

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Interim Director



Mayor Timothy M. Keller

October 22, 2021

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**RE: 5400 Menaul Blvd NE**  
**Grading and Drainage Plans**  
**Engineer's Stamp Date: 09/08/21**  
**Hydrology File: H18D074**

Dear Mr. Bohannon:

Based upon the information provided in your submittal received 09/08/2021, the Grading & Drainage Plan **is not** approved for Building Permit, Grading Permit, SO-19 Permit, and for action by the DRB on Site Plan for Building Permit. The following comments need to be addressed for approval of the above referenced project:

## SHEET C3.1

1. Please provide a vicinity map showing the location of the site. Typically this is the Zone Atlas. This can be downloaded in pdf format from the City of Albuquerque's website.
2. Please provide the weir calculations, per DPM Article 6-16(A), for the curb cuts and sidewalk culverts. A coefficient of 2.7 is typically used for the weir equation  $Q = CLH^{2/3}$ .

## SHEET C3.2

3. Please contact Transportation. There are some existing drives that need to be closed on both Menaul and La Veta. Also, the ADA ramps may need to be brought up to current standards on Menaul.
4. Please show and label on both Menaul and La Veta where the existing drives are to be closed. This can be placed here or on C3.3.

# CITY OF ALBUQUERQUE

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PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

5. Please update the SO-19 Notes. See Attachment.
6. The Sidewalk Culvert detail does not need to be shown. The correct COA Standard Drawing has been called out.
7. Please add a note to the sidewalk culvert on the southwest corner of the site as “a private on-site sidewalk culvert”. The City will only inspect the one in Menaul’s R.O.W.

## SHEET C3.3

8. Provide a section through all proposed screen walls on the south side of the property. This needs to show proposed screen walls, footer within the property, property/ROW lines, existing and proposed grades, stormwater quality pond, and label the public alley. In accordance with DPM, grading and wall construction near the property line may not endanger adjacent property or constrain its use.

*Mayor Timothy M. Keller*

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIOR STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. THE WORKING HOURS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO STATE CALL DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL
5. NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
8. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
9. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.

[illegible]

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Renée C. Brissette

*Find Hydrology forms and information at: [cabq.gov/planning/development-review-services/hydrology-section](http://cabq.gov/planning/development-review-services/hydrology-section)*



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** 5400 Menaul Building Permit #: Hydrology File #:

DRB#: EPC#: Work Order#:

Legal Description: TR A PLAT OF TR A BLK 106 BEL-AIR AUBD BEING REPLAT OF LTS 8,9 & 10 BLK 106

City Address: 5400 Menaul Blvd NE, Albuquerque, NM 87110

**Applicant:** Tierra West, LLC Contact: Luis Noriega

Address: 5571 Midway Park Pl NE, Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118 E-mail: lnoriega@tierrawestllc.com

**Other Contact:** Contact:

Address:

Phone#: Fax#: E-mail:

**TYPE OF DEVELOPMENT:** PLAT (# of lots) RESIDENCE DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? Yes ☒ No

**DEPARTMENT** TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 9/08/2021 By: Luis Noriega

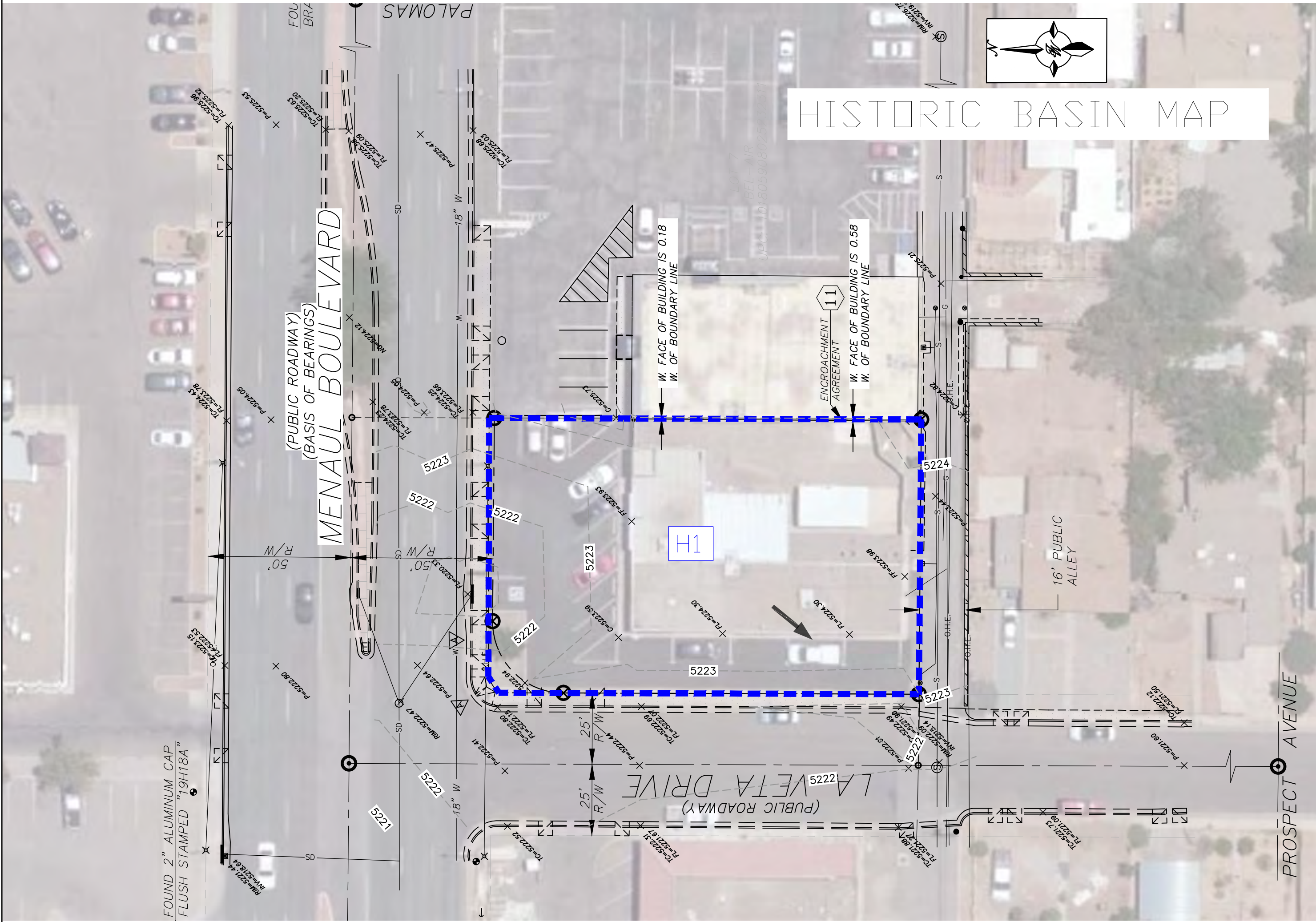
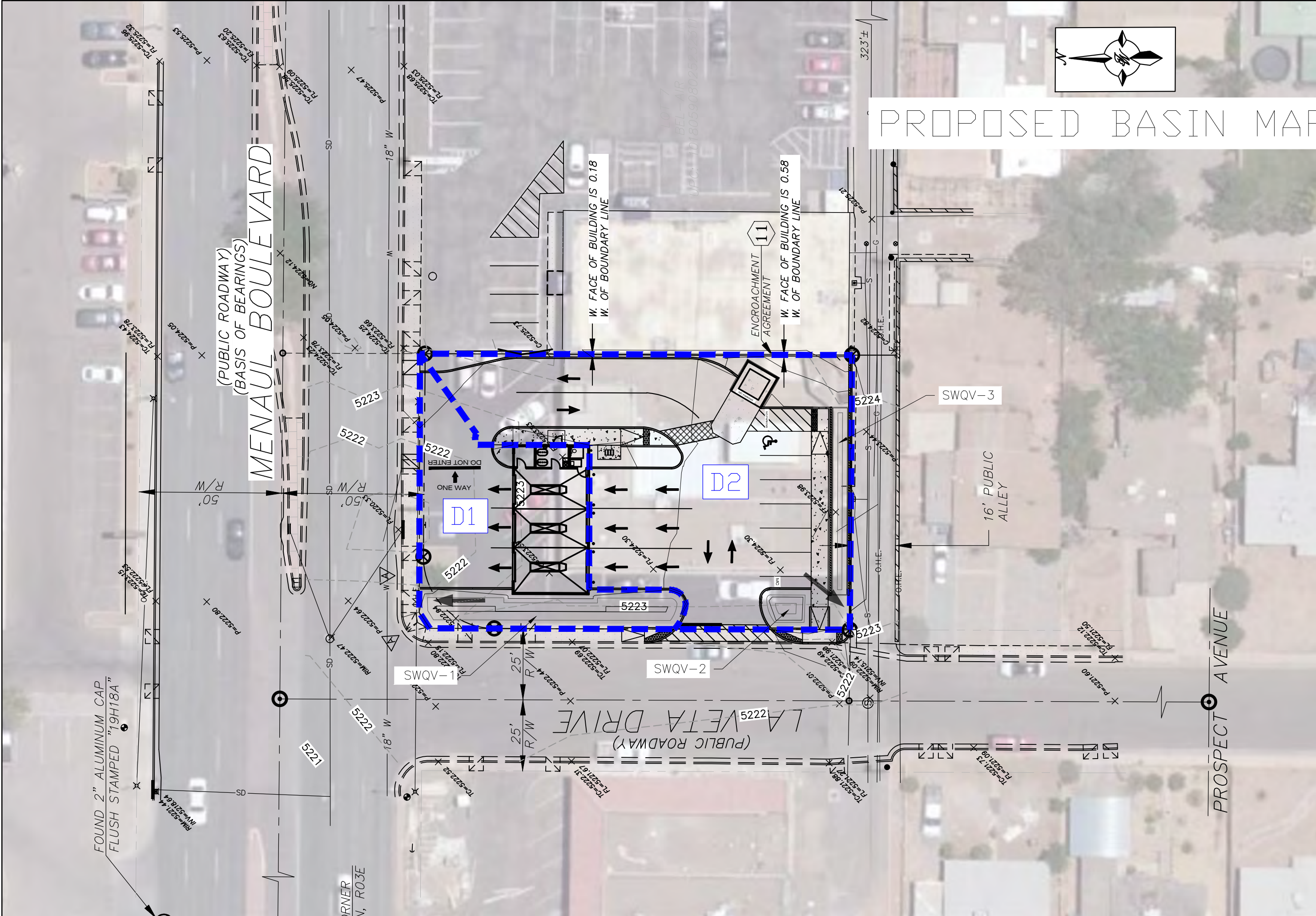
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



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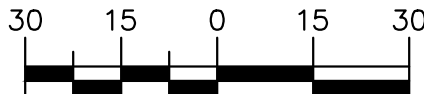


## PROPOSED BASIN MAP

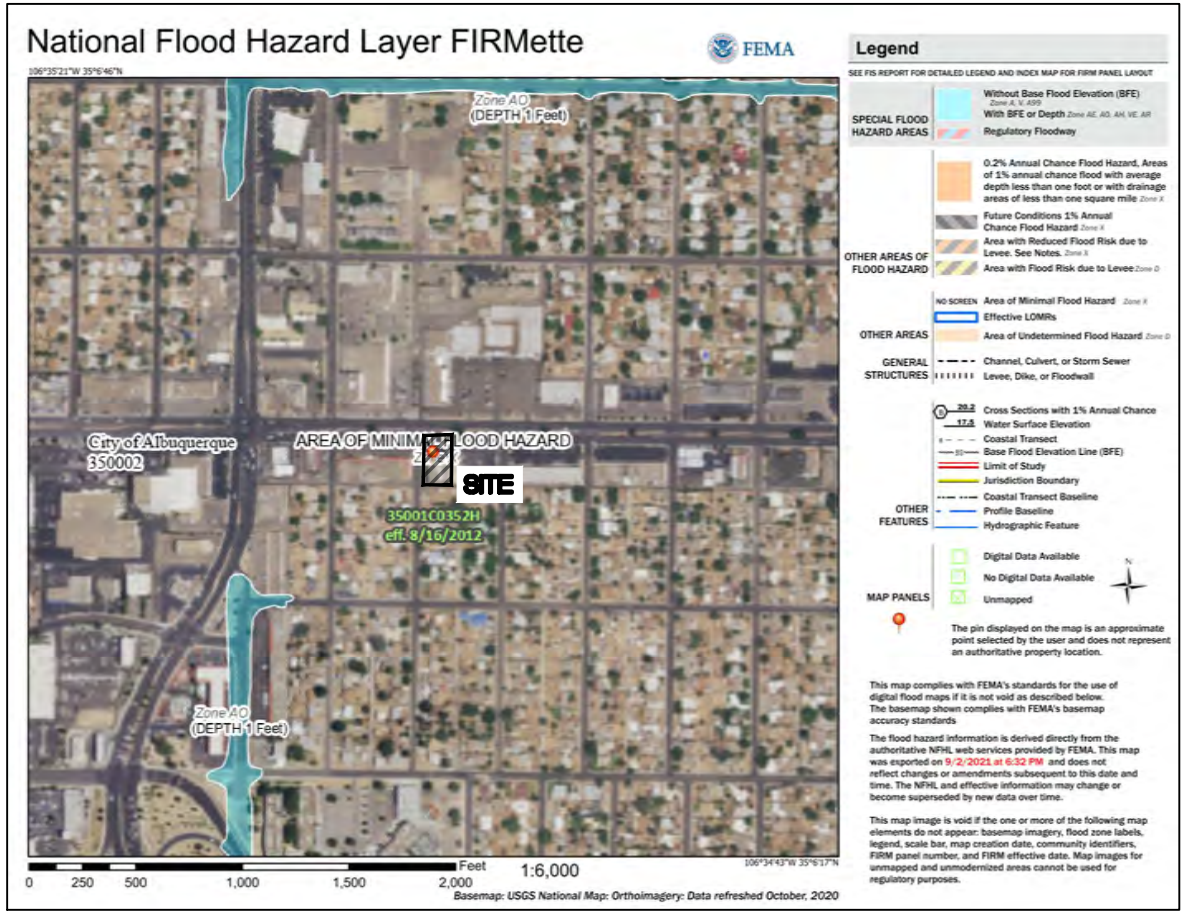
### LEGEND

--- BASIN BOUNDARY

### GRAPHIC SCALE



SCALE: 1"=30'



FIRM MAP:

35001C0352H

### Existing Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions								100-Year, 6-Hr		
					Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs
					%	(acres)	%	(acres)	%	(acres)	%	(acres)			
H1	A	14,615	0.34	0.00052	0%	0.000	2%	0.007	0%	0.000	98%	0.329	2.546	0.071	1.49
Total		14,615	0.34	0.00052		0.000		0.007		0.000		0.329		0.071	1.493

### Proposed Conditions

Basin ID	Tract	Area (sf)	Area (acres)	Area (sq miles)	Basin Descriptions								100-Year, 6-Hr		
					Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (in)	Volume (ac-ft)	Flow cfs
					%	(acres)	%	(acres)	%	(acres)	%	(acres)			
D1	A	4,650	0.11	0.00017	0%	0.000	9%	0.010	18%	0.019	73%	0.0779	2.157	0.019	0.43
D2	A	9,965	0.23	0.00036	0%	0.000	6%	0.014	12%	0.027	82%	0.1876	2.298	0.044	0.96
Total		14,615	0.336	0.00052		0.000		0.023		0.047		0.266		0.063	1.398

Basin ID	SWQV	
	Vol Required (cf)	Provided (cf)
D1	120	175
D2	286	308
Total	406	483

### Equations:

Weighted E = Ea\*Aa + Eb\*Ab + Ec\*Ac + Ed

Volume = Weighted E \* Total Area

Flow = Qa\*Aa + Qb\*Ab + Qc\*Ac + Qd\*Ad

Excess Precipitation, E (in.)			
Zone 3	100-Year	10-Year	
Ea	0.67	0.18	
Eb	0.86	0.34	
Ec	1.09	0.52	
Ed	2.58	1.64	

Peak Discharge (cfs/acre)			
Zone 3	100-Year	10-Year	
Qa	1.84	0.51	
Qb	2.49	1.07	
Qc	3.17	1.69	
Qd	4.49	2.81	

### Stormwater Quality Volume

Total Impervious Area =

Retainage depth = 0.42" Per DPM Pg. 272

Retention Volume =

ΣArea in "Treatment D"



0.035 foot

=0.035 x area CF

SWQV-1 Pond Volume Calculation		
Area at Mid Depth	350	Sq. Ft.
Depth of Pond	1	Ft.
Total Volume	175	Cubic Ft.

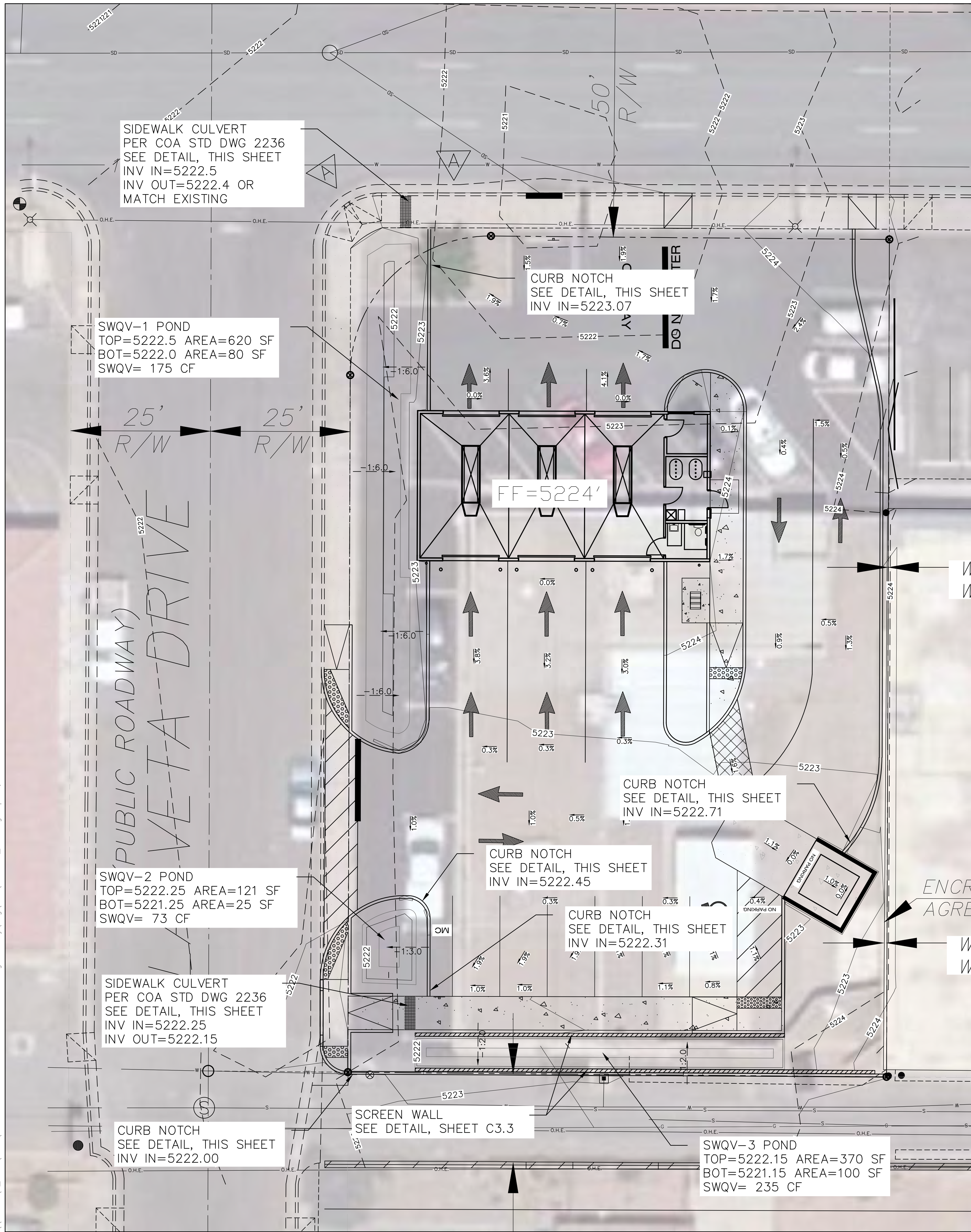
SWQV-2 Pond Volume Calculation		
Area at Mid Depth	73	Sq. Ft.
Depth of Pond	1	Ft.
Total Volume	73	Cubic Ft.

SWQV-3 Pond Volume Calculation		
Area at Mid Depth	235	Sq. Ft.
Depth of Pond	1	Ft.
Total Volume	235	Cubic Ft.

<div>ENGINEER'S SEAL</div> <div><div>09/08/2021</div><div>RONALD R. BOHANNAN P.E. #7868</div></div>		<div>3-BAY OIL CHANGE</div> <div>5400 MENAUL BLVD NE</div> <div>GRADING AND DRAINAGE BASIN MAP</div>		<div>DRAWN BY LN</div> <div>DATE 08/31/2021</div> <div>2021077_BASINS</div> <div>SHEET # <b>C3.1</b></div> <div>JOB # 2021077</div>
		<div><div>TIERRA WEST, LLC</div><div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div></div>		



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LEGEND

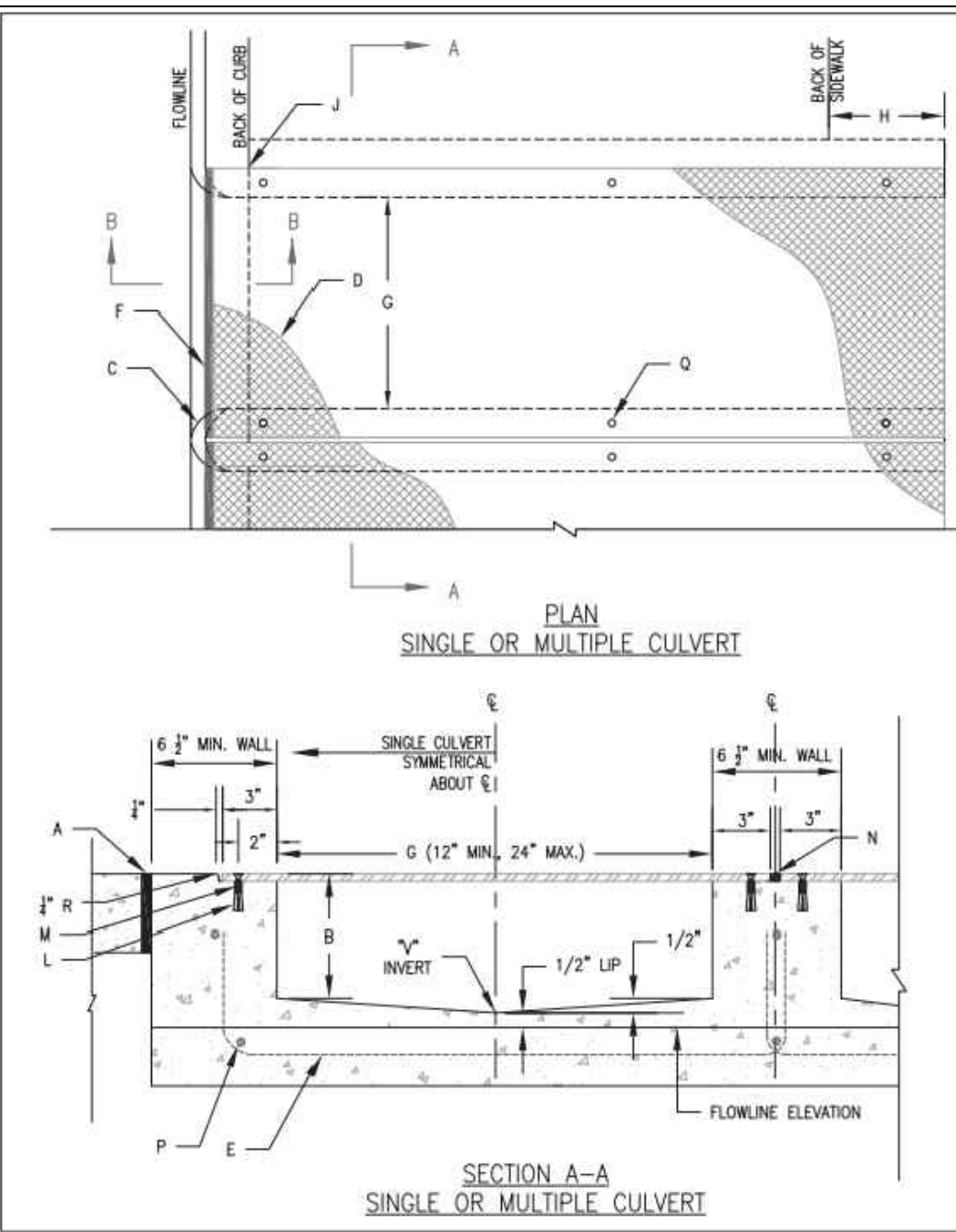
- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- RIGHT-OF-WAY
- BUILDING
- SIDEWALK
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION

SPOT ELEVATION LEGEND

- SW= TOP OF SIDEWALK
- TC= TOP OF CURB
- C= TOP OF CONCRETE
- P= POINT ELEVATION
- FL= FLOW LINE
- FF= FINISHED FLOOR
- BW= BOTTOM OF WALL AT FINISHED GRADE
- TW= TOP OF WALL

SPOT ELEVATION NOTE:

ALL PROPOSED SPOT ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED.



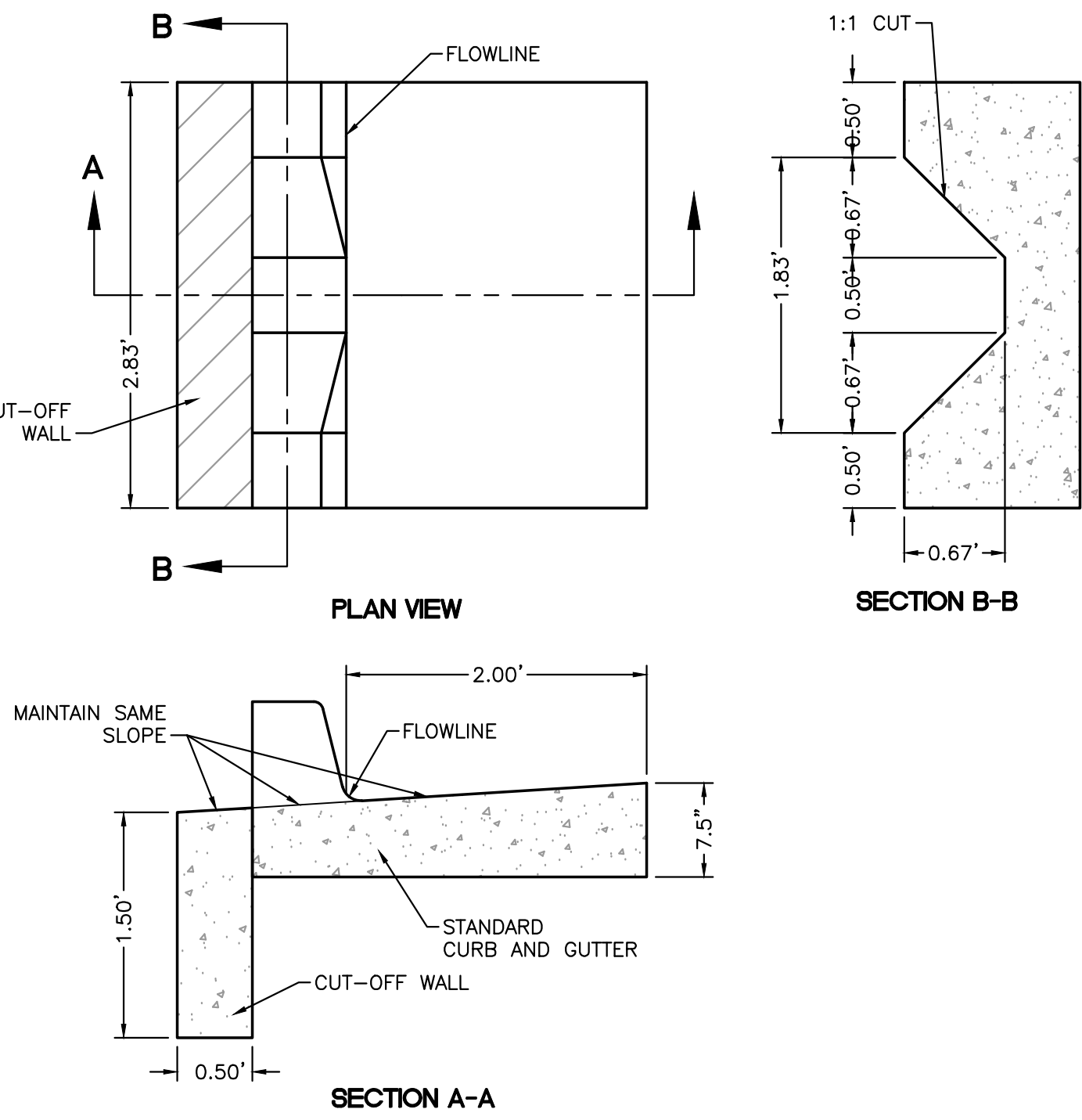
- GENERAL NOTES
1. PLACING OF DRAIN THRU EXISTING SIDEWALK AND CURB & GUTTER REQUIRES THAT THE ENTIRE SIDEWALK AND CURB AND GUTTER STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
  2. THE CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
  3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAXIMUM DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED PARALLEL TO FLOWLINE AT THE OUTLET, UNLESS OTHERWISE SHOWN.
  4. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. CLEAN SURFACE OF PLATE AND PAINT WITH ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (ASHTO M 69).
  5. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.
  6. CULVERT MUST BE PERPENDICULAR TO THE CURB.
- CONSTRUCTION NOTES
- A. INSTALL 5" EXPANSION JOINT.
  - B. 7" DEPTH WHEN USED IN CONJUNCTION WITH 8" CURB; 5" DEPTH WHEN USED WITH 6" CURB.
  - C. 3" RADIUS (TYPICAL).
  - D. 3/4" CHECKERED STEEL PLATE (PAINT PER NOTE 4, ABOVE).
  - E. NO. 3 REBAR L-SPACED AT 18" O.C. MAXIMUM, 15" MINIMUM FROM FACE OF CONCRETE. STAGGER FOR MULTIPLE CULVERTS.
  - F. WELD 3/4" STEEL ROD TO PLATE, FULL LENGTH OF PLATE; GRIND ENDS FLUSH TO THE FACE OF CURB.
  - G. DRAIN WIDTH PER PLAN (12" MINIMUM, 24" MAXIMUM).
  - H. EXTEND CULVERT AND STEEL PLATE 1-FOOT BEYOND BACK OF SIDEWALK, UNLESS RESTRICTED BY PROPERTY LINE.
  - I. IF SIDEWALK IS NOT AT BACK OF CURB, EXTEND CULVERT AND STEEL PLATE TO FACE OF CURB.
  - J. SLOPE 1/2" PER FOOT (MINIMUM).
  - K. FOR SECURING PLATE (USE POWERS): 3/8-16 CARBON STEEL FLANGED DROP ANCHOR OR APPROVED EQUAL. INSTALL USING SETTING TOOL AND MANUFACTURER'S INSTRUCTIONS AT MAX 24" O.C. A MINIMUM OF 2 PER SIDE AND WITHIN 4" OF EACH END.
  - L. FILL VOID BETWEEN PLATES WITH NP-1 SEALANT OR CITY APPROVED EQUIVALENT.
  - M. 3/8-16X1" COUNTERSUNK, STAINLESS STEEL, MACHINE SCREW. COVER HEAD WITH 2-PART EPOXY.
  - N. FILL VOID BETWEEN PLATES WITH NP-1 SEALANT OR CITY APPROVED EQUIVALENT.
  - O. HOLE DIAMETER AT BOTTOM OF COUNTERSUNK HOLE OF STEEL PLATE TO BE 3/4" MIN.
- REVISIONS
- | REVISIONS | CITY OF ALBUQUERQUE           |
|-----------|-------------------------------|
| 1         | DRAINAGE                      |
| 2         | SIDEWALK CULVERT              |
| 3         | PLAN AND SECTIONS A-A AND B-B |
| 4         | DWG. 2236                     |
| 5         | JUNE 2019                     |

SIDEWALK CULVERT

NTS

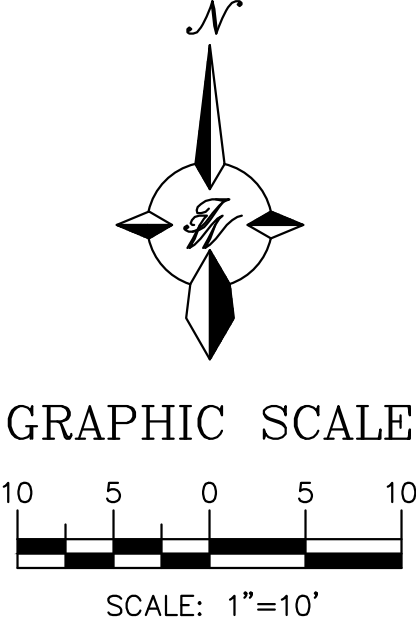
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505) 260-1990] FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL
5. NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
6. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
8. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
9. CONTRACTOR MUST CONTACT JASON RODRIGUEZ AT 235-8016 AND CONSTRUCTION COORDINATION AT 924-3416 TO SCHEDULE AN INSPECTION.



CURB NOTCH

NTS



CAUTION  
ALL EXISTING UTILITIES/TOPOGRAPHY SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

ENGINEER'S SEAL	3-BAY OIL CHANGE	DRAWN BY LN
RONALD R. BOHANNAN NEW MEXICO PROFESSIONAL ENGINEER 7868	5400 MENAUL BLVD NE	DATE 08/31/2021
	GRADING & DRAINAGE PLAN A	2021077_GRE
	TERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # C3.2
		JOB # 2021077



