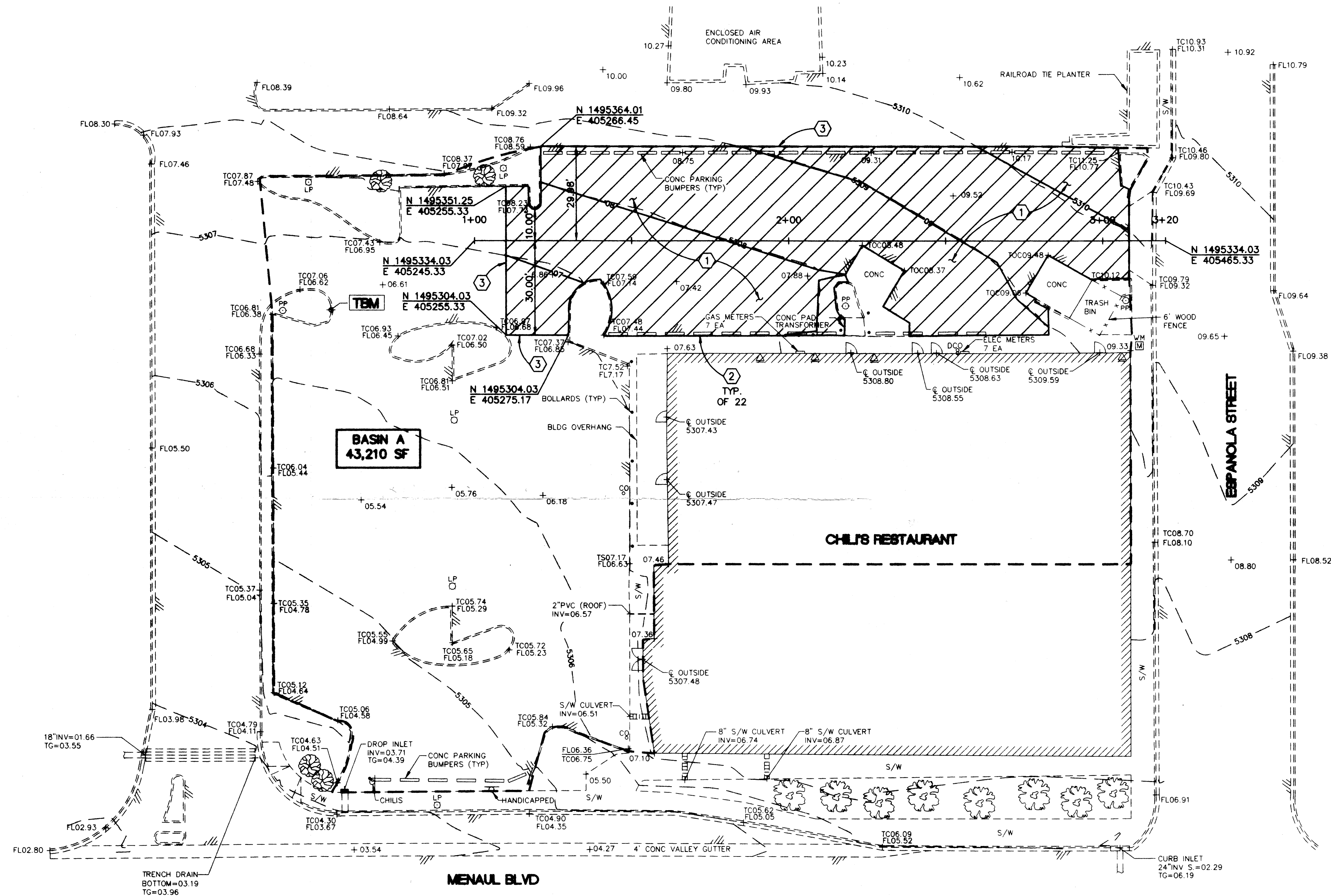


U08-118-0098
CHAVEZ-GRIEVES
ENGINEERING
REV: 05/15/98 CH



NOTES

- THIS IS NOT A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT AS NOTED.

PROJECT BENCHMARK

A STANDARD ACS ALUMINUM CAP STAMPED "15-H18 1989" SET FLUSH WITH THE CURB. THE STATION IS LOCATED ON THE SOUTHWEST QUADRANT OF THE INTERSECTION OF LOUISIANA AND MENAUL BLVD. ELEV.=5306.77.

TEMPORARY BENCHMARK (TBM)

AN "X" CHISELED ON TOP OF CONCRETE CURB LOCATED AS SHOWN ON PLANS ELEV.=5306.90

SURVEY INFO.

TOPOGRAPHIC SURVEY PERFORMED BY CHAVEZ-GRIEVES CONSULTING ENGINEERS, INC. ALBUQUERQUE, NEW MEXICO APRIL 1998.

KEYED NOTES

- EXISTING ASPHALT TO BE REMOVED AND REPLACED PER DETAIL THIS SHEET. CONCRETE CURB TO REMAIN. PARKING LOT STRIPING TO BE REPLACED AS FOUND PRIOR TO DEMOLITION.
- EXISTING CONCRETE WHEEL STOPS TO BE REMOVED PRIOR TO ASPHALT DEMOLITION. CONTRACTOR TO REPLACE CONCRETE WHEEL STOPS AT PRE-DEMOLITION LOCATIONS USING NEW ANCHORS.
- CONTRACTOR TO SAW CUT EXISTING ASPHALT. JACK-HAMMERING WILL NOT BE ACCEPTED.

NOTES:

- ASPHALTIC CONCRETE PAVING SHALL BE IN ACCORDANCE WITH THE NEW MEXICO STATE HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION, SECTION 401.
- PREPARED SUBGRADE SHALL BE COMPACTED TO ASTM D-1557 95% DENSITY.

LIGHT TRAFFIC PAVING SECTION

NTS

VICINITY MAP

H-19-Z

LEGEND

BUILDING	
ASPHALT	
CONCRETE SIDEWALK	
HEADER CURB	
CURB AND GUTTER	
WOOD FENCE	
LIGHT POLE	
CONTOURS	
TREES	
POWER POLE	
SIGN	
ROOF DRAIN (TO BE VERIFIED)	
WATER METER	
DOUBLE CLEAN-OUT	
BUSHES	
BOLLARDS	
PROPOSED CONTOUR	
BASIN BOUNDARY	
COORDINATE	
CONSTRUCTION BASELINE	
LIMITS PAVING REMOVAL & REPLACE	

ABBREVIATIONS

CONC	CONCRETE
TG	TOP OF GRATE
BLDG	BUILDING
TC	TOP OF CURB
INV	INVERT
FL	FLOWLINE
S/W	SIDEWALK
TOC	TOP OF CONCRETE

REV	DATE	DESCRIPTION	DRAWN	APPRO'D
5630 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109 PHONE (505) 344-4080 • FAX (505) 343-8758				
CHILI'S PARKING LOT				
ALBUQUERQUE, NEW MEXICO				
DEMOLITION AND PAVING PLAN				
DESIGNED BY:	JA	SCALE:	1"=20'	C-2
DRAWN BY:	CH	JOB NUMBER:	U08-118-0098	
REVIEWED BY:	JM	DATE:	05-15-98	

CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCE MADE TO COA STD DWGS. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS AS AMENDED THROUGH UPDATE #6.

REFERENCE MADE TO APWA REFERS TO AMERICAN PUBLIC WORKS ASSOCIATION.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE DESIGN. SUCH CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR WOULD LIKE TO REMOVE FENCING TO FACILITATE CONSTRUCTION OPERATIONS, THIS MAY BE DONE WITH THE OWNER'S PERMISSION, AND THE CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION PRIOR TO THE CLOSE OF THE PROJECT. CONTRACTOR IS RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS REPLACED.

DIMENSIONS

ALL DIMENSIONS IN PARKING AREAS AND DRIVES ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO CENTERLINE OF RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN FEET/FOOT UNLESS OTHERWISE NOTED.

ELEVATIONS SHOWN FOR CURB AND GUTTER ARE FLOWLINE ELEVATIONS UNLESS OTHERWISE NOTED. SEE DETAIL SHEET FOR CURB HEIGHT ABOVE FLOWLINE.

SOILS

UNLESS OTHERWISE SPECIFIED SUBGRADE SOILS AND STRUCTURAL FILL MATERIALS SHALL BE COMPACTED TO THE FOLLOWING PERCENTAGES OF THE ASTM D 1557 MAXIMUM DENSITY.

MATERIAL	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95
SUBBASE FOR SLAB SUPPORT	95
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROAD PAVEMENT	95
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90
ROAD PAVEMENT SUBGRADE	95
SIDEWALK SUBGRADE	90
CURB AND GUTTER SUBGRADE	95

PAVING

WHEN ABUTTING NEW PAVEMENT TO EXISTING, CUT BACK EXISTING PAVEMENT TO A NEAT, STRAIGHT LINE AS REQUIRED TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVING TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TV & SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE MANNER ONLY, AND SUCH LINES MAY EXIST WHERE NONE ARE SHOWN. IF ANY SUCH EXISTING LINES ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED TO THE ENGINEER BY OTHERS, AND THE INFORMATION MAY BE INCOMPLETE, OR MAY BE OBSOLETE BY THE TIME CONSTRUCTION COMMENCES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1 THROUGH 14-8, NMSA 1978.

THE EXISTING UTILITIES DEPICTED ON THESE PLANS WERE DERIVED FROM INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF PERTINENT UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY. CONTRACTOR IS TO EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ANY POTENTIAL DISRUPTIONS IN UTILITY SERVICE WITH THE UTILITY COMPANIES AFFECTED AT LEAST 24 HOURS PRIOR TO THE DISRUPTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL PREPARE AND OBTAIN ANY NECESSARY DUST OR EROSION CONTROL PERMITS FROM REGULATORY AGENCIES.

THE CONTRACTOR SHALL SECURE A "TOP SOIL DISTURBANCE PERMIT" FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO OTHER PROPERTY BY CONSTRUCTING TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO KEEP IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION AND DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE THEREFOR. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE REVEGETATED WITH RECLAMATION SEEDING.

SEEDING OF DISTURBED AREAS SHALL BE DONE IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATION #1012, "NATIVE GRASS SEEDING".

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING TO AN APPROVED LANDFILL IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC. SHALL BE APPROPRIATELY DISPOSED OF OFF-SITE AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN-UP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDES GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO ENVIRONMENT DEPARTMENT EMERGENCY RESPONSE AT 1-505-822-1558 OR 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE AIR POLLUTION CONTROL REGULATIONS OF THE ALBUQUERQUE/BERNALILLO COUNTY AIR QUALITY CONTROL BOARD (505-768-2638) LIMIT THE EMISSION OF PARTICULATES AND THE USE OF CUTBACK ASPHALT. THE CONTRACTOR SHALL APPRISE HIMSELF OF THESE REGULATIONS PRIOR TO BIDDING AND PERFORMING THE WORK.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATIONS.

PROJECT DESCRIPTION - RUN-OFF CALCULATIONS

THE PROPOSED IMPROVEMENTS TO THE CHILI'S PARKING LOT CONSIST OF REPLACING EXISTING ASPHALT PAVING ON THE NORTH SIDE OF THE BUILDING. THE NEW PAVEMENT WILL REPLACE EXISTING PAVEMENT WHICH WAS DAMAGED BY A RECENT WATERLINE BREAK. THE EXISTING ASPHALT WAS WASHED OUT AND THE SUBGRADE IN THE VICINITY HAS BECOME UNSTABLE, CAUSING FURTHER DAMAGE TO THE PAVEMENT. THE NEW PAVEMENT WILL BE PLACED ON EXISTING GRADES LEAVING THE DRAINAGE PATTERN OF THE SITE UNCHANGED. RUNOFF FROM BASIN-A, WHICH IS THE ONSITE BASIN INCLUDING THE PROPOSED AREA OF NEW PAVING, FLOWS SOUTH TO AN EXISTING DROP INLET ALONG MENAUL BOULEVARD. CALCULATIONS FOR BASIN-A HAVE BEEN PROVIDED. THE PEAK RUNOFF FROM THE BASIN DOES NOT CHANGE AS A RESULT OF THE NEW PAVING.

AS SHOWN BY PANEL 352 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS FOR THE CITY OF ALBUQUERQUE, NEW MEXICO DATED SEPTEMBER 20, 1986, THIS SITE DOES NOT LIE WITHIN A DESIGNATED FLOOD HAZARD ZONE.

THIS PROCEDURE IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, VOLUME 2, SECTION 22.2, "HYDROLOGY", PEAK DISCHARGE RATE FOR SMALL WATERSHEDS LESS THAN FORTY ACRES IN SIZE.

PRECIPITATION ZONE FROM FIGURE A-1: 3
LAND TREATMENT DESCRIPTIONS ARE IN TABLE A-4.

1. RUNOFF RATE COMPUTATION

USE EQUATION A-10: $QP = QPA\ AA + QPB\ AB + QPC\ AC + QPD\ AD$

VALUES OF QP ARE FROM TABLE A-9, AND ARE IN CFS/ACRE. AREA VALUES ARE IN ACRES.

BASIN	QPA	AA	QPB	AB	QPC	AC	QPD	AD	QP
EXISTING RATE OF RUNOFF (CFS)									
BASIN A	1.87	0.00	2.60	0.03	3.45	0.00	5.02	0.96	4.90 CFS
DEVELOPED RATE OF RUNOFF (CFS)									
BASIN A	1.87	0.00	2.60	0.03	3.45	0.00	5.02	0.96	4.90 CFS

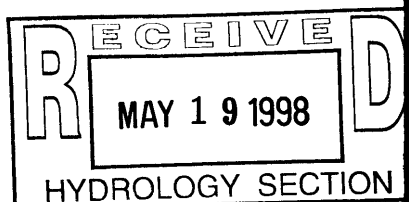
2. RUNOFF VOLUME COMPUTATION

USE EQUATION A-5 TO COMPUTE WEIGHTED EXCESS PRECIPITATION:
 $WEIGHTED\ E = "E" = (EA\ AA + EB\ AB + EC\ AC + ED\ AD) / (AA + AB + AC + AD)$
 $(AA + AB + AC + AD) = \Sigma A$

USE EQUATION A-6 TO COMPUTE THE VOLUME:
 $V360 = "E" \times (AA + AB + AC + AD) \times 3630\ FEET^3/ACRE-INCH$

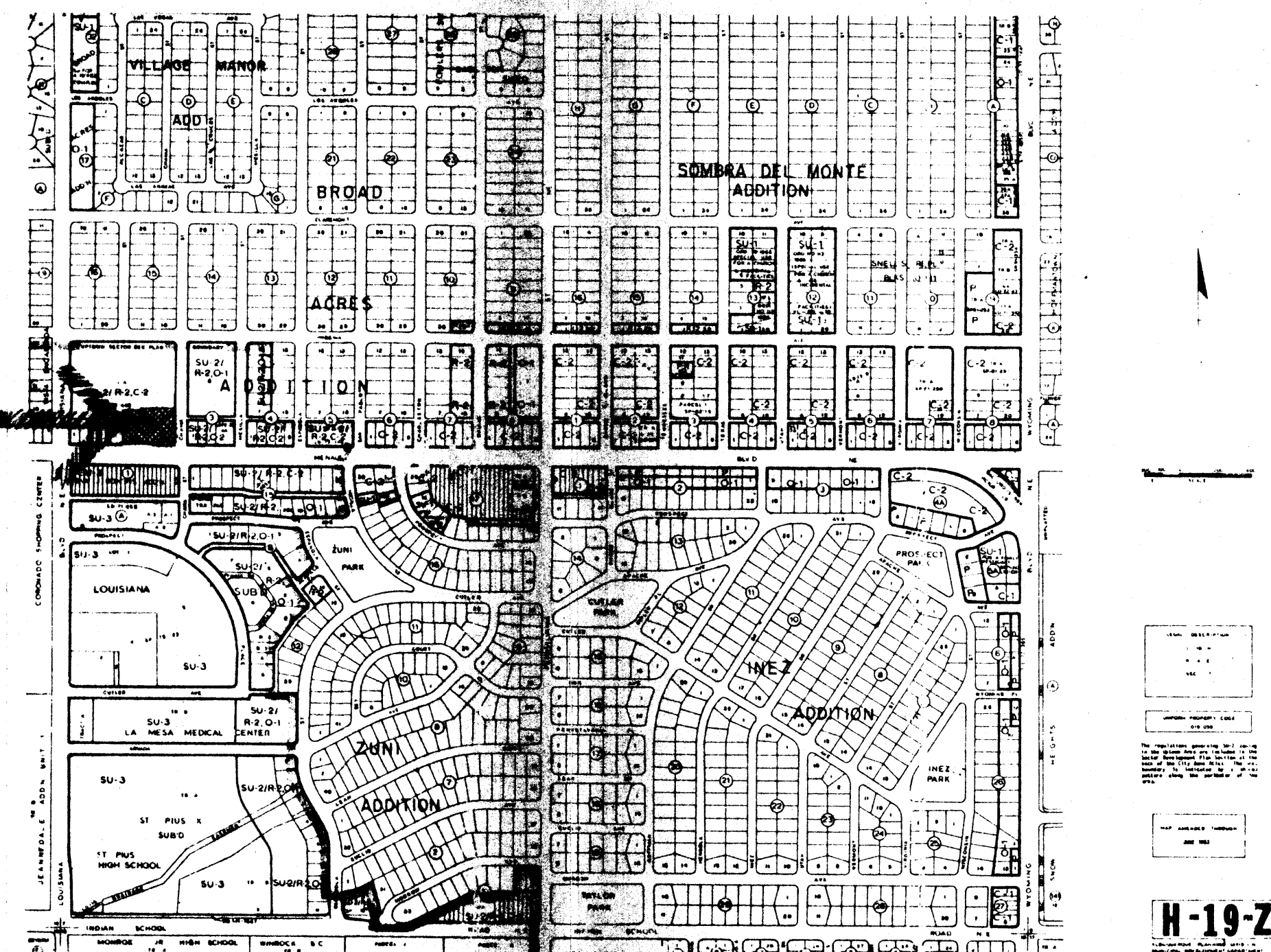
VALUES OF "E" ARE FROM TABLE A-8, AND ARE IN INCHES. AREA VALUES ARE IN ACRES.

BASIN	EA	AA	EB	AB	EC	AC	ED	AD	ΣA	"E"	V360
EXISTING VOLUME OF RUNOFF (CUBIC FEET)											
BASIN A	0.66	0.000	0.92	0.030	1.29	0.000	2.36	0.960	0.990	2.32	8337 CU-FT
DEVELOPED VOLUME OF RUNOFF (CUBIC FEET)											
BASIN A	0.66	0.000	0.92	0.030	1.29	0.000	2.36	0.960	0.990	2.32	8337 CU-FT



REV.	DATE	DESCRIPTION	DRAWN	APPROVED
<div>CHAVEZ • GRIEVES CONSULTING ENGINEERS, INC. 5430 JEFFERSON STREET N.E. • ALBUQUERQUE, NEW MEXICO 87109 PHONE (505) 344-4080 • FAX (505) 343-8790</div>				
CHILI'S PARKING LOT				
ALBUQUERQUE, NEW MEXICO				
CIVIL NOTES, PROJECT DESCRIPTION AND HYDROLOGIC CALCULATIONS				
DESIGNED BY:	BP	SCALE:	N/A	
DRAWN BY:	CP	JOB NUMBER:	UQ96-118-0000	
REVIEWED BY:	JM	DATE:	5-18-98	
			C-1	of

SITE
6909
MENAU
N. E.



SITE LOCATION MAP

ADDITIONS & REMODELING CHIL'S RESTAURANT AND RETAIL CENTER

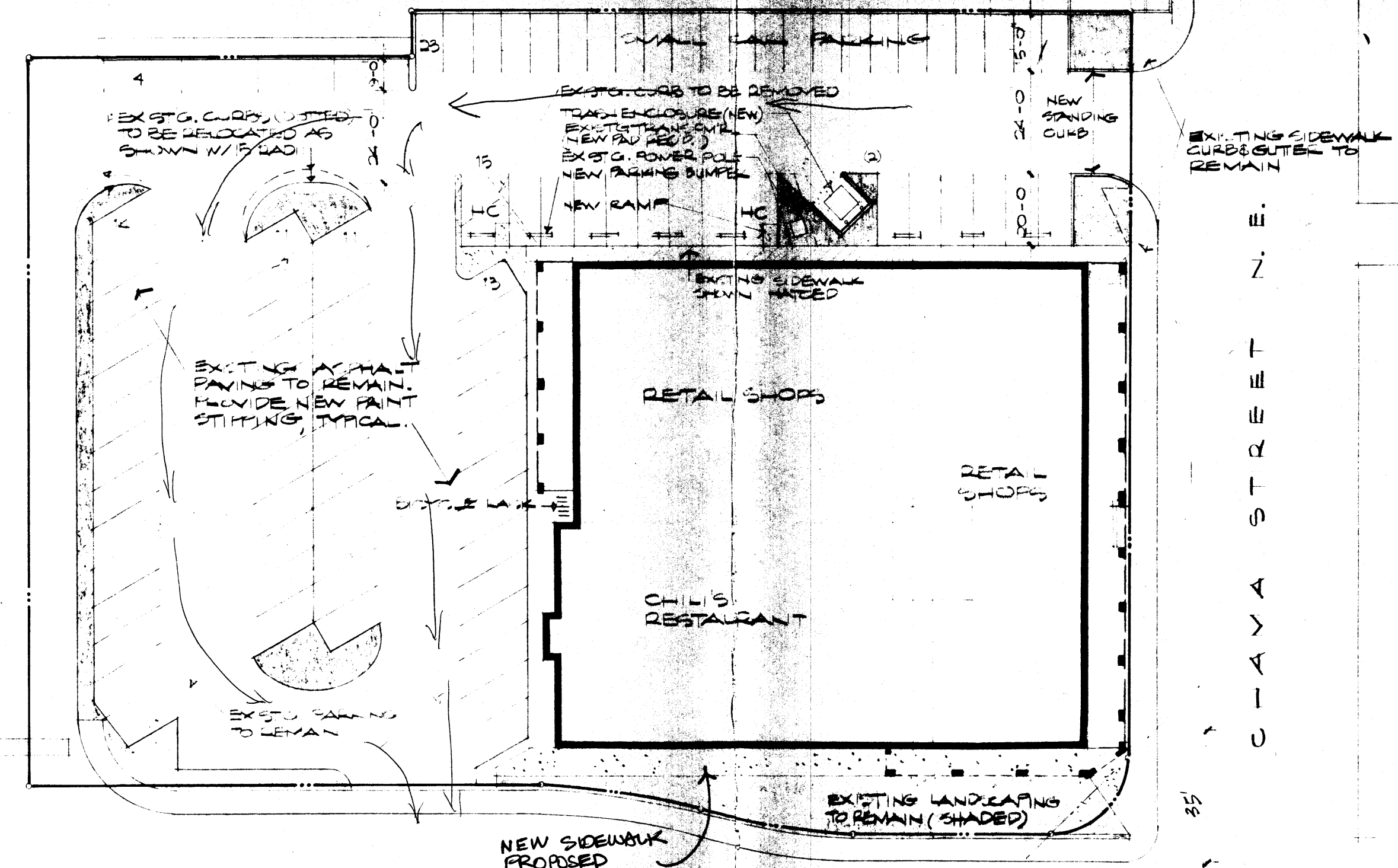
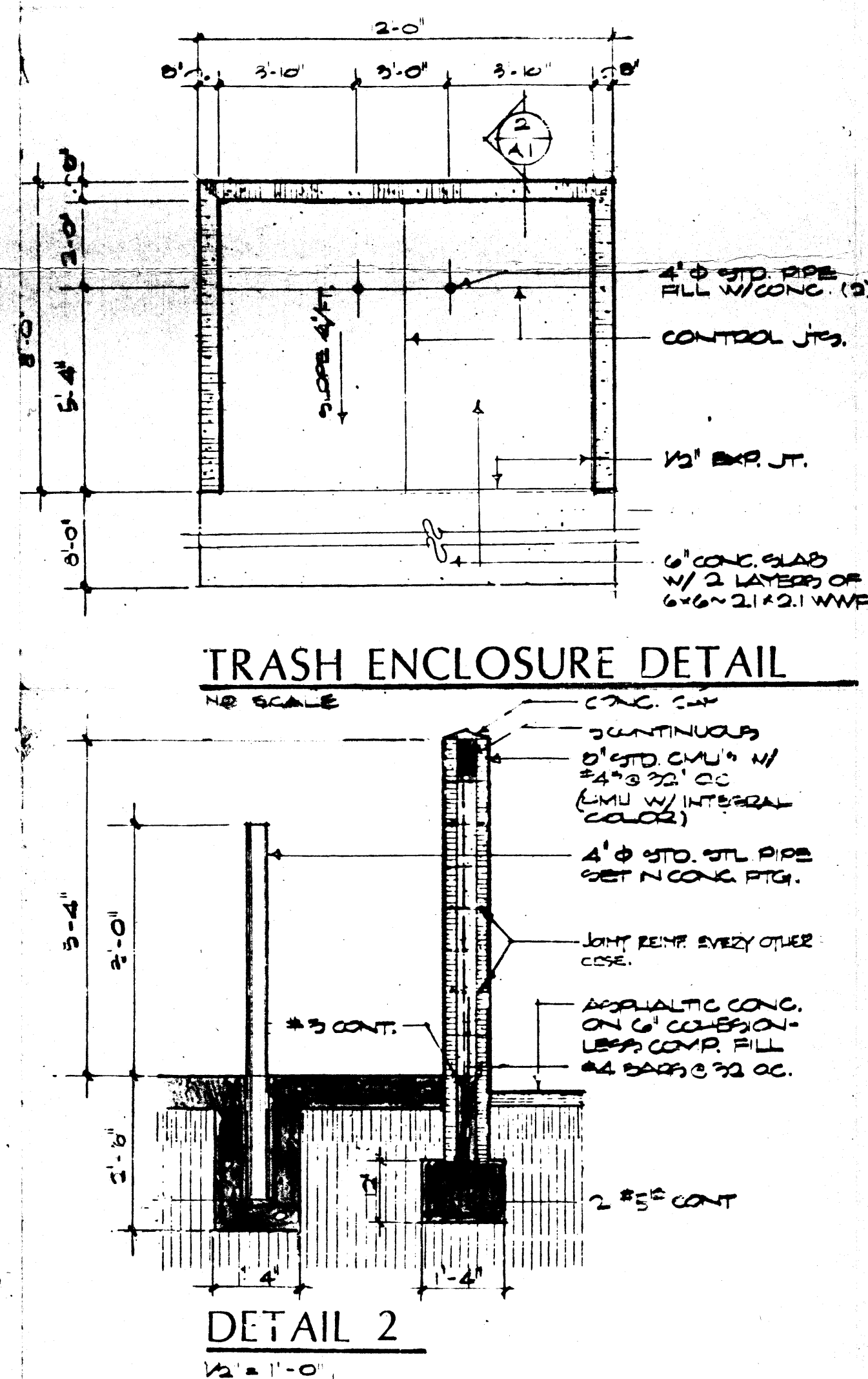
INDEX TO DRAWINGS :

- | | | | |
|-----|--|-----|---------------------------------|
| A-1 | COVER SHEET / SITE PLAN & INFORMATION | V-1 | HVAC & PLUMBING PLANS |
| A-2 | ARCHITECTURAL FLOOR PLAN | V-2 | SCHEDULES, SCHEMATICS & DETAILS |
| A-3 | EXTERIOR ELEVATIONS & DETAILS | | |
| A-4 | WALL SECTIONS & DETAILS | E-1 | POWER & SPECIAL SYSTEMS PLAN |
| A-5 | WALL SECTIONS & DETAILS | E-2 | LIGHTING PLAN |
| A-6 | MISCELLANEOUS DETAILS | E-3 | SCHEDULES & SYMBOL LEGEND |
| A-7 | DOOR & WINDOW SCHEDULES & DETAILS | | |
| S-1 | STRUCTURAL DESIGN CRITERIA & GENERAL NOTES | | |
| S-2 | FOUNDATION PLAN | | |
| S-3 | ROOFING DETAIL | | |
| S-4 | DOOR FRAME DETAIL | | |
| S-5 | FRAMING SECTIONS | | |
| S-6 | FRAMING SECTIONS | | |

BUILDING DATA:

SITE DATA:
LEGAL DESCRIPTION:
PARCEL 2, Bk 2, BROADWAKES SUBDIVISION, ALBUQUERQUE
ADDRESS:
6909 MENAU BLVD.
PREVIOUS USE:
DAN'S BOOTS & SADDLES - RETAIL CLOTHING SALES
TOTAL BUILDING AREA
RETAIL SALES LEASABLE 11250 SF
EXIT CORRIDORS, BATHROOMS 1200 SF
CHIL'S RESTAURANT 5400 SF
17850 SF
PARKING REQUIREMENTS:
RETAIL SALE 11250 ÷ 100 = 56
RESTAURANT 120 ÷ 4 = 45
101
LESS TRANSIT REDUCTION 21
TOTAL RETAIL PARKING 80
TOTAL PARKING PROVIDED 81 SPACES
SMALL CAR SPACES 23
HANDICAPPED SPACE 2
BICYCLE SPACES 60
E-CYCLE SPACES 5
LANDSCAPING (EXISTING TO REMAIN)
PARKING AREA = 31.75' x .07 = 2182'² REQ'D
LANDSCAPING PROVIDED 2750'
ZONING: CU-2 / C-2
BUILDING DATA:
OCCUPANT: B-2 / A-2

2 HOUR AREA
SEPARATION WALL
AREA = 5400'²
SHELL PERMIT ONLY FOR A-2 USE
TENANT DEVELOPMENT DRAWINGS TO BE SUBMITTED
TYPE V-N CONSTRUCTION
ALLOWABLE AREA = 5700'² + 1000'² SEPARATION WALLS = 100% INCREASE



NOTE: NO CHANGES ARE BEING MADE TO
SITE GRADING & PAVING AS APPROVED
& CONSTRUCTED SEPT. 3, 1975

PATRICK MCCLERNON
ARCHITECTS/PLANNERS P.A.
1401 Fifth St. NW Albuquerque, N.M. 87102 242-5219

JOHNSON DEVELOPMENT
3001 Louisiana Blvd. NE Albuquerque, New Mexico

Additions & Remodeling
CHIL'S RESTAURANT
& RETAIL CENTER
6909 Menaul NE Albuquerque, New Mexico

Sheet Title
COVER SHEET
SITE PLAN &
INFORMATION

Date 3/17/80

A1