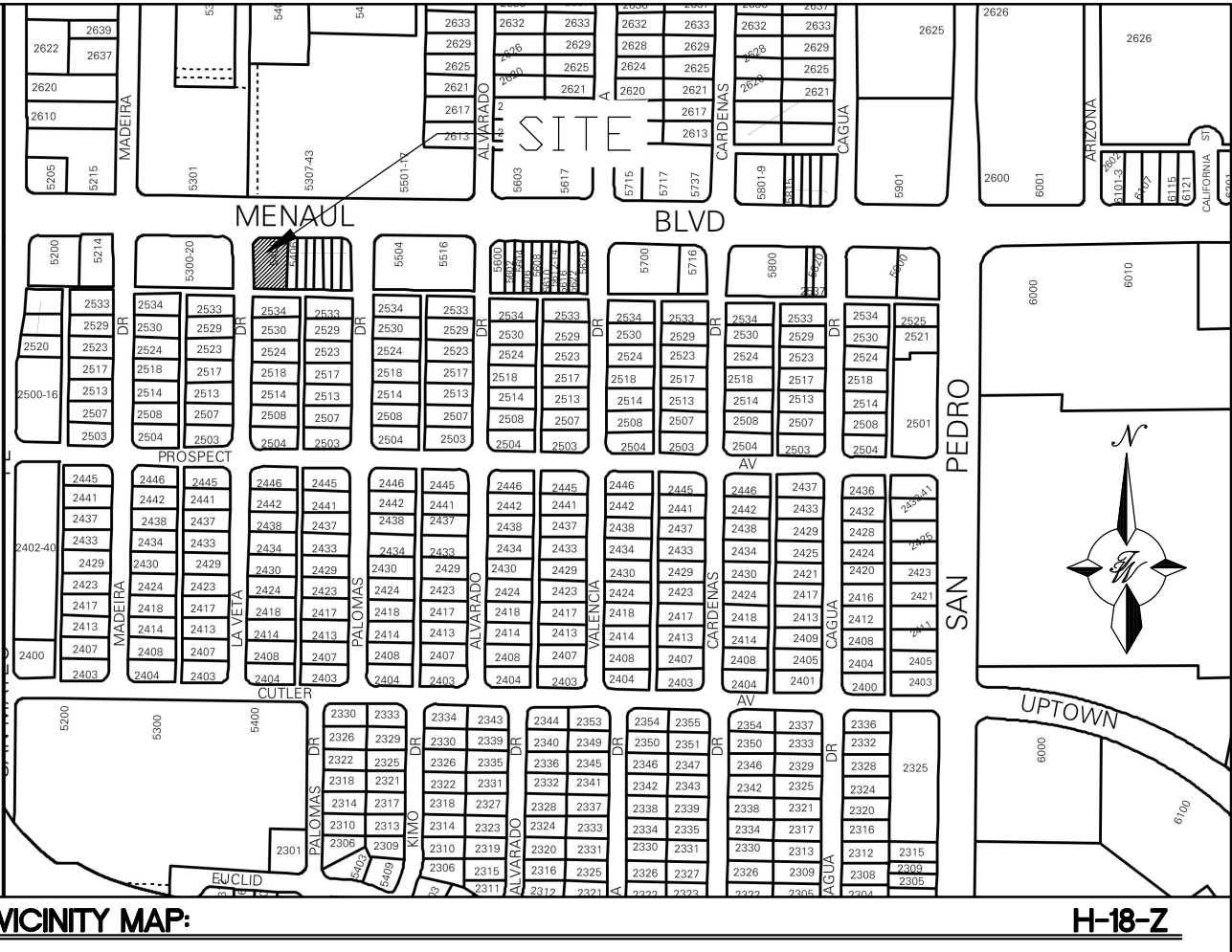
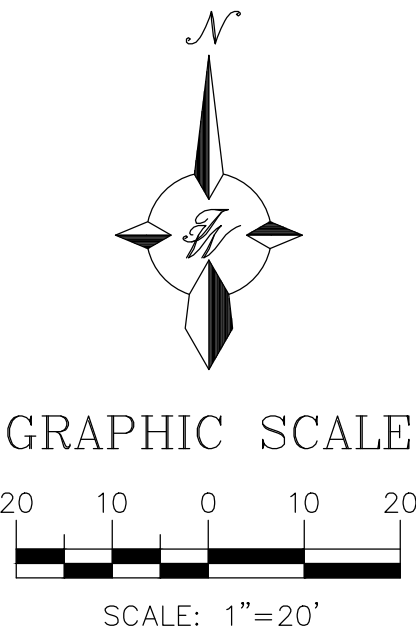
\\TNAS\Z_Drive\2021\2021077 5400 Menaul Drive-Thru Oil Change Facility.dwg\EP\2021077-TCL.dwg Aug 26, 2021 -- 1:49pm



Approved for access by the Solid Waste Department
Herman Gallegos 08-27-21
Hazard Route Only
**Condition If slope exceeds 1/8" per foot leading to and in the
trash enclsoure this approval will be Void.**

- LEGEND**
- CURB & GUTTER
 - BOUNDARY LINE
 - EASEMENT
 - CENTERLINE
 - RIGHT-OF-WAY
 - BUILDING
 - SIDEWALK
 - SCREEN WALL
 - RETAINING WALL
 - STREET LIGHTS
 - LANE
 - STRIPING
 - EXISTING CURB & GUTTER
 - EXISTING BOUNDARY LINE
 - EXISTING SIDEWALK
 - EXISTING LANE
 - EXISTING STRIPING

- KEYED NOTES**
- EXISTING PROPERTY LINE
 - EXISTING FIRE HYDRANT
 - SITE ASPHALT PAVEMENT (SEE DETAIL, SHEET C2)
 - EXISTING SIDEWALK
 - HEADER CURB (SEE DETAIL, SHEET C2)
 - ADA PARKING (SEE DETAIL, SHEET C2)
 - ADA PARALLEL CURB RAMP PER COA CURRENT STANDARDS #2443 AND SHALL HAVE TRUNCATED DOMES INSTALLED (SEE DETAIL, SHEET C2)
 - MOTORCYCLE PARKING ADD PAINT LABEL PER COA CODE
 - MOTORCYCLE PARKING SIGN (SEE DETAIL, SHEET C2)
 - LANDSCAPE AREA
 - BIKE RACK (SEE DETAIL, SHEET C2)
 - DUMPSTER (SEE DETAIL, SHEET C3)
 - "DO NOT ENTER" STRIPING (SEE DETAIL, SHEET C3)
 - "DO NOT ENTER" SIGNAGE (SEE DETAIL, SHEET C3)
 - "DRIVE THRU" TRAFFIC ARROWS (SEE DETAIL, SHEET C3)
 - PUBLIC ADA ACCESSIBLE PATHWAY
 - PRIVATE ADA ACCESSIBLE PATHWAY
 - SIDEWALK (SEE DETAIL, SHEET C2)
 - PEDESTRIAN CROSSWALK (SEE DETAIL, SHEET C3)
 - EXISTING BUS STOP BENCH



LEGAL DESCRIPTION:
TR A PLAT OF TR A BLK 106 BEL-AIR SUBD BEING A REPLAT OF LTS 8, 9 & 10 BLK 106 CONT 14,475 SF M/L

SITE DATA

PROPOSED USAGE: 3-BAY DRIVE THRU OIL CHANGE
LOT AREA: 14,475 SF (0.33) ACRE
ZONING: MX-M
BUILDING AREA: 1,412 SF

PARKING REQUIRED: 2 SPACES (1 SPACE PER 1,000 SF)
PARKING PROVIDED: 6 SPACES

HC PARKING REQUIRED: 1 SPACES
HC PARKING PROVIDED: 1 SPACES 1 SPACE VAN ACCESSIBLE

MC PARKING REQUIRED: 1 SPACES
MC PARKING PROVIDED: 1 SPACES

BICYCLE PARKING REQUIRED: 3 SPACES
BICYCLE PARKING PROVIDED: 3 SPACES

LANDSCAPE AREA REQUIRED: 1,960 SF
LANDSCAPE AREA PROVIDED: 3,540 SF

- NOTES**
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
 - ALL SIGNS TO BE COVERED WITH ANTI GRAFFITI COATING.
 - ALL SIGNS AND STRIPING SHALL BE MADE IN ACCORDANCE WITH THE MUTCD (CURRENT EDITION) SPECIFICATIONS AND COA STANDARDS.
 - ALL SYMBOLS AND ARROWS STRIPING TO BE PERFORMED HOT APPLIED THERMOPLASTIC TAPE.
 - ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER
 - ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER PER COA STANDARDS

ENGINEER'S SEAL	3-BAY OIL CHANGE	DRAWN BY LN
	5400 MENAUL BLVD NE	DATE 08/26/2021
	TRAFFIC CIRCULATION LAYOUT	2021077-TCL
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C1 JOB # 2021077