

LEGAL DESCRIPTION: LOT 4, BLOCK 2, INEZ ADDITION.

BENCH MARK: BRASS CAP NO. 1-119A LOCATED NEAR THE NORTHEAST CORNER OF INDIAN SCHOOL ROAD AND PENNSYLVANIA ST. MSL ELEV. = 5323.895

PROJECT BENCH MARK: SURVEY SPIKE AT NORTHEAST CORNER OF THE SITE. MSL ELEV. = 5355.60

FINAL GRADING, ESPECIALLY AT LANDSCAPED AREAS, SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING. FINAL GRADING SHALL ENSURE ROOF RUNOFF NOT FLOW TO THE SIDEWALK AND STAIR WELL AT THE WEST SIDE OF THE BUILDING. IN NO CASE SHALL WATER BE ALLOWED TO POND NEXT TO THE WALLS OR FOOTINGS.

ALL WET WELL AND DRAINAGE TANK AREAS SHALL BE SO CONSTRUCTED AS TO PREVENT WATER FROM SEEPING UNDER THE FOOTINGS OR ONTO OR UNDER ADJACENT PROPERTY. ALL JOINTS IN CONCRETE BELOW MAXIMUM WATER LEVEL SHALL HAVE 6-INCH WATERSTOP, AND ALL WALLS BELOW MAXIMUM WATER LEVEL SHALL HAVE A WATERPROOFING ASPHALTIC MEMBRANE.

SUMP PUMPS SHALL BE HYDROMATIC PUMP NO. OSP33 1/3 HP. SUBMERSIBLE PUMP WITH 5/8 INCH SOLIDS HANDLING CAPABILITY, CAST IRON BODY, AUTOMATIC LEVEL SWITCH, 115 V., 60 HZ., SINGLE PHASE CIRCUITRY, WATERPROOF WIRING AND CONTROLS IN ALL AREAS EXPOSED TO RAIN OR STANDING WATER, OR APPROVED EQUAL.

CONTRACTOR SHALL CONTROL EROSION BY PROMPT REMOVAL OF EXCESS EARTH OR BY STOCKPILING IT PROTECTED BY AN EARTH BERM OR FABRIC SILT FENCE SO AS PREVENT SOIL MOVEMENT ONTO ADJACENT PUBLIC OR PRIVATE PROPERTY. IN DOING SO HE SHALL NOT BLOCK THE DRAINAGE IN THE EXISTING PAVED PARKING AREA.

CONTRACTOR SHALL CONSTRUCT A 1 FOOT HIGH EARTH BERM ALONG THE WEST PROPERTY LINE EXTENDING FROM THE FENCE A SUFFICIENT DISTANCE TO PREVENT EROSION INTO THE EXISTING ADJACENT STAIRWELL.

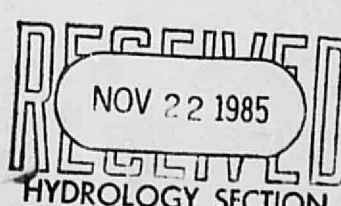
CONTRACTOR SHALL PROTECT AGAINST WIND EROSION BY KEEPING EXPOSED EARTH WATERED AND/OR COVERING STOCKPILED EARTH, OR BY OTHER APPROVED MEANS.

LEGEND

- SPOT ELEVATION
- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- EXISTING SWALE
- - - PROPOSED SWALE
- FLOW DIRECTION
- DEPRESSION

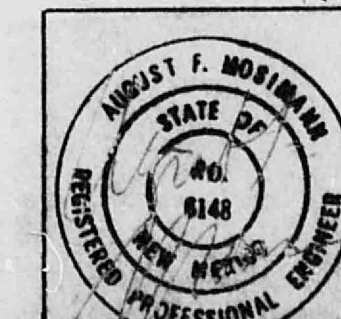
ABBREVIATIONS

- TC = TOP OF CURB
- BC = BACK OF CURB
- BO = BOTTOM OF CURB
- FF = FINISHED FLOOR
- FG = FINISHED GRADE
- FL = FLOW LINE
- MSL = MEAN SEA LEVEL
- INV = INVERT
- S = SLOPE
- FH = FIRE HYDRANT
- W = WATER
- SAS = SANITARY SEWER
- G = GAS
- PP = POWER POLE



H19/D33

8-16-86 REVISED 8/26/85 REVISED 10-21-85 REVISED 11-20-85

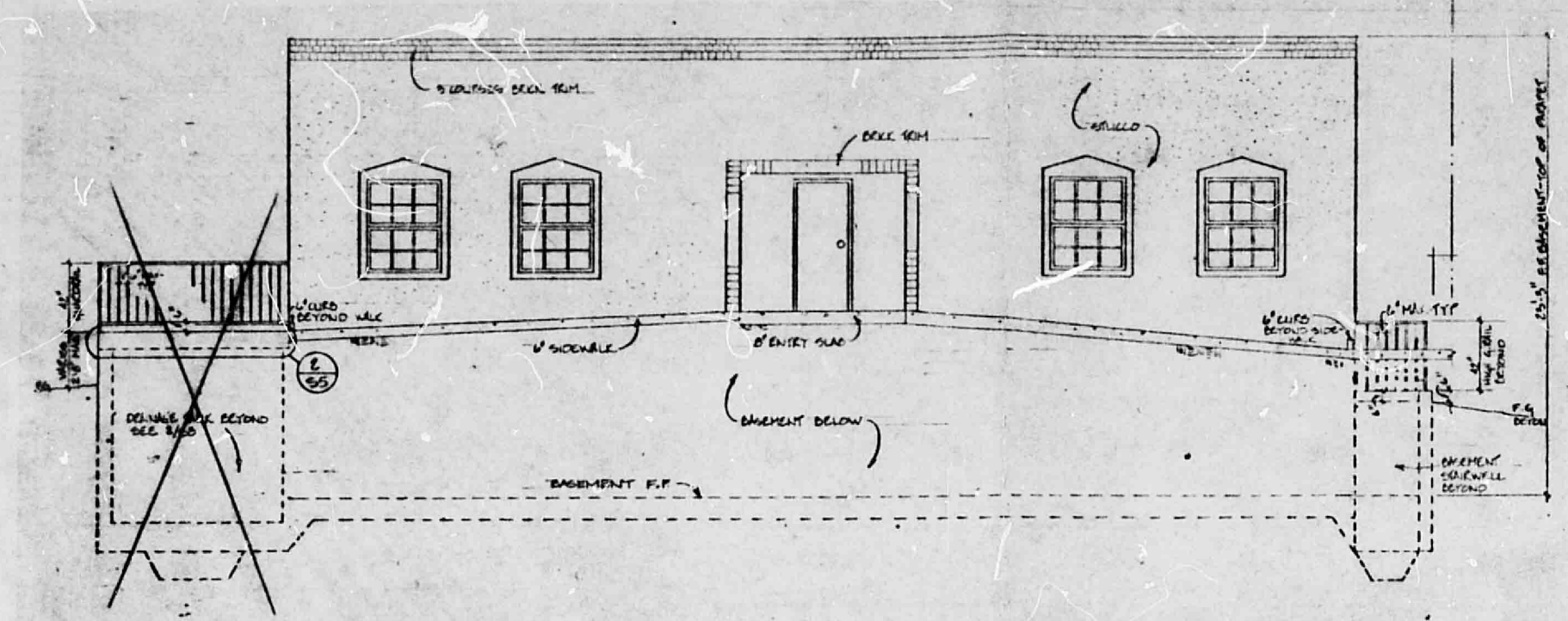


GONZALES OFFICE BUILDING SHEET 2049

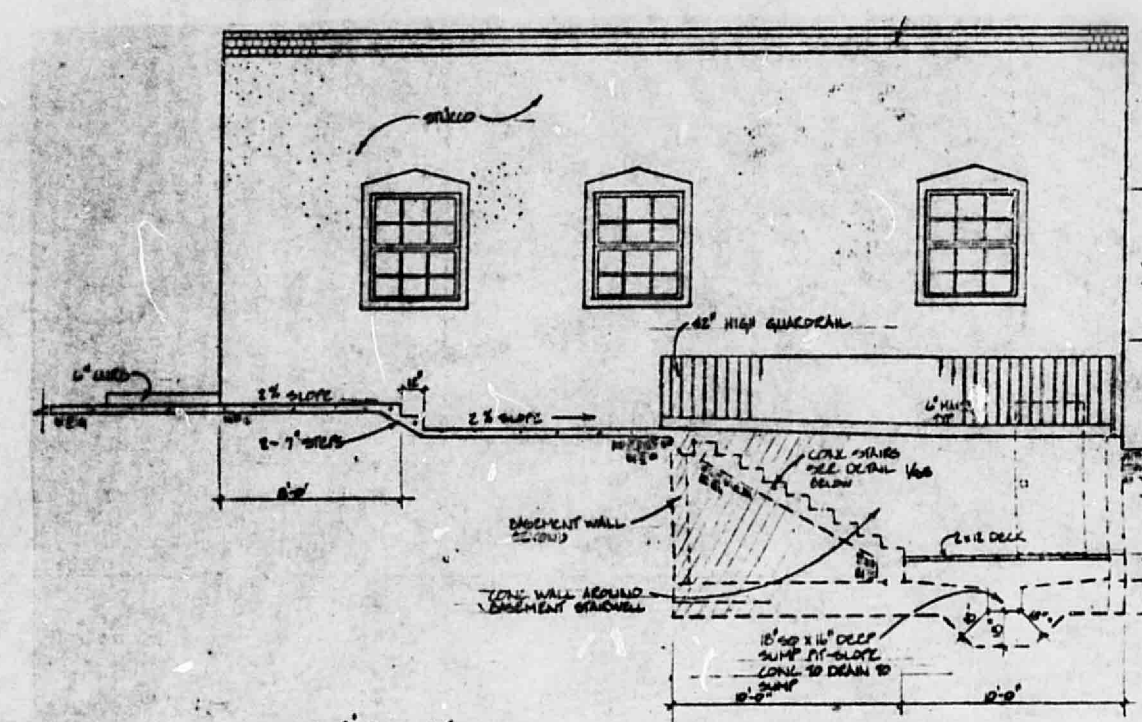
ENGINEERING ASSOCIATES INC.

532 Adams Street N.E.

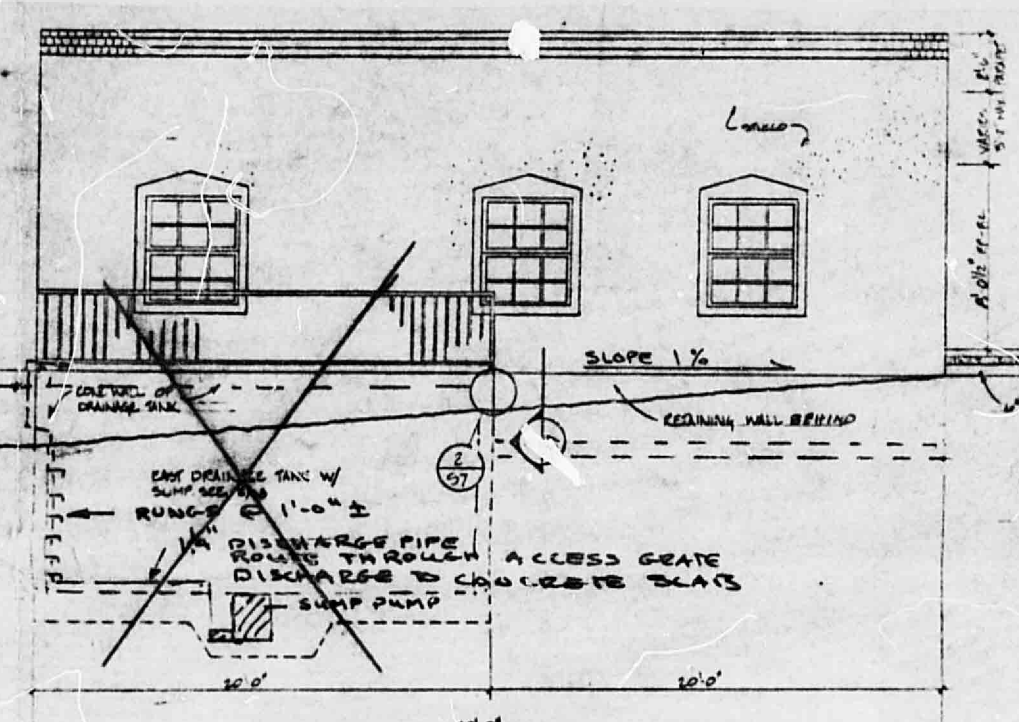
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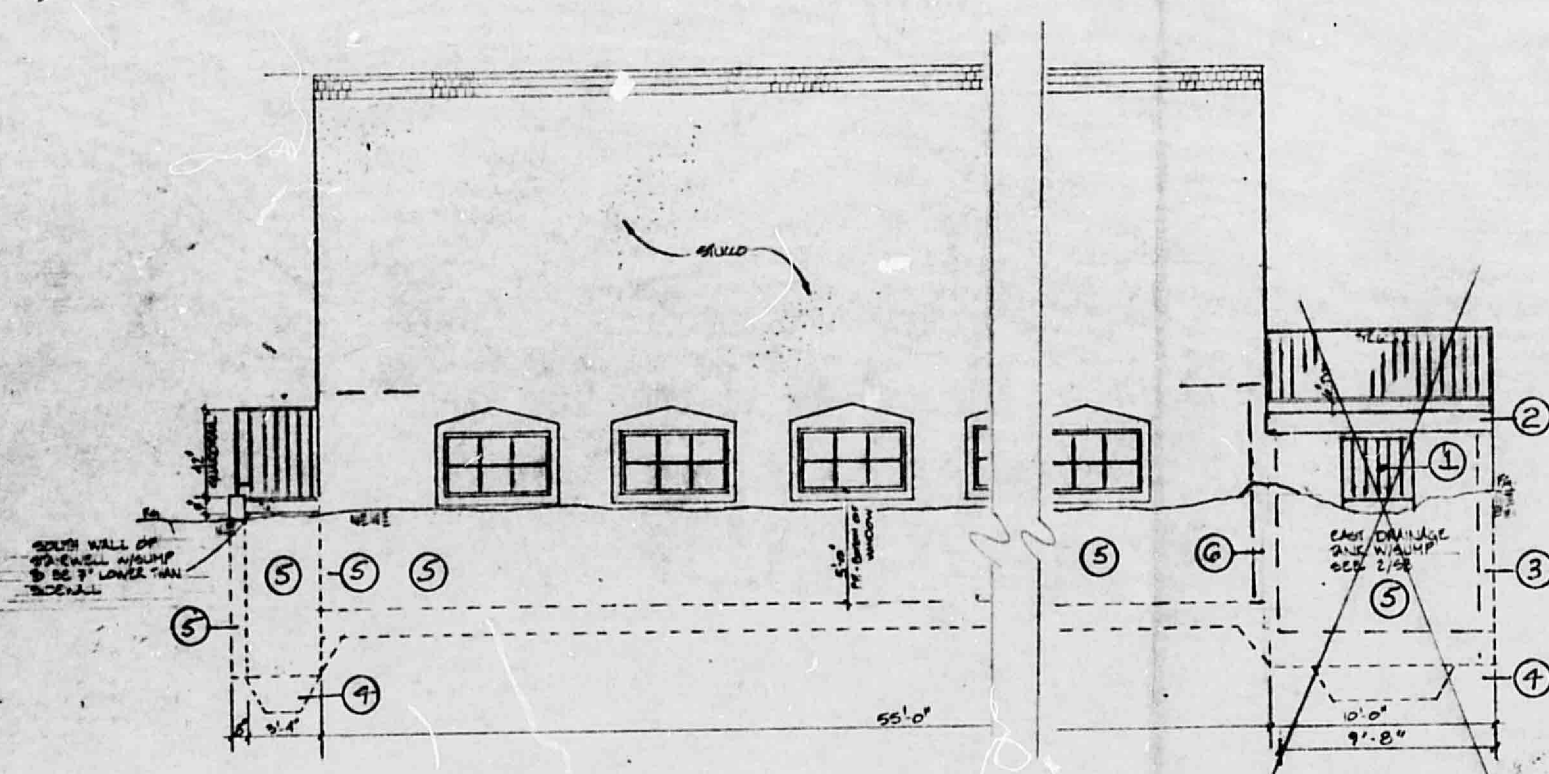
NORTH ELEVATION



WEST ELEVATION

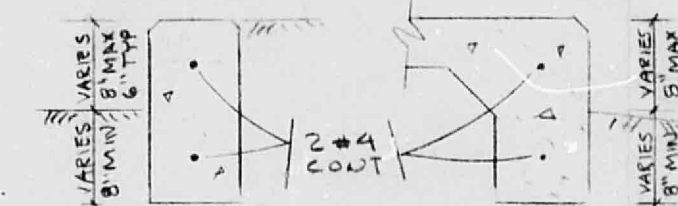


EAST ELEVATION

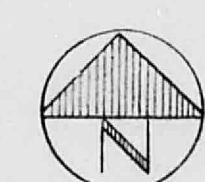


SOUTH ELEVATION

- (1) 3" WIDE HINGED & LOCKED ACCESS GRATE WITH 6" MAX OPENINGS
- (2) 10" REINFORCED CONCRETE SLAB SEE DETAIL 2X58
- (3) 8" WALL W #5 @ 16" O.C. 9" EV
- (4) 18" FOOTING W HOOKET FOR PUMP #4 GR60 @ 12" BW TOP & BOTTOM
- (5) 8" WALL W #4 @ 16" O.C. 9" EV
- (6) 12" WALL W #4 @ 16" O.C. 9" EV EACH FACE BELOW 10" SLAB, & 8" WALL W 1 LAYER OF #4 GR60 @ 12"



DETAIL @ 3/4" = 1"



GRADING & DRAINAGE PLAN

SCALE: 1" = 10'-0"

