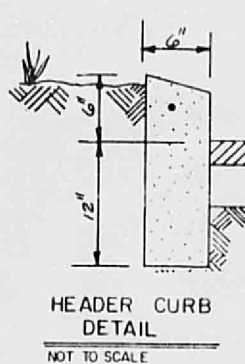
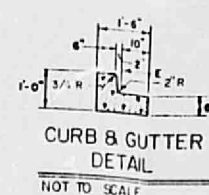
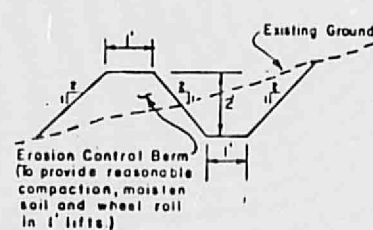


EROSION CONTROL PLAN (No Scale)

A term with the dimensions shown below along the west and north boundaries shall be maintained during construction, until completion and acceptance of the project by the City.



NOTE:

THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DEPARTMENT OF THE CITY OF ALBUQUERQUE PRIOR TO CONSTRUCTION.

NOTE:

CONTRACTOR MAY USE EITHER HEADER CURB OR CURB & GUTTER EXCEPT WHERE CURB & GUTTER IS SPECIFICALLY SPECIFIED

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT GEO-TECHNICAL SOILS INVESTIGATION.

DRAINAGE REPORT

Site Location

The site is located on the southwest corner of Wyoming Boulevard and Prospect Avenue. The Location Map, shown on this sheet, identifies the site location.

Existing Conditions

The existing site is comprised of an 11,050 SF building with asphalt parking covering, virtually, the remainder of the site. The existing site slopes to the northwest at approximately 2.5% slope, and discharges freely into the adjacent streets, Wisconsin Street and Prospect Avenue.

Proposed Conditions

The re-development of this site will require removal of the existing pavement surface and building, however, existing drainage patterns will remain essentially the same.

A comparison, shown below, of existing versus proposed roof areas, streets/drives and walk areas, and landscaping areas show that the runoff from the proposed site will be less than existing site conditions.

	Existing Area	Proposed Area
Roofs	11,050 SF = 0.254 acres	19,000 SF = 0.436 acres
Streets, Drives	76,650 SF = 1.76 acres	59,389 SF = 1.36 acres
Walks	-0-	9,315 SF = 0.214 acres
Landscaping	-0-	-0-

Flow Rates	Flow Rates
Q = 0.95(0.254) ^{1.49} = 0.90(1.76) ^{1.49}	Q = 0.95(0.436) ^{1.49} = 0.90(1.36) ^{1.49}
	Q = 0.25(0.214) ^{1.49} = 1.691

GRADING NOTES

1. NO FROZEN MATERIALS SHALL BE PLACED IN FILL.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION - 1986 EDITION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234 FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. PRIOR TO GRADING, ALL VEGETATION, DEBRIS AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED TO A 6" DEPTH FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE. TOPSOIL STRIPPINGS SHALL BE DISPOSED OF OFF-SITE OR STOCKPILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. ALL ON-SITE EXCAVATED MATERIAL PLACED IN FILL SHALL MEET THE REQUIREMENT OF THE SOILS REPORT OR THE FILL SHALL BE OBTAINED FROM AN APPROVED OFF-SITE BORROW AREA.
7. SUBGRADE TOLERANCE OF ROADWAY SHALL BE ± 0.05 FEET.
8. FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS WITH SLOPES LESS THAN 1% IS $\pm .02$ FEET; FINISHED TOP OF ASPHALT TOLERANCE FOR ALL AREAS WITH SLOPES GREATER THAN 1% IS $\pm .10$ FEET.
9. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
10. GRADING AND EARTHWORK OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH ALL CURRENT CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL REGULATIONS.
11. DO NOT PUDDLE OR JET BACKFILL.

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW ARROW
- PROPOSED CURB & GUTTER
- PROPOSED WATER BLOCK

LOCATION MAP ZONE ATLAS MAP H-19-2	
SOILS MAP REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY	
FLOOD INSURANCE MAP REFERENCE: FLOOD INSURANCE STUDY	
LEGAL DESCRIPTION EXISTING: THE NORTHERN PORTION OF TRACT A AND ALL OF TRACTS C.D. BE OF BLOCK 54 OF THE 142Z ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. PROPOSED: TRACT A, HOFFMANTOWN SQUARE, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.	
ENGINEER'S SEAL DATE: 11/19/88 BY: [Signature]	
DESIGN DESIGNED BY: LEW DRAWN BY: LEW CHECKED BY: LEW	
APPROVALS CITY ENGINEER: [Signature] A.C.E.-Design: [Signature] A.C.E.-Hydrology: [Signature]	
APPROVALS ENGINEER: [Signature] DATE: [Date] APPROVALS: [Signature] ENGINEER: [Signature] DATE: [Date]	
DRAWING NO. H-19	
SHEET C-1	

REF. 21 DATE 11/19/88
CITY OF ALBUQUERQUE
This microimage is certified to be a complete and accurate copy of the original as it appears in the files of the PUBLIC WORKS DEPARTMENT - HYDROLOGY DIVISION and was filed in the normal course of business. The photographic processes used meet the Basic Microfilm Standards of the National Micrographics Association (ANSI Z39.18-1977).
[Signature]
CITY CLERK RECORDER
OFFICIAL SEAL
NORBERTA SANCHEZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires MAY 8 1996
Norberta Sanchez

PLANS/PLATS ON FILE

FILE DESC:

H-19/0028

PLANS/PLATS 6

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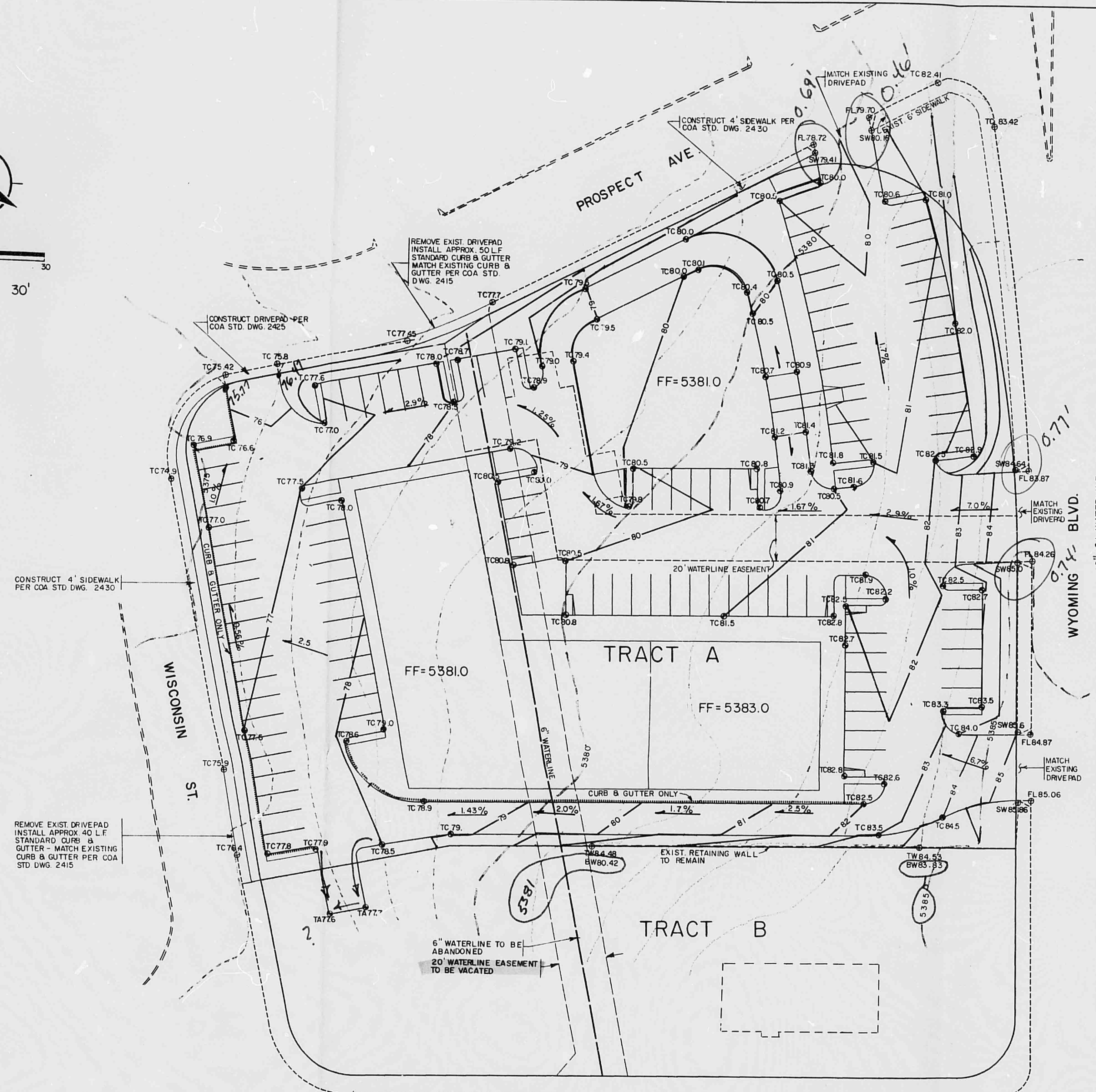
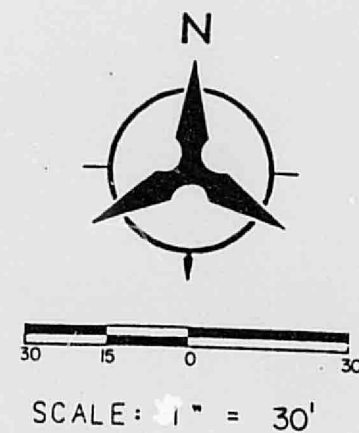
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CITY OF ALBUQUERQUE

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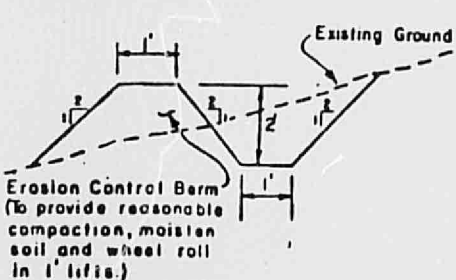
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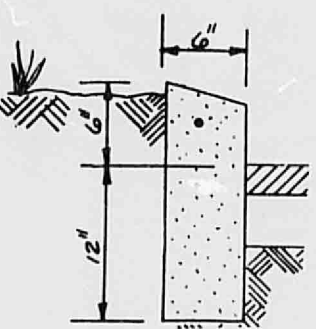
EROSION CONTROL PLAN (No Scale)

A berm with the dimensions shown below shall be maintained during construction until completion and acceptance of the project by the City.



CURB & GUTTER DETAIL

NOT TO SCALE



HEADER CURB DETAIL

NOT TO SCALE

NOTE:
CONTRACTOR MAY USE EITHER HEADER CURB OR CURB & GUTTER EXCEPT WHERE CURB & GUTTER IS SPECIFICALLY SPECIFIED

DRAINAGE REPORT

Site Location

The site is located on the southwest corner of Wyoming Boulevard and Prospect Avenue. The Location Map, shown on this sheet, identifies the site location.

Existing Conditions

The existing site is comprised of an 11,050 SF building with asphalt parking covering, virtually, the remainder of the site. The existing site slopes to the northwest at approximately 2.5% slope, and discharges freely into the adjacent streets, Wisconsin Street and Prospect Avenue.

Proposed Conditions

The re-development of this site will require removal of the existing pavement surface and building, however, existing drainage patterns will remain essentially the same.

A comparison, shown below, of existing versus proposed roof areas, streets/drives and walk areas, and landscaping areas show that the runoff from the proposed site will be less than existing site conditions.

	Existing Areas	Proposed Areas
Roofs	11,050 SF = 0.254 acres	19,000 SF = 0.436 acres
Streets, Drives	76,650 SF = 1.76 acres	59,389 SF = 1.36 acres
Walks	-0-	9,315 SF = 0.214 acres
Landscape	-0-	-0-

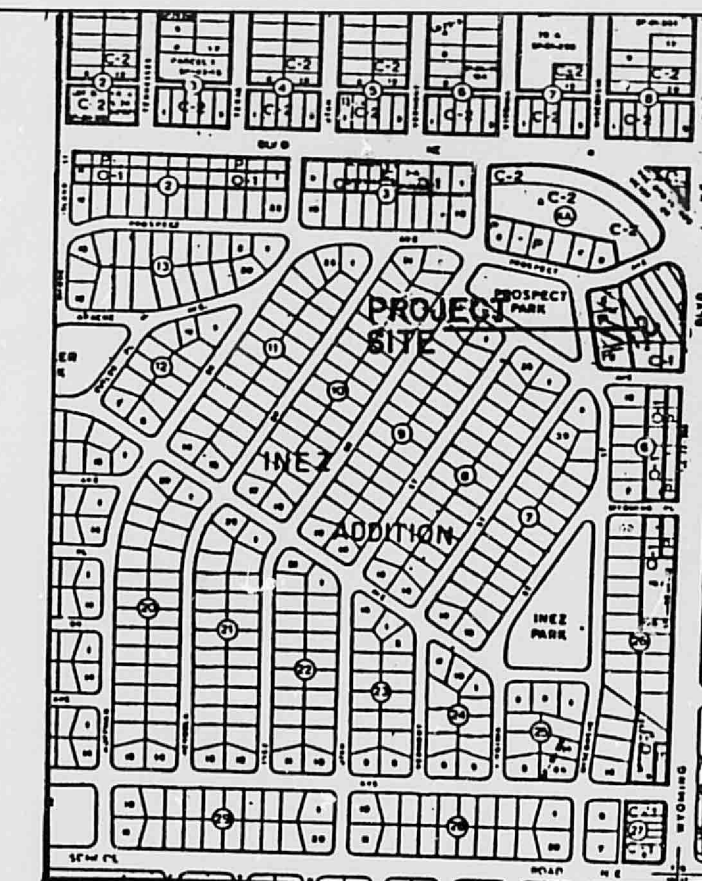
	Flow Rates	Flow Rates
	Q = 0.95(0.254) ^{1.483} + 0.90(1.76) ^{1.483}	Q = 0.95(0.436) ^{1.483} + 0.90(1.36) ^{1.483}
	1.831	1.691

GRADING NOTES

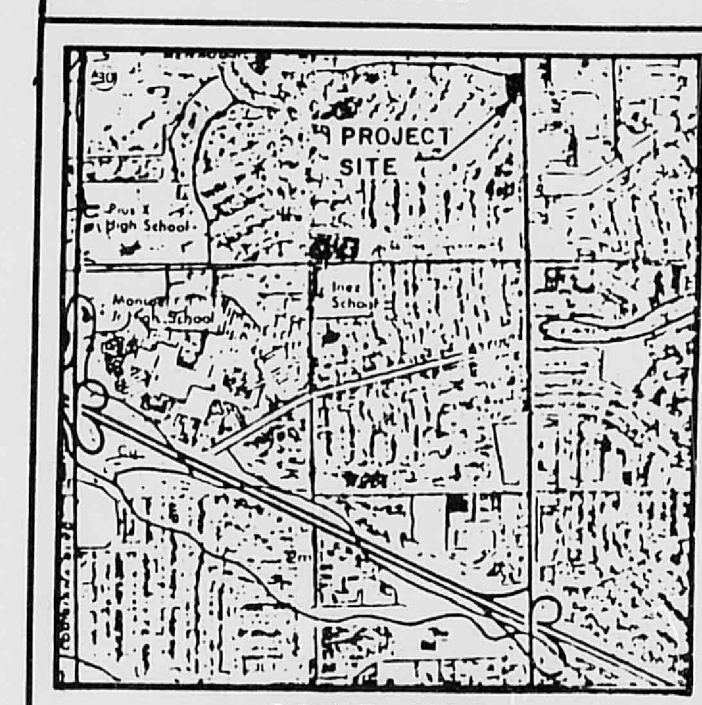
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11. DO NOT PUDDLE OR JET BACKFILL.

LEGEND

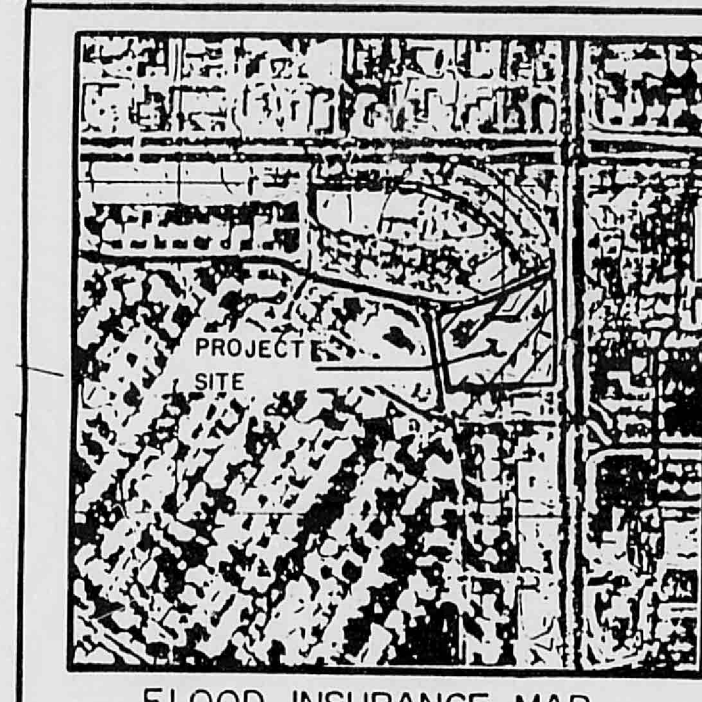
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DIRECTION OF FLOW ARROW
- PROPOSED CURB & GUTTER



LOCATION MAP
ZONE ATLAS MAP H-19-2



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY



FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY

LEGAL DESCRIPTION

EXISTING:
THE NORTHERN PORTION OF TRACT A AND ALL OF TRACTS C, D, E, OF BLOCK 5-A OF THE INEZ ADDITION, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

PROPOSED:
TRACT A, HOFFMANTOWN SQUARE, QCE OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

PRELIMINARY
NOT FOR CONSTRUCTION

CITY OF ALBUQUERQUE					
TITLE: HOFFMANTOWN SQUARE GRADING AND DRAINAGE PLAN					
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE
City Engineer			Liquid Waste		
A.C.E.-Design			Traffic		
A.C.E.-Hydrology			Water		
DRAWING NO.		MAP NO. H-19		SHEET	

BENCH MARKS		AS BUILT INFORMATION	
STATION IS A STANDARD ACS BRASS CAP SET IN CONC.		SIDEWALK STAMPED "7-1980/1975 ACS" LOCATED 44'-FEET EAST AND 31'-FEET NORTH OF THE CENTERLINE INTERSECTION OF WYOMING BLVD. N.E. AND INDIAN SCHOOL ROAD, N.E.	
ELEV. = 5371.08			
MICRO-FILM INFORMATION			
NO.		DATE	
BY			
REMARKS		DESIGN	
DATE		LEAD	
DRAWN BY		CHECKED BY	
DATE 9-88		DATE 9-88	

CITY OF ALBUQUERQUE
THIS MICROIMAGE IS THE BEST POSSIBLE REPRODUCTION DUE TO THE POOR QUALITY OF THE ORIGINAL DOCUMENT.

21 DATE 2/24/93 OF 150
CITY OF ALBUQUERQUE

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Karin Arana
CITY CLERK RECORDER

OFFICIAL SEAL
NOTARIAL PUBLIC
STATE OF NEW MEXICO
My Commission Expires MAY 8, 1995
Mariana Sanchez

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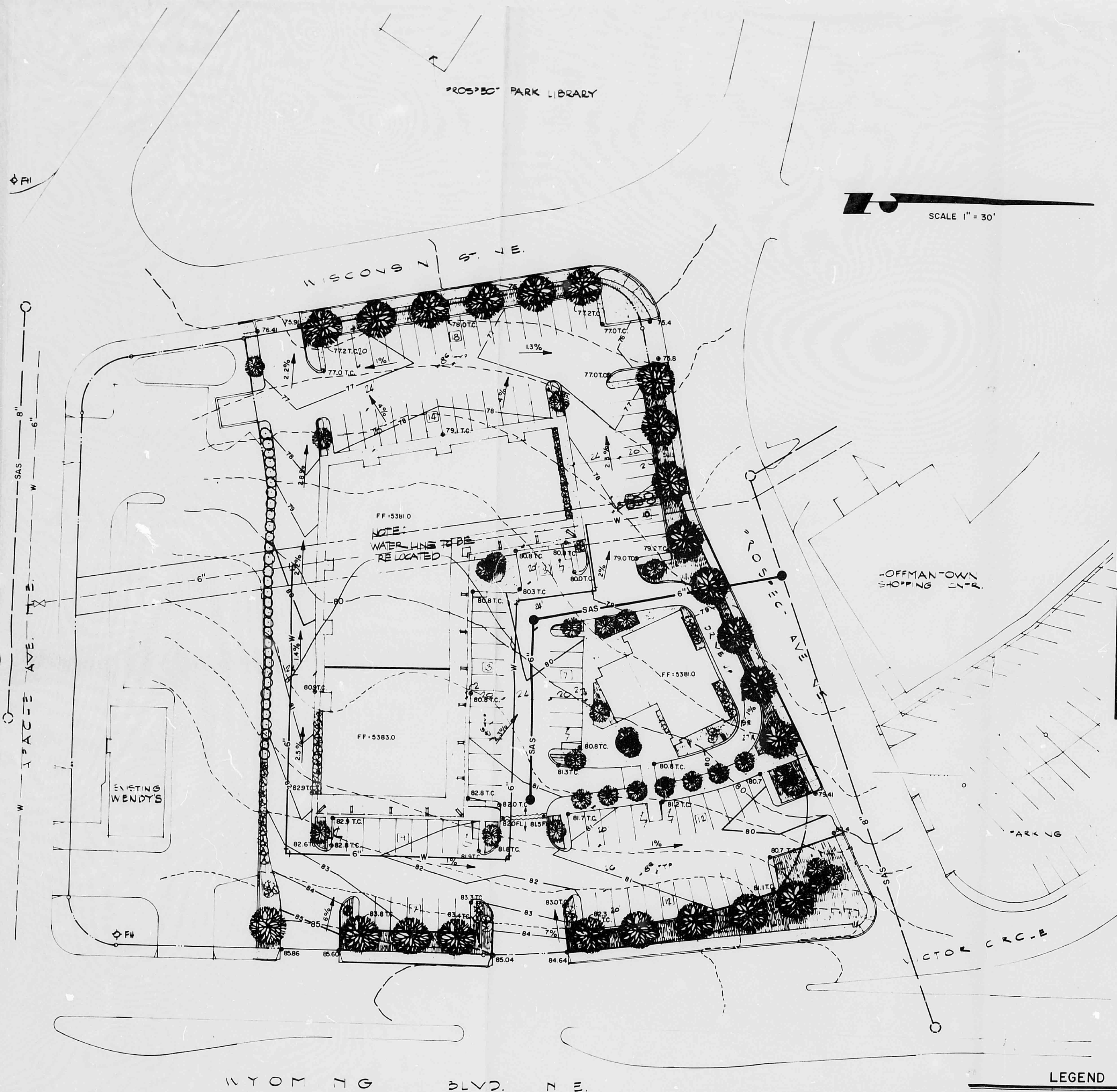
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CITY OF ALBUQUERQUE

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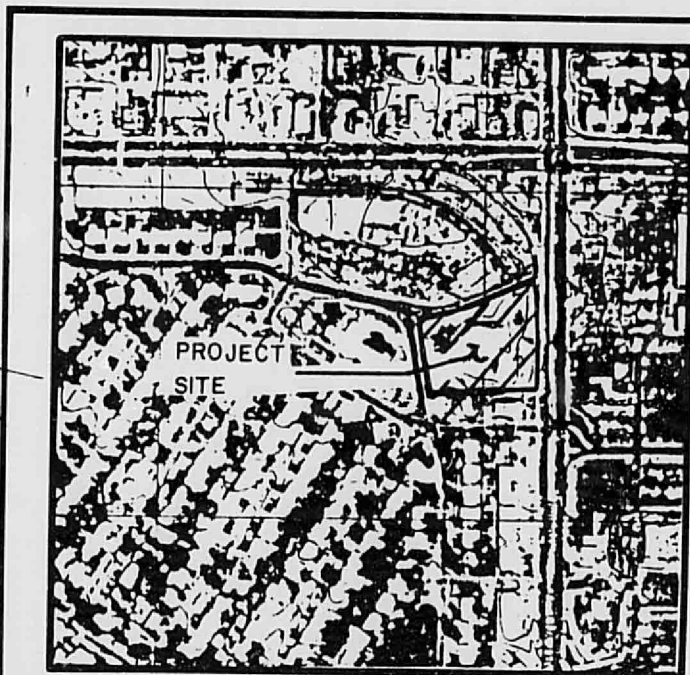
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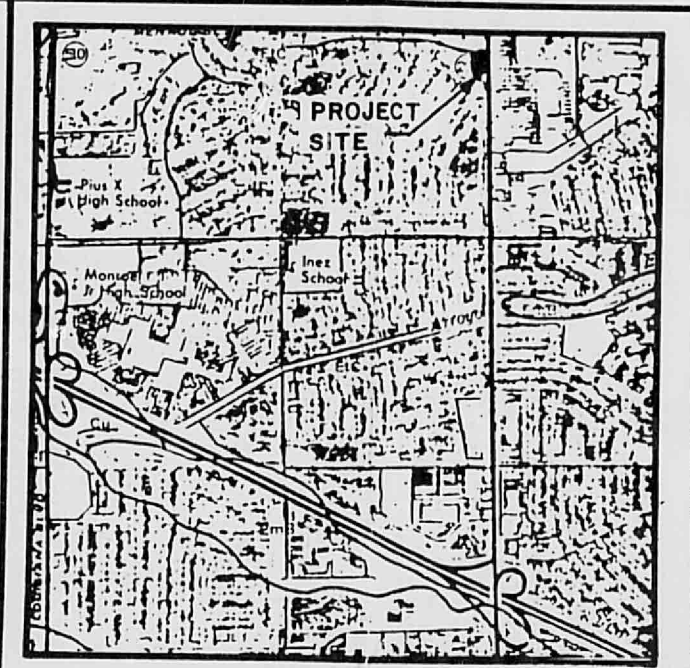
SCALE 1" = 30'



LOCATION MAP
ZONE ATLAS MAP H-19-2



FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY

DRAINAGE MANAGEMENT PLAN

Currently, the site is almost completely paved except for a small stretch of open ground in the southwest corner near the Apache Avenue and Wisconsin Street intersection. An existing drainage retention pond, located in this area, will continue to function. The existing site generally discharges freely to the adjacent streets, primarily Wisconsin Street and Prospect Avenue. The small remainder discharges to the retention pond.

The development of this site will require removal of the existing pavement surface, however, existing drainage patterns will remain essentially the same. There will be an overall reduction in impervious area, and therefore, runoff from the site, due to the proposed installation of landscaping areas.

UTILITY NOTES

Public water and sanitary sewer service is available to the site from lines located in Prospect Avenue. The existing 6" public water line, within the 20' utility easement, will be relocated. The line will be redirected around the building as shown on the plan. The public sanitary sewer line would be extended onto the site as shown. Easements would be granted for both the public water and sanitary sewer lines.

Water/Sanitary Sewer Availability request will be submitted to the City of Albuquerque to determine service requirements of the site.

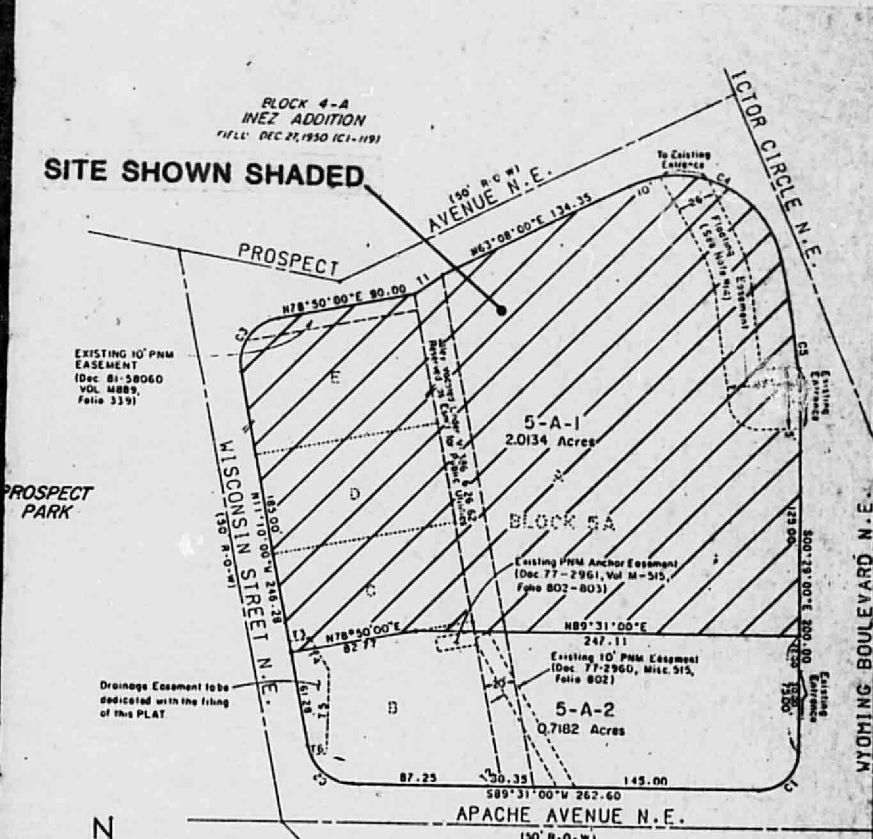
LEGEND

- BS EXISTING CONTOUR
- BS- PROPOSED CONTOUR
- TOP OF CURB
- DIRECTION OF FLOW
- SAS- PROPOSED SANITARY SEWER
- SAS- EXISTING SANITARY SEWER
- W- PROPOSED WATER LINE
- W- EXISTING WATER LINE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE

BENCH MARK

THE NORTHERN PORTION OF TRACT A AND ALL OF TRACTS C,D,E OF BLOCK 5-A OF THE INEZ ADDITION, BERNALILLO COUNTY, NEW MEXICO

TO REACH THE BENCH MARK FROM THE CENTER LINE OF WYOMING BLVD. & INDIAN SCHOOL ROAD, GO EAST ON INDIAN SCHOOL ROAD 144' AND THEN NORTH 131'. THE BENCH MARK IS A STANDARD ACS BRASS CAP SET IN THE SIDEWALK AND STAMPED "7-H20, 1975 ACS". ELEVATION = 5371.08'



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NTS

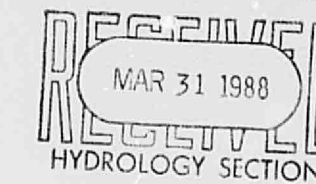
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1	37.27	25.00	90°00'00"	37.36	25.00
2	47.12	30.00	10°00'00"	38.27	25.00
3	120.88	60.00	10°00'00"	108.82	25.00
4	120.88	60.00	10°00'00"	108.82	25.00

TANGENT DATA					
NUMBER	DELTA	RADIUS	CHORD	TANGENT	CHORD BEHIND
1	90°00'00"	25.00	37.36	25.00	37.36
2	10°00'00"	30.00	38.27	25.00	38.27
3	10°00'00"	60.00	108.82	25.00	108.82
4	10°00'00"	60.00	108.82	25.00	108.82

ORIGINAL SURVEY

ID-699

APPROVED FOR SITE DEVELOPMENT
18 APR 88 G.S. Reader, P.E.



JOB TITLE HOFFMANTOWN SQUARE		PROJECT MANAGER JORGE DE LA TORRE		JOB NO. 8776		DATE 3/24/88	
SHEET TITLE CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN		BY [Signature]		CHECKED [Signature]		DATE 3-24-88	
dela torre • rainhart pa architects two woodward center 700 lomas ne. suite 200 albuquerque, nm 87102 505 842 0500				SHEET 3		OF 3	

THIS PLAN SHOT TWICE
ONCE ON LIGHT AND
ONCE ON DARK.

CITY OF ALBUQUERQUE
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POSSIBLE REPRODUCTION DUE
TO THE POOR QUALITY OF THE
ORIGINAL DOCUMENT.

BY 21 DATE 2-24-88 FOR
CITY OF ALBUQUERQUE

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Micrographics Association
(ANSI Z39.48-1977).

Kaw Am
CITY CLERK RECORDER

OFFICIAL SEAL
NORBERTA SANCHEZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires MAY 8 1995
Norberta Sanchez

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CITY OF ALBUQUERQUE

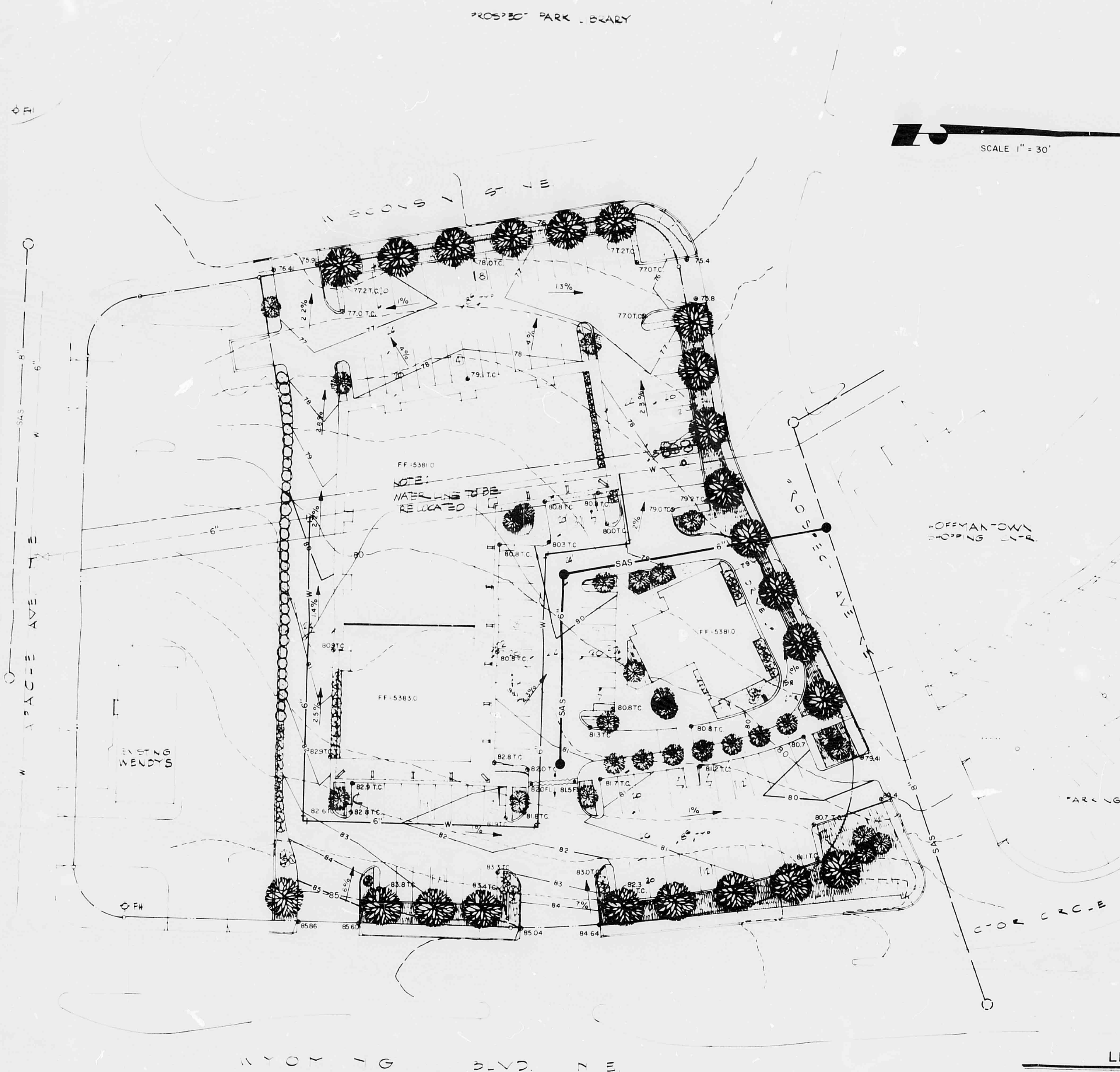
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CITY OF ALBUQUERQUE

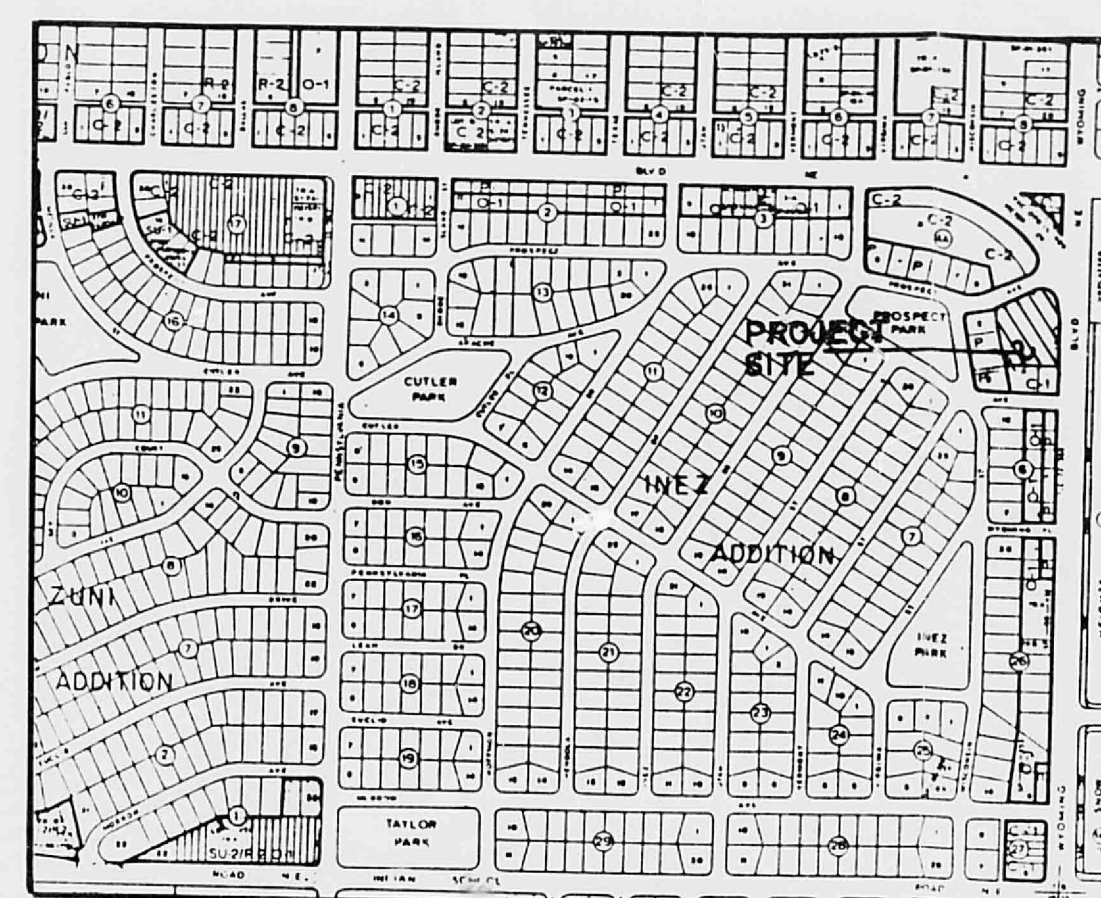
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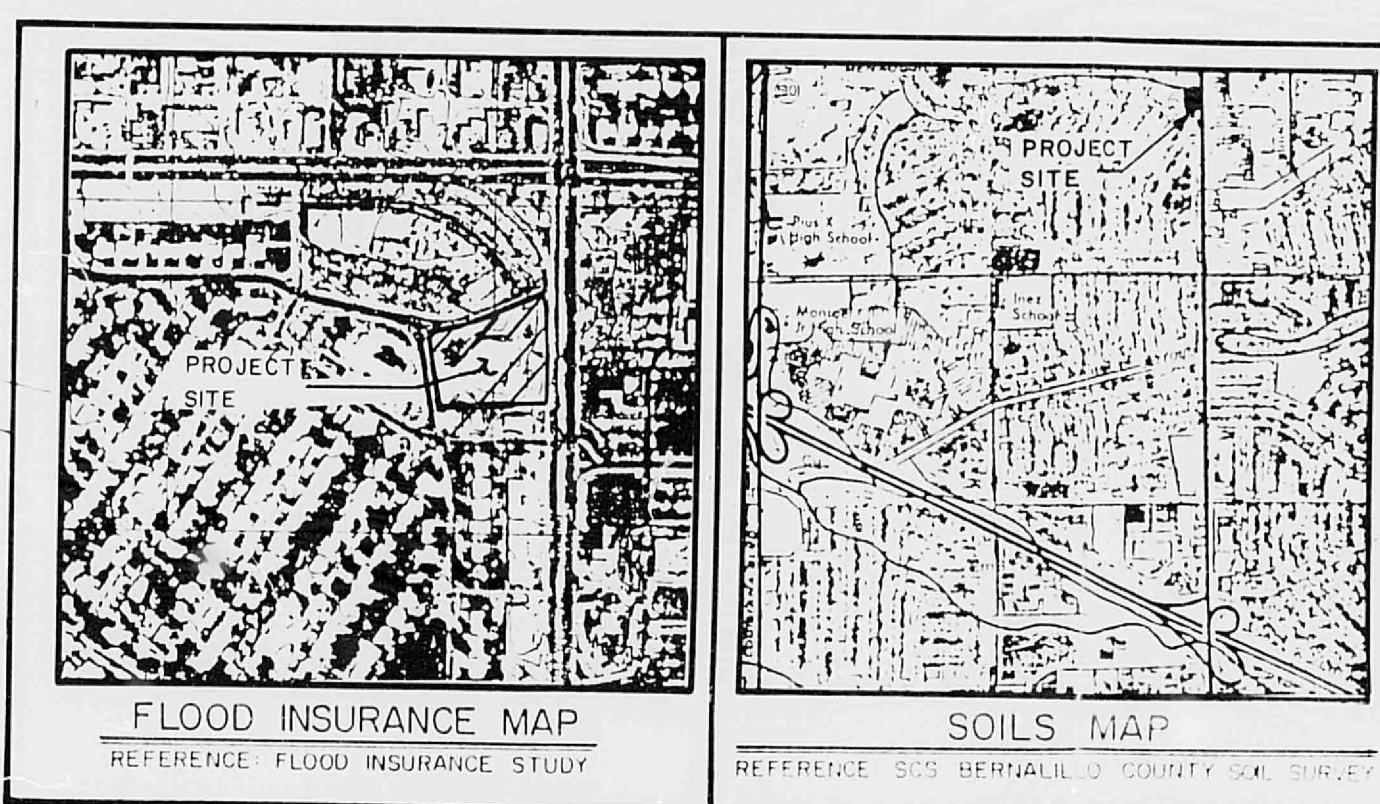
LEGEND

- 85 EXISTING CONTOUR
- 85 PROPOSED CONTOUR
- 6 TOP OF CURB
- DIRECTION OF FLOW
- SAS— PROPOSED SANITARY SEWER
- SAS— EXISTING SANITARY SEWER
- W— PROPOSED WATER LINE
- W— EXISTING WATER LINE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE



LOCATION MAP

ZONE ATLAS MAP H-19-2



FLOOD INSURANCE MAP

REFERENCE FLOOD INSURANCE STUDY

SOILS MAP

REFERENCE SCS BERNALILLO COUNTY SOIL SURVEY

DRAINAGE MANAGEMENT PLAN

Currently, the site is almost completely paved except for a small stretch of open ground in the southwest corner near the Apache Avenue and Wisconsin Street intersection. An existing drainage retention pond, located in this area, will continue to function. The existing site generally discharges freely to the adjacent streets, primarily Wisconsin Street and Prospect Avenue. The small remainder discharges to the retention pond.

The development of this site will require removal of the existing pavement surface, however, existing drainage patterns will remain essentially the same. There will be an overall reduction in impervious area, and therefore, runoff from the site, due to the proposed installation of landscaping areas.

UTILITY NOTES

Public water and sanitary sewer service is available to the site from lines located in Prospect Avenue. The existing 6" public water line, within the 20' utility easement, will be relocated. The line will be redirected around the building as shown on the plan. The public sanitary sewer line would be extended onto the site as shown. Easements would be granted for both the public water and sanitary sewer lines.

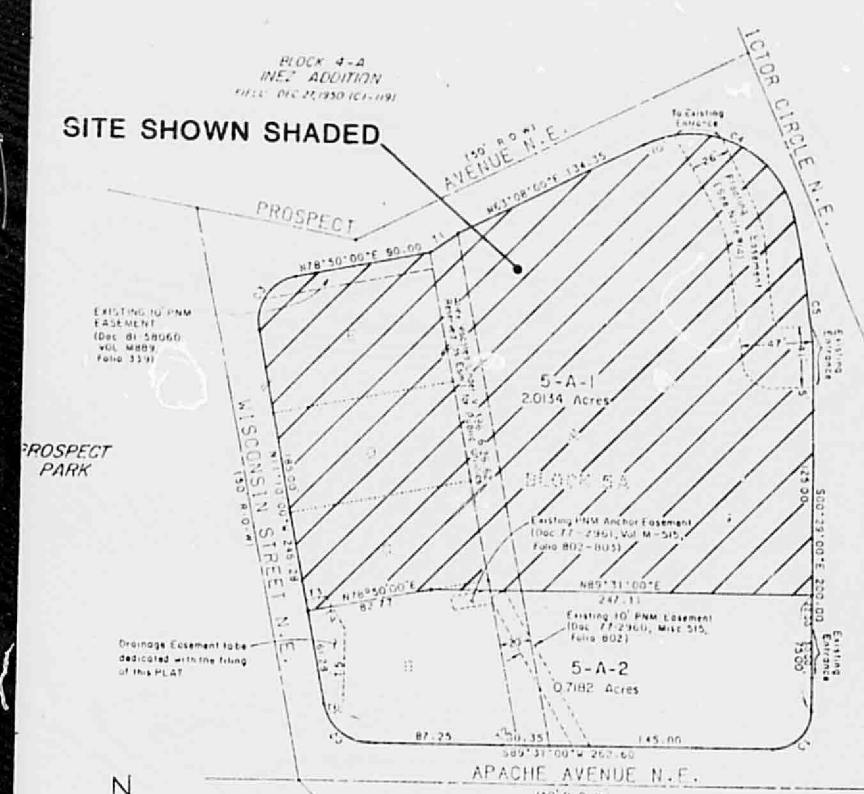
Water/Sanitary Sewer Availability request will be submitted to the City of Albuquerque to determine service requirements of the site.

LEGAL DESCRIPTION

THE NORTHERN PORTION OF TRACT A, AND ALL OF TRACTS C,D,E OF BLOCK 5-A OF THE 1922 ADDITION, BERNALILLO COUNTY, NEW MEXICO.

BENCH MARK

TO REACH THE BENCH MARK FROM THE CENTER LINE OF WYOMING BLVD. & INDIAN SCHOOL ROAD, GO EAST ON INDIAN SCHOOL ROAD 144' AND THEN NORTH 131'. THE BENCH MARK IS A STANDARD ACS BRASS CAP SET IN THE SIDEWALK AND STAMPED "H20, 1975 ACS", ELEVATION = 5371.08'

N
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CURVE DATA					
SUMMIT	ARC	RADIUS	DELTA	CHORD	TANGENT
C1	117.17	250.00	98.961250°	24.38	25.00
C2	117.17	250.00	98.961250°	24.38	25.00
C3	117.17	250.00	98.961250°	24.38	25.00
C4	117.17	250.00	98.961250°	24.38	25.00
C5	117.17	250.00	98.961250°	24.38	25.00

TANGENT DATA			
STATION	CHORD	CHORD BEARING	TANGENT
1+00.00	117.17	S 117.17° E	25.00
2+00.00	117.17	S 117.17° E	25.00
3+00.00	117.17	S 117.17° E	25.00
4+00.00	117.17	S 117.17° E	25.00
5+00.00	117.17	S 117.17° E	25.00

ORIGINAL SURVEY

10-699

APPROVED FOR SITE DEVELOPMENT
18 APR 88 G.S. Reeder, P.E.

RECORDED
INDEXED
MAY 11 1988
CITY CLERK

PROJECT NO. 10-699	
PROJECT MANAGER	DATE 3/24/88
SCALE 1/4" = 1'-0"	3/24/88
SHEET NO. 3 OF 3	
SHEET TITLE: CONCEPTUAL GRADING, DRAINAGE & UTILITY PLAN	
desai & partners p.c.	
10000 10th Avenue NE, Suite 200 Albuquerque, NM 87112-2000	
H19-028	

THIS PLAN SHOT TWICE
ONCE ON LIGHT AND
ONCE ON DARK.

CITY OF ALBUQUERQUE
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Kara Ames
CITY CLERK/RECORDER

OFFICIAL SEAL
NORBERTA SANCHEZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires May 8, 1992
Norberta Sanchez

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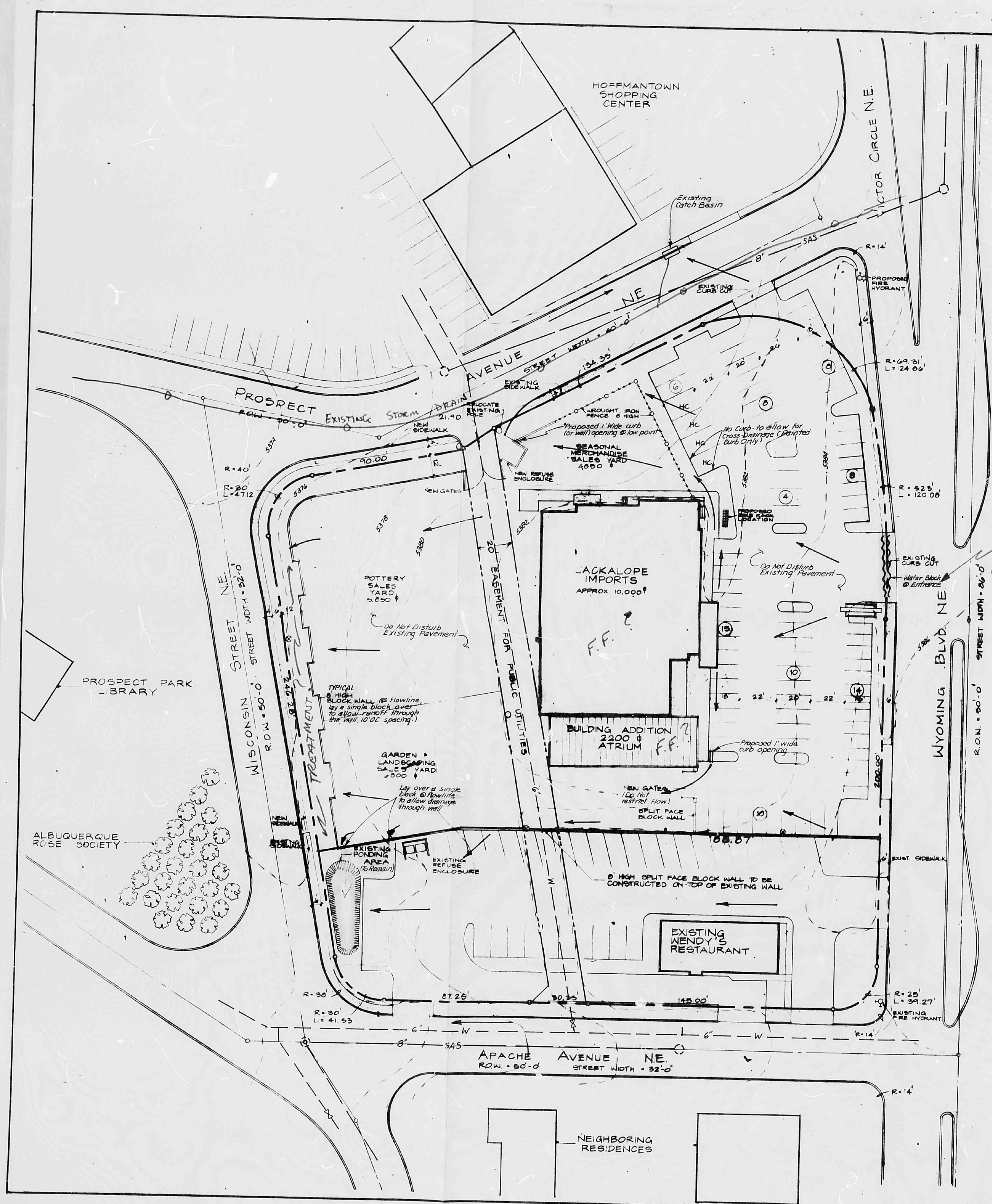
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CITY OF ALBUQUERQUE

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SCALE: 1"=30'



VICINITY MAP
ZONE MAP # H-19

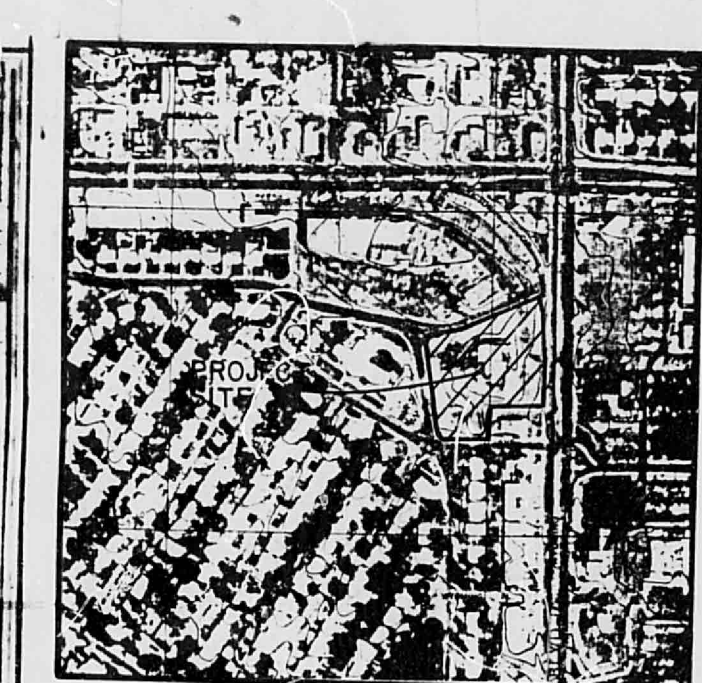
LEGAL DESCRIPTION
THE NORTHERN PORTION OF TRACT A AND ALL OF TRACTS C, D & E OF BLOCK 5-A L. THE INEZ ADDITION, BERNALILLO COUNTY, NEW MEXICO.

BENCH MARK
TO REACH THE BENCH MARK FROM THE CENTER-LINE OF WYOMING BLVD. NE, INDIAN SCHOOL ROAD, GO EAST ON INDIAN SCHOOL ROAD ±44' AND THEN NORTH ±31'. THE BENCH MARK IS A STANDARD ACS BRASS CAP SET IN THE SIDEWALK AND STAMPED "7-H20, 1975 ACS". ELEVATION = 5371.08'

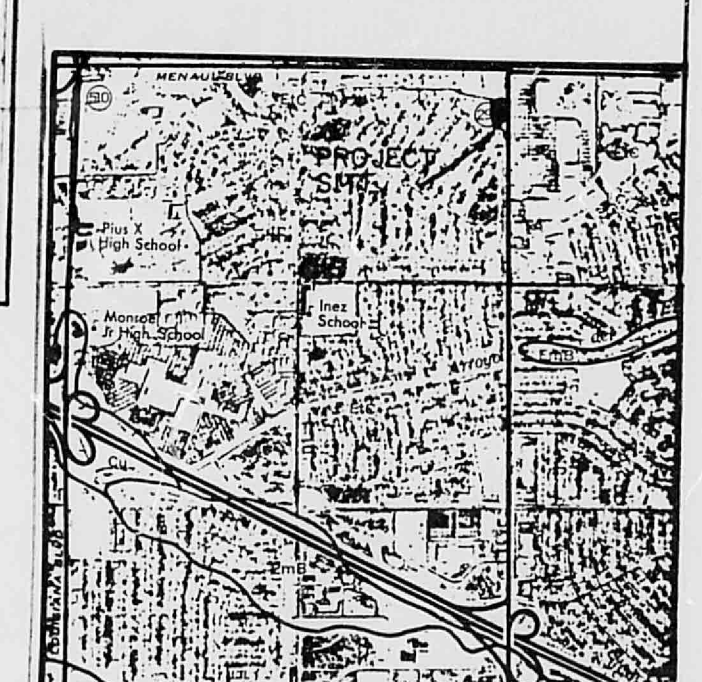
DRAINAGE MANAGEMENT PLAN
Currently, the site is almost completely paved except for a small stretch of open ground in the southwest corner near the Apache Avenue and Wisconsin Street intersection. An existing drainage retention pond, located in this area, will continue to function. The existing site generally discharges freely to the adjacent streets, primarily Wisconsin Street and Prospect Avenue. The small remainder discharges to the retention pond.
The development of this site will require minimum disruption of the existing pavement surface around the building. Existing drainage patterns will be maintained by the placement of numerous wall and curb openings that will allow essentially the same sheet flow conditions from the site that existed prior. However, there will be an overall reduction in impervious area, and therefore, runoff from the site, due to the proposed installation of landscaping areas. Under this development scheme, there are no drainage improvements required or proposed, unless required by the City Engineer at a later date, no other drainage management plan is required for Building Permit.

UTILITY NOTES
Public water and sanitary sewer service is available to the site from lines located in Prospect Avenue and the existing 20" utility easement located west of the building. Private service lines to the building should be available due to its previous use of the site. No new connections will be required.
Access to the public 20" utility easement has been provided for by the installation of gates where appropriate.
A Water/Sanitary Sewer Availability request has been submitted to the City of Albuquerque to determine service requirements of the site.

NOTE: CONTOUR INFORMATION IS APPROXIMATE ONLY, AND HAS BEEN TAKEN FROM F.E.M.A. FLOODWAY MAPS



FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY



SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY

CONCEPTUAL DRAINAGE/GRADING & UTILITY PLAN
FOR
JACKALOPE IMPORTS
ALBUQUERQUE, NEW MEXICO

HERBERT M. DENISH
AND ASSOCIATES INC.
CONSULTANTS TO DEVELOPERS
215 Central Avenue NW, Suite 270
Post Office Box 2001
Albuquerque, New Mexico 87103

PROJECT DATE: OCTOBER 31, 1986
PROJECT ADDRESS: 2225 WYOMING NE

THIS PLAN SHOT TWICE
ONCE ON LIGHT AND
ONCE ON DARK.

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CITY OF ALBUQUERQUE

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NOTARY SEAL
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires MAY 8 1988
Norberta Sanchez

James A. Opitz
11-13-86
BHI JOB NO 63761

SHEET
NUMBER
OF
SHEETS

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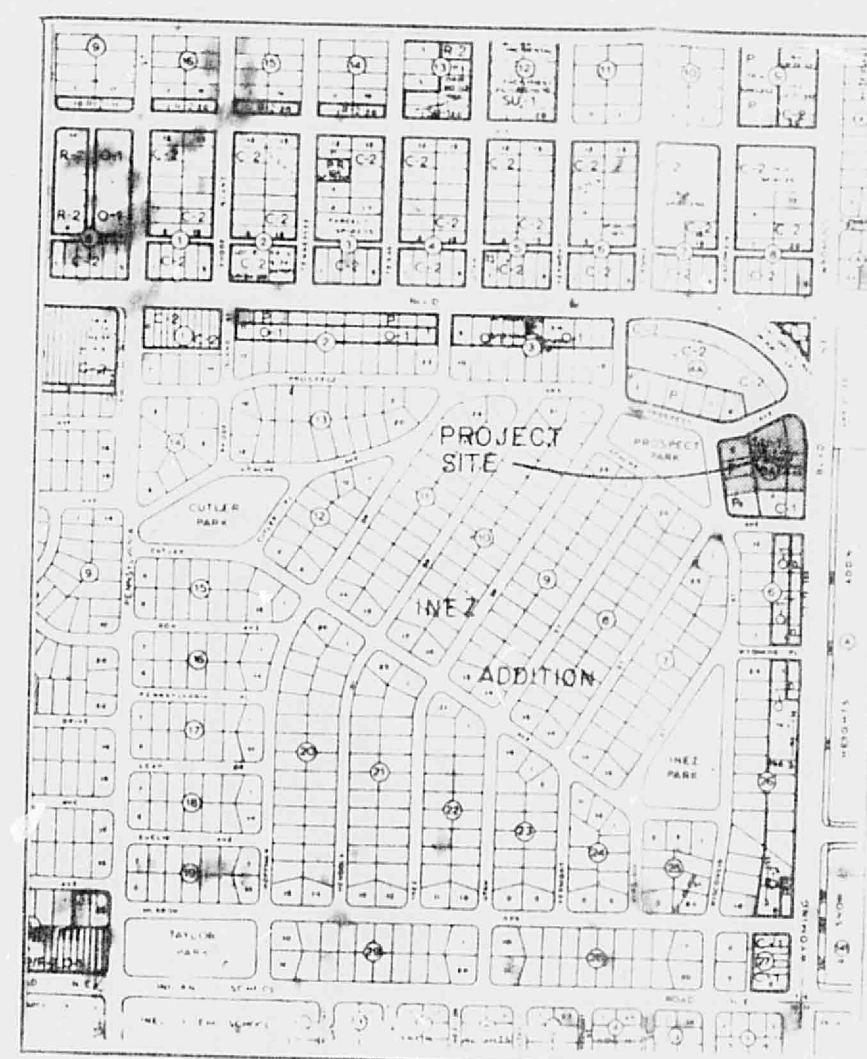
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CITY OF ALBUQUERQUE

C

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VICINITY MAP
ZONE MAP # H-19

LEGAL DESCRIPTION
THE NORTHERN PORTION OF TRACT A, AND ALL OF TRACTS C, D & E OF BLOCK 5-A OF THE 1962 ADDITION, BERNALILLO COUNTY, NEW MEXICO.

BENCH MARK
TO REACH THE BENCH MARK FROM THE CENTERLINE OF WYOMING BLVD. & INDIAN SCHOOL ROAD, GO EAST ON INDIAN SCHOOL ROAD 144' AND THEN NORTH 131'. THE BENCH MARK IS A STAMPED 4CS BRASS CAP SET IN THE SIDEWALK AND STAMPED "2-H20, 1976 ADJ. ELEVATION 5051.8'".

DRAINAGE MANAGEMENT PLAN

Currently, the site is almost completely paved except for a small stretch of open ground in the southwest corner near the Apache Avenue and Wisconsin Street intersection. An existing drainage retention pond, located in this area, will continue to function. The existing site generally discharges freely to the adjacent streets, primarily Wisconsin Street and Prospect Avenue. The small remainder discharges to the retention pond.

The development of this site will require minimum disruption of the existing pavement surface around the building. Existing drainage patterns will be maintained by the placement of numerous well and curb openings that will allow essentially the same sheet flow conditions from the site that existed prior. However, there will be an overall reduction in impervious area, and therefore, runoff from the site, due to the proposed installation of landscaping areas. Under this development scheme, there are no drainage improvements required or proposed. Unless required by the City Engineer at a later date, no other drainage management plan is required for Building Permit.

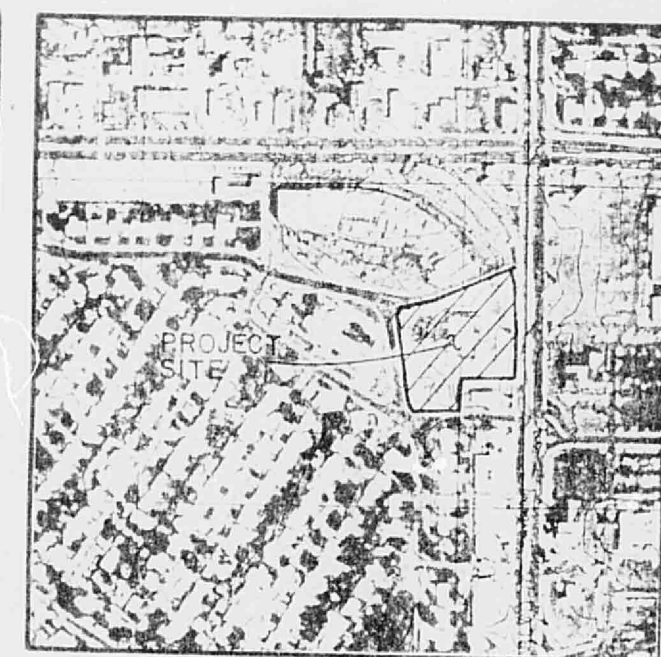
UTILITY NOTES

Public water and sanitary sewer service is available to the site from lines located in Prospect Avenue and the existing 20" utility easement located west of the building. Private service lines to the building should be available due to its previous use of the site. No new connections will be required.

Access to the public 20" utility easement has been provided for by the installation of gates where appropriate.

A Water/Sanitary Sewer Availability request has been submitted to the City of Albuquerque to determine service requirements of the site.

NOTE: CONTOUR INFORMATION IS APPROXIMATE ONLY AND HAS BEEN TAKEN FROM F.E.M. FLOODWAY MAPS.



CONCEPTUAL DRAINAGE/GRADING & UTILITY PLAN

FOR
JACKALOPE IMPORTS
ALBUQUERQUE, NEW MEXICO

PROJECT DATE: OCTOBER 31, 1984
PROJECT ADDRESS: 2225 WILSON BLVD NE

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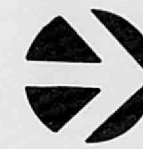
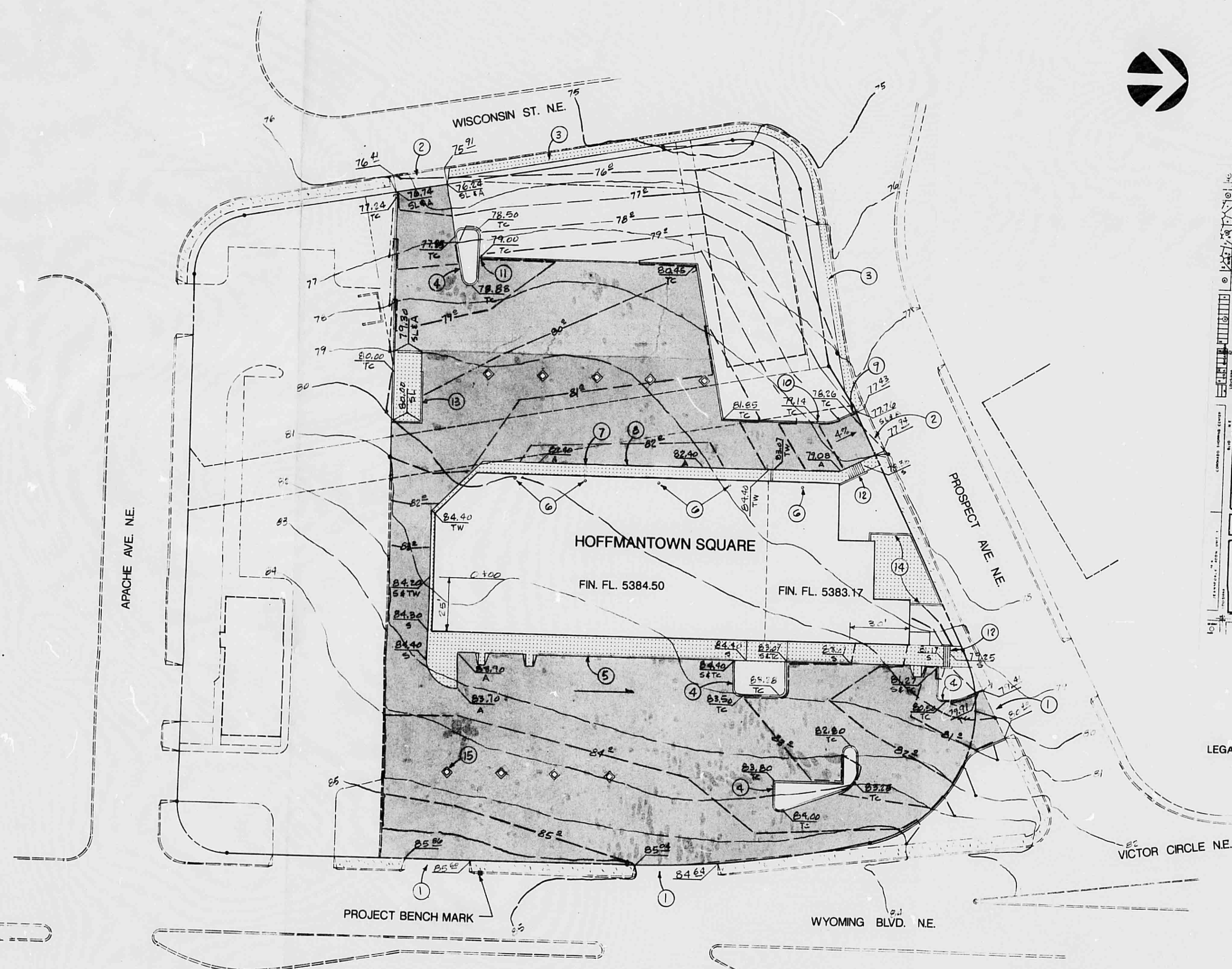
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Karen Adams
CITY CLERK RECORDER

OFFICIAL SEAL
NORBERTA SANCHEZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 12/31/85
Norberta Sanchez

SITE PAVING & GRADING PLAN
1"=30'-0"



VICINITY MAP

LEGAL DESCRIPTION: TRACT S-A-1, BLOCK SAJNEZ ADDITION, BERNALILLO CO., NEW MEXICO.

- NOTES:**
1. EXISTING DRIVE PAD.
 2. CONSTRUCT 24" WIDE DRIVE PAD. CITY DETAIL P-11-1.
 3. INSTALL CONCRETE SIDEWALK. CITY DETAIL P-13-1.
 4. VERTICAL CURB. SEE SHEET C-5.
 5. TURNED-UP CURB. SEE SHEET C-5.
 6. ROOF DRAIN. SEE PLUMBING DMS.
 7. EXTEND ROOF DRAIN THRU DOCK, TYPICAL.
 8. DOCK. SEE SHEET C-5.
 9. TAPER CURB DOWN 6" IN 2'-0". TYPICAL AT DRIVES.
 10. BEGIN ASPHALT CURB.
 11. END ASPHALT CURB.
 12. STAIRS. SEE SHEET C-5.
 13. COMPACTOR ENCLOSURE. SEE SHEET C-5.
 14. PATIO WALLS. SEE ARCH. DMS.
 15. TREE WELL, TYPICAL. SEE SHEET C-5.

CITY BENCH MARK: BRASS CAP AT NORTHEAST CORNER OF INDIAN SCHOOL AND WYOMING. "ACS 7-100, 1975."
ELEVATION = 5371.08
PROJECT BENCH MARK: "X" CUT IN TOP OF CURB.
ELEVATION = 5385.51

- LEGEND:**
- 80 — EXISTING CONTOURS
 - 80 — EXISTING CURB & GUTTER
 - 80 — EXISTING CONCRETE SIDEWALK
 - 80 — EXISTING SPOT ELEVATIONS
 - 80 — FINISH CONTOURS
 - 80 — NEW ASPHALT PAVEMENT
 - 80 — NEW CONCRETE SIDEWALK OR SLAB
 - 80 — TOP OF CURB ELEVATION
 - 80 — FINISH SIDEWALK ELEVATION
 - 80 — FINISH SLAB ELEVATION
 - 80 — ASPHALT PAVEMENT ELEVATION
 - 80 — TOP OF WALL ELEVATION

APPROVED FOR DRAINAGE
JUL 24 1987
G. S. REED, PE
REGISTERED PROFESSIONAL ENGINEER
ADVISE DRAINAGE INSPECTOR
WHEN GRADING EXECUTED

RECEIVED
JUL 28 1987
HYDROLOGY SECTION

FMBSM

HOFFMANTOWN SQUARE

Flaton Moore Bryan Shaffer McCabe
Architects Engineers Planners
Albuquerque, New Mexico
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SITE GRADING & PAVING C-3

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Karla Arnes
CITY CLERK RECORDER

OFFICIAL SEAL
NORBERTA SANCHEZ
CLERK OF THE CITY
MAY 8 1985
Norberta Sanchez

F 30

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C 20

B 16

A 12

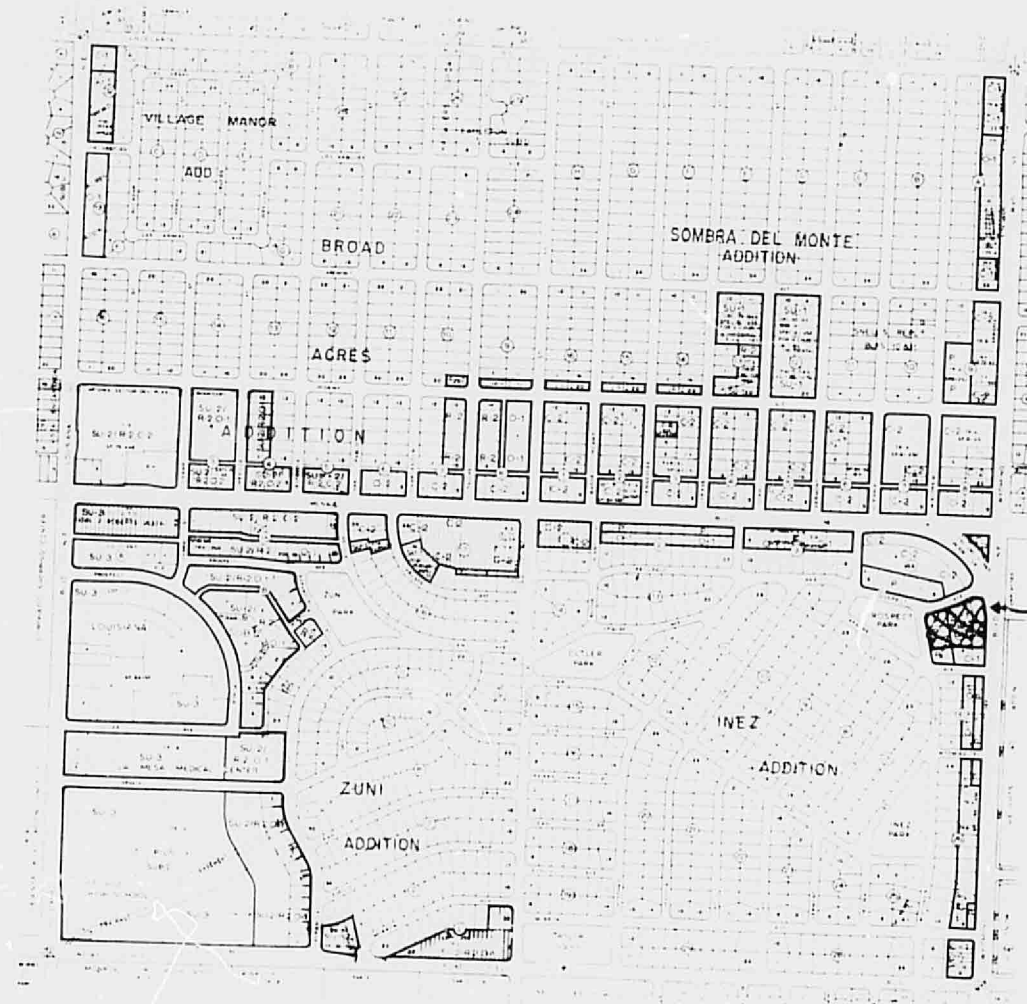
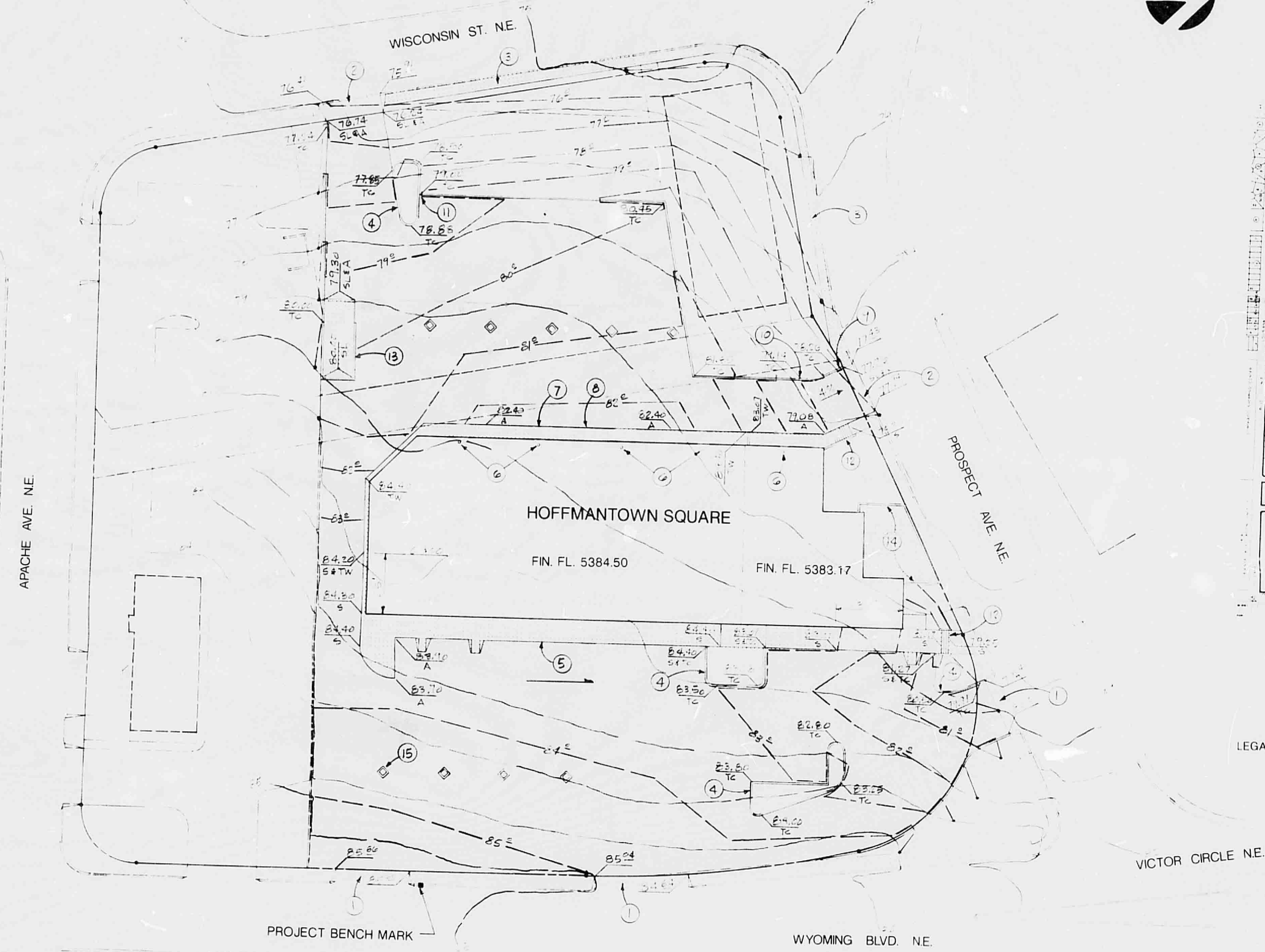
CITY OF ALBUQUERQUE

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SITE PAVING & GRADING PLAN
1"=30'-0"



VICINITY MAP

LEGAL DESCRIPTION TRACT 5-A-1, BLOCK SAINZ ADDITION, BERNALILLO CO., NEW MEXICO

- NOTES:
1. EXISTING DRIVE PAD.
 2. CONSTRUCT 24" WIDE DRIVE PAD, CITY DETAIL P-11-1.
 3. INSTALL CONCRETE SIDEWALK, CITY DETAIL P-13-1.
 4. VERTICAL CURB, SEE SHEET C-5.
 5. TURNED-DOWN CURB, SEE SHEET C-5.
 6. ROOF DRAIN, SEE PLUMBING DMS.
 7. EXTEND ROOF DRAIN THRU DUCK, TYPICAL.
 8. DUCK, SEE SHEET C-5.
 9. TAPER CURB DOWN 6" IN 2'-0", TYPICAL AT DRIVES.
 10. BEGIN ASPHALT CURB.
 11. END ASPHALT CURB.
 12. STAIRS, SEE SHEET C-5.
 13. CONNECTOR ENCLOSURE, SEE SHEET C-5.
 14. RATIO WALLS, SEE ARCH. DMS.
 15. TREE WELL, TYPICAL, SEE SHEET C-5.

- 1. EXISTING DRIVE PAD
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- 5. EXISTING DRIVE PAD
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- 11. EXISTING DRIVE PAD
- 12. EXISTING DRIVE PAD
- 13. EXISTING DRIVE PAD
- 14. EXISTING DRIVE PAD
- 15. EXISTING DRIVE PAD

APPROVED FOR DRAINAGE
G.S. Reedy, P.E. 12/10/87
ADVISE DRAINAGE INSPECTOR
WHEN GRADING EXCEPTED

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Kenn. Amos
CITY CLERK-RECORDER

OFFICIAL SEAL
NOBERTA SANCHEZ
CITY CLERK
CITY OF ALBUQUERQUE

FMBSM

HOFFMANTOWN
SQUARE

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Architect-Engineers-Planners
Albuquerque, New Mexico
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SITE GRADING & PAVING C-3

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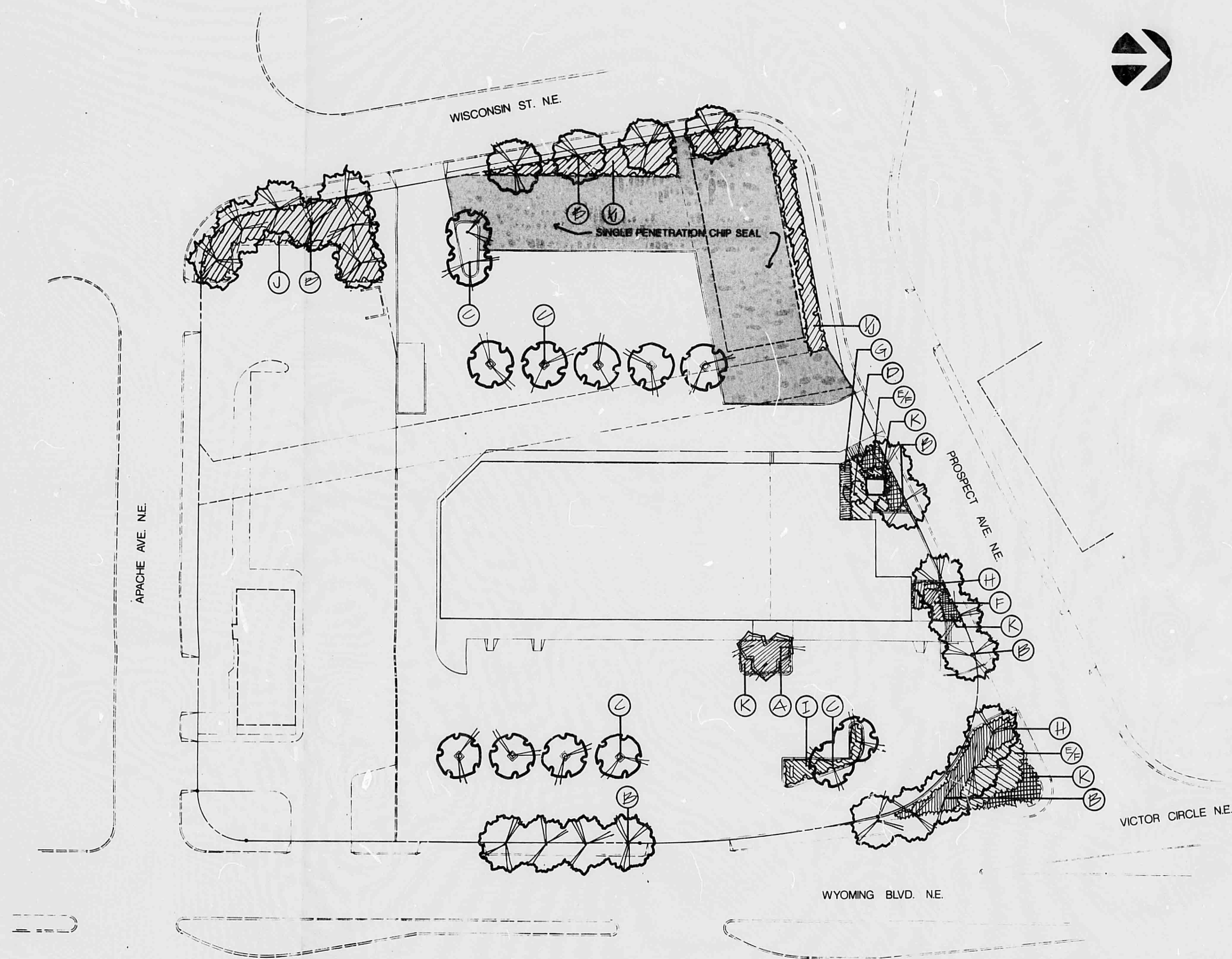
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CITY OF ALBUQUERQUE

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LANDSCAPE CONCEPT

STREET TREES WILL BE PLACED ALONG THE PROPERTY PERIMETER WITH SHADE TREES PLANTED IN THE PARKING ISLANDS. EVERGREEN SHRUBS PROVIDE A VISUAL ACCENT TO THE ENTRANCE OF THE BUILDINGS. FLOWERING SHRUBS WITH YEAR ROUND COLOR WILL BE USED TO ACCENT THE ENTRANCE TO THE PARKING AREA. WITH ANNUALS AND PERENNIALS.

LANDSCAPE REQUIREMENTS

TOTAL LANDSCAPE AREA REQUIRED 3,600 SQUARE FEET.
TOTAL LANDSCAPE AREA PROVIDED 4,870 SQUARE FEET.

EROSION CONTROL PLAN

1" = 30'

PLANT SCHEDULE

KEY	COMMON NAME	SIZE	CONDITION
A	BRADFORD PEAR	8'-10" TALL	15 GALLON
B	MODESTO ASH	10'-12" TALL	24" BOX
C	SYCAMORE	12'-14" TALL	24" BOX
D	PURPLE-LEAF PLUM	8'-10" TALL	15 GALLON
E	COTONEASTER SPECIES	18" SPREAD	5 GALLON
F	INDIAN HAWTHORN	24" SPREAD	5 GALLON
G	PYRACANTHA COCCINEA	36" TALL	5 GALLON
H	JUNIPER SPECIES	24" SPREAD	5 GALLON
I	POTENTILLA SPECIES	18" TALL	FLATS/GAL
J	VIRGINIA CREEPER		1 GALLON
K	ANNUALS/PERENNIALS		FLATS/GAL

PLANTING GENERAL NOTES

- PLANTS OF ANY KIND OTHER THAN THOSE INDICATED ON THE PLANT SCHEDULE WILL BE CONSIDERED BY THE LANDSCAPE ARCHITECT ONLY UPON SUBMISSION OF PROOF THAT ANY PLANT SPECIFIED IS NOT REASONABLY PROCURABLE.
- CONTRACTOR SHALL RECEIVE SITE GRADED TO +/- .10 FEET. CONTRACTOR SHALL ACCEPT GRADE PRIOR TO COMMENCING WORK. STARTING WORK IMPLIES AN ACCEPTANCE OF GRADE.
- PLANT MATERIAL SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY TO PROJECT SITE.
- BACKFILL ALL PLANTS WITH PREPARED BACKFILL CONSISTING OF THREE PARTS NATIVE SOIL - ONE PART ORGANIC MATERIAL.
- FOR ALL AREAS TO BE SEED OR SOODED, ADD ORGANIC MATERIAL TO THE TOP SOIL AT A RATE OF ONE YARD PER 500 SQ. FT. AND TILL TO A DEPTH OF SIX INCHES. TOP DRESS WITH GYPSUM AT A RATE OF TWO TONS PER ACRE.
- FERTILIZE ALL AREAS TO BE PLANTED (TREES, SHRUBS, GROUND COVER, AND TURF) WITH 16-20-0 ANALYSIS AT A RATE OF 20 LBS. PER 1,000 SQ. FT.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, CONSTRUCTION MATERIALS, AND LABOR FOR A PERIOD OF ONE YEAR (365 DAYS) FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL REPAIR AND REPLACE WITHIN SEVEN DAYS AS DIRECTED BY THE LANDSCAPE ARCHITECT.

IRRIGATION GENERAL NOTES

- IRRIGATION SYSTEM HAS BEEN DESIGNED TO A STATIC PRESSURE OF 50 PSI WITH A MAXIMUM DEMAND OF 60 GPM. THE ANTICIPATED OPERATING TIME FOR THE SYSTEM IS 4 HRS.
- IRRIGATION SYSTEM SHALL START WITH A 2 1/2 INCH TAP PROVIDED BY PLUMBING CONTRACTOR.
- ALL VALVE BOXES TO BE PLACED NO FURTHER THAN 6 INCHES FROM NEAREST CURB, SIDEWALK, OR INDICATED PAVED SURFACE.
- ACTUAL FIELD CONDITIONS MAY INDICATE ADDING, DELETING, OR MAKING MINOR ADJUSTMENTS IN SPACING OF HEADS TO INSURE UNIFORM COVERAGE AND DISTRIBUTION.
- ALL PRESSURE LINES TO BE SCHEDULE 40 PVC AT A MINIMUM DEPTH OF 24 INCHES BELOW FINISH GRADE.
- ALL LATERAL AND DISTRIBUTION LINES TO BE CLASS 200 PVC AT A MINIMUM DEPTH OF 18 INCHES BELOW FINISH GRADE.
- ALL POP-UP TYPE IRRIGATION HEADS INSTALLED IN LAWN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE HEAD IS 1 INCH ABOVE FINISH GRADE AND FLUSH WITH ADJACENT SIDEWALKS AND CURBS.
- ALL CONTROL WIRE TO BE SOLID COPPER UL APPROVED INSTALLED AS PER LOCAL CODE. RUNS LESS THAN 500 FEET SHALL BE #14 GAUGE. RUNS GREATER THAN 500 FEET SHALL BE #12 GAUGE WIRE. PROVIDE A 24 INCH LOOP AT EACH WIRE SPLICE OR POINT OF CONNECTION.

MAINTAINENCE/IRRIGATION

THE LANDSCAPE PLANTINGS SHOWN ON THIS PLAN SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.

APPROVED FOR DRAINAGE
12/16/87
G. Skelton, P.E. C.E.H.W.
DRAINAGE ENGINEER
ADVISE DRAINAGE INSPECTOR
WHEN GRADING EXECUTED

RECEIVED
JUL 28 1987
HYDROLOGY SECTION

FMBMSM

HOFFMANTOWN
SQUARE

Flanoy Moore Bryan Shaffer McCabe
Architects Engineers Planners
Albuquerque, New Mexico
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EROSION CONTROL PLAN C-6

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Klaus (Klaus)
CITY CLERK RECORDER

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NOBUERTA SANCHEZ
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires May 8 1992
Nobuerta Sanchez

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CITY OF ALBUQUERQUE

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1"=30'-0"

LANDSCAPE CONCEPT

STREET TREES PLANTED ALONG THE PROPERTY PERIMETER WITH SHADE TREES PLANTED IN THE PARKING ISLANDS. EVERGREEN SHRUBS PROVIDE A VISUAL BARRIER TO THE ENTRANCE OF THE BUILDING. PLANTING AND SHRUBS WITH VIBRANT COLOR WILL BE USED TO ACCENT THE ENTRANCE TO THE PARKING AREA, WITH ANNUALS AND PERENNIALS.

LANDSCAPE REQUIREMENTS

TOTAL LANDSCAPE AREA: 2,000 SQUARE FEET.
TOTAL LANDSCAPE AREA PROVIDED: 4,870 SQUARE FEET.

EROSION CONTROL PLAN

1" = 30'

PLANT SCHEDULE

KEY	COMMON NAME	SIZE	QUANTITY
A	WAXY FERN	12" TALL	25 GALLON
B	MOBILED ASH	10" TALL	24" BOX
C	YUCCA	12" TALL	24" BOX
D	PURPLE-LEAF PLUM	8" TALL	15 GALLON
E	COTONWOOD SPECIES	18" TALL	5 GALLON
F	INDIAN HAZEL	24" TALL	5 GALLON
G	PROSTRATE COCKLE	24" TALL	5 GALLON
H	JUNIPER SPECIES	24" TALL	5 GALLON
I	PERITILLA SPECIES	18" TALL	FLAT/CAL
J	VERBENA SPECIES	18" TALL	FLAT/CAL
K	ANNUALS/PERENNIALS		FLAT/CAL

PLANTING GENERAL NOTES

- PLANTS OF ANY KIND OTHER THAN THOSE INDICATED ON THE PLANT SCHEDULE WILL BE SUBMITTED BY THE LANDSCAPE ARCHITECT ONLY UPON SUBMISSION OF PROOF THAT ANY PLANT SPECIFIED IS NOT READILY AVAILABLE.
- CONTRACTOR SHALL PROTECT SITE EXISTING TO 1/2" TO 1/4" TALL. CONTRACTOR SHALL ACCEPT GRADE PRIOR TO COMMENCING WORK. STARTING WORK IMPLIES AN ACCEPTANCE OF GRADE.
- PLANT MATERIAL SHALL BE PLANTED AS SOON AS POSSIBLE AFTER DELIVERY TO PROJECT SITE.
- BACKFILL: ALL PLANTS WITH PREPARED BACKFILL CONSISTING OF THREE PARTS NATIVE SOIL TO ONE PART ORGANIC MATERIAL.
- FOR ALL AREAS TO BE SEEDING OR SODDED, ADD ORGANIC MATERIAL TO THE TOP SOIL AT A RATE OF ONE TON PER 500 SQ. FT. AND TILL TO A DEPTH OF SIX INCHES. TOP DRESS WITH COMPOST AT A RATE OF TWO TONS PER ACRE.
- FERTILIZE ALL AREAS TO BE PLANTED (TREES, SHRUBS, GRASS, COVER, AND TURF) WITH 16-20-0 ANALYSIS AT A RATE OF 20 LBS. PER 1,000 SQ. FT.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, (MIN. SURVIVAL RATE), AND LABOR FOR A PERIOD OF ONE YEAR (365 DAYS) FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT. THE CONTRACTOR SHALL REPAIR AND REPLACE WITHIN SEVEN DAYS AS DIRECTED BY THE LANDSCAPE ARCHITECT.

IRRIGATION GENERAL NOTES

- IRRIGATION SYSTEM HAS BEEN DESIGNED TO A STATIC PRESSURE OF 50 PSI WITH A MAXIMUM FLOW OF 60 GPM. THE ANTICIPATED OPERATING TIME FOR THE SYSTEM IS 4 HRS.
- IRRIGATION SYSTEM SHALL START WITH A 2 1/2 INCH TAP PROVIDED BY PLUMBING CONTRACTOR.
- ALL VALVE BOXES TO BE PLACED NO FURTHER THAN 6 INCHES FROM NEAREST CURB, SIDEWALK, OR INDICATED PAVED SURFACE.
- ANNUAL FIELD CONDITIONS MAY INVOLVE ADDING, DELETING, OR MOVING MAINS. ADJUSTMENTS IN PLACING OF HEADS TO IN THE UNIFORM COVERAGE AND DISTRIBUTION.
- ALL PRESSURE LINES TO BE SCHEDULE 40 PVC AT A MINIMUM DEPTH OF 24 INCHES BELOW FINISH GRADE.
- ALL LATERAL AND DISTRIBUTION LINES TO BE CLASS 200 PVC AT A MINIMUM DEPTH OF 18 INCHES BELOW FINISH GRADE.
- ALL POP-UP TYPE IRRIGATION HEADS INSTALLED IN LAWN AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE HEAD IS 1 INCH ABOVE FINISH GRADE AND FLUSH WITH ADJACENT SIDEWALKS AND CURBS.
- ALL CONTROL WIRE TO BE SOLID COPPER OR APPROVED INSTALLED AS PER LOCAL CODE. WIRE LESS THAN 500 FEET SHALL BE 14 GAUGE. WIRE GREATER THAN 500 FEET SHALL BE #12 OR 10 GAUGE. PROVIDE A 24 INCH LOOP AT EACH WIRE SPLICE OR POINT OF CONNECTION.

MAINTENANCE/IRRIGATION

IF PLANTING SCHEDULED IN THIS PLAN SHALL BE INDICATED BY AN AUTOMATIC IRRIGATION SYSTEM. ALL LANDSCAPE PLANTINGS AND IRRIGATION SYSTEM SHALL BE MAINTAINED BY THE OWNER AT NO COST TO THE CITY OF ALBUQUERQUE.

APPROVED FOR DRAINAGE

[Signature]
ADVISE DRAINAGE INSPECTOR WHEN GRADING EXECUTED

THIS PLAN SHOWN TWICE
ONCE ON LIGHT AND
ONCE ON DARK.

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(ANSI-1977).

[Signature]
CITY CLERK RECORDER

OFFICIAL SEAL
NORBERTA SANCHEZ
CITY CLERK RECORDER
CITY OF ALBUQUERQUE

DATE: 01/21/2000

FILE: 01/21/2000

BY: 01/21/2000

NO: 01/21/2000

FILE: 01/21/2000

FILE: 01/21/2000

FILE: 01/21/2000

FILE: 01/21/2000

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FILE: 01/21/2000

FILE: 01/21/2000

FMBSM

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SQUARE

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Albuquerque, New Mexico
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EROSION CONTROL PLAN C-6

CITY OF ALBUQUERQUE