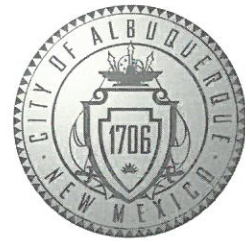


CITY OF ALBUQUERQUE



July 28, 2020

Rick Bennett, RA
RBA Architecture
1104 Park Ave
Albuquerque, NM 87102

Re: Manual Shops
7212 Manual Blvd 87110
60-Day Temporary Certificate of Occupancy
Transportation Development Final Inspection
Engineer's/Architect's Stamp dated 6-3-19 (H19D040)
Certification dated 7-27-20

Dear Mr. Bennett

Based upon the information provided in your submittal received 7-27-20, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- Please cut back the wall as shown on the plan and label No Parking and label Compact stall.


Once corrections are complete resubmit

1. The approved and stamped TCL with changes drawn in red.
2. Transportation Certification letter on either the plan or applicants letterhead.
3. A Drainage Transportation Information Sheet (DTIS)
4. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
5. The \$75 re-submittal fee.

for log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3981.

Sincerely,


Ernie Gomez,
Plan Checker, Planning Dept.
Development Review Services
EG via: email
C: CO Clerk, File



July 27, 2020

Shahab Biazar
City Engineer

Re: 7212 MENAUL Blvd NE
Alley

Dear Shahab,

Thank you for working with us on the south alley at 7212 Menaul.

We will cut the wall back and eliminate one parking space and convert one regular space into a small car space. The clear opening will not be less than 12'-0" from the existing bollards to the new bollard installed to protect the wall. There will be 12'-0" clear at all points north of the power pole (see attached drawing).

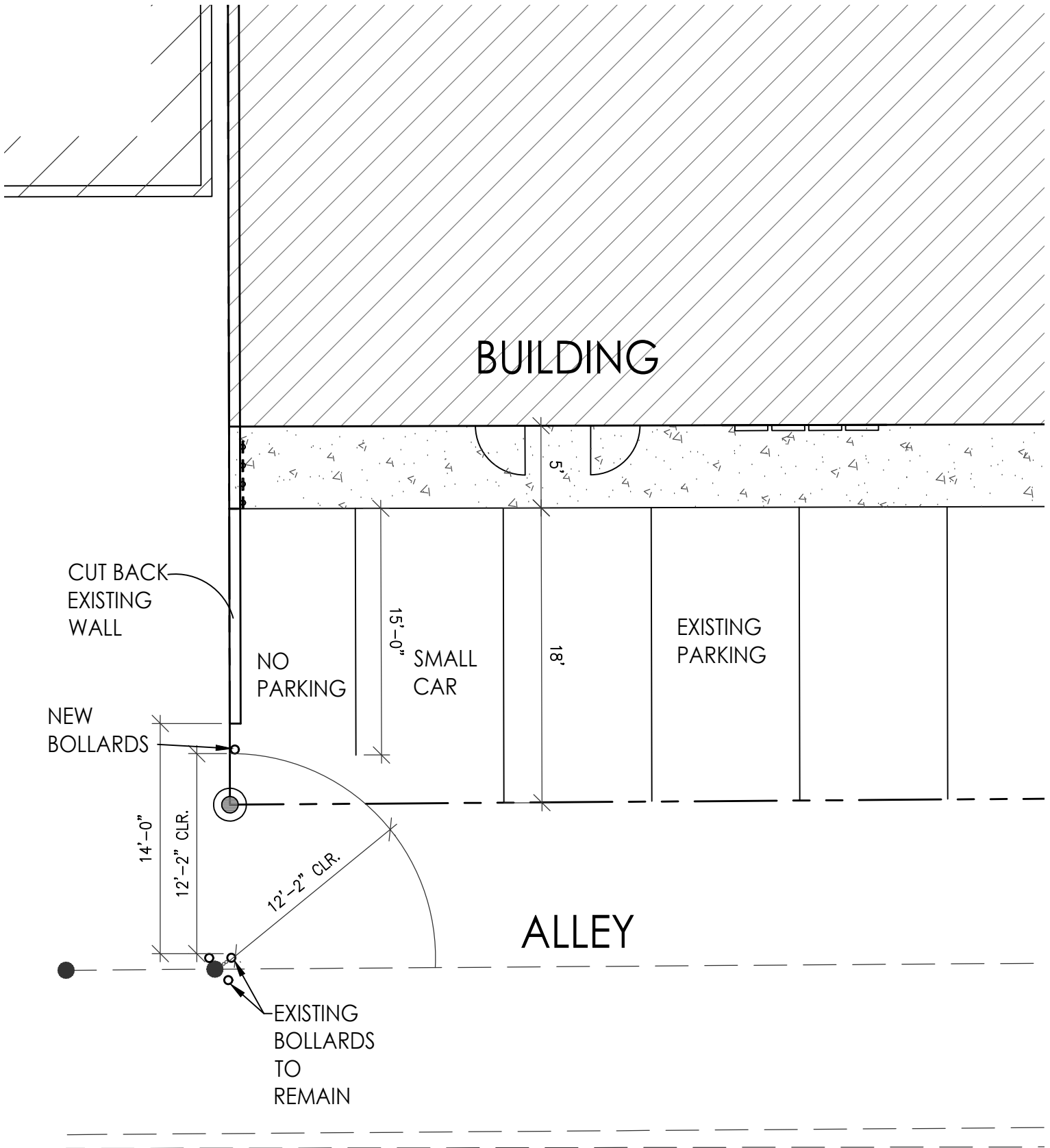
Sincerely,

A handwritten signature in blue ink, appearing to read "Rick Bennett".

Rick Bennett
Architect

A handwritten signature in black ink, appearing to read "Ed Karle".

Owner of Property:



CITY OF ALBUQUERQUE



June 10, 2020

Re: Manual Shops
7212 Manual Blvd
Alb. NM 87110
BP-2019-34287
Engineer's/Architect's stamp dated: 06-02-2019 (H19D040)

TRAFFIC CERTIFICATION

I, **Rick Bennett**, NMRA #1240, of the firm of RBA Architecture, PC hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation layout, approved TCL Site Plan Dated 6/2/2019 and with the Architect's stamp dated 6/2/2019.

I, **Rick Bennett**, certify that I have personally visited the project site on June 10, 2020 and have determined by visual inspection that the survey data provided is representative of the actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Certificate of Occupancy (permanent) for Manual Shops in Albuquerque, New Mexico.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

PO Box 1293

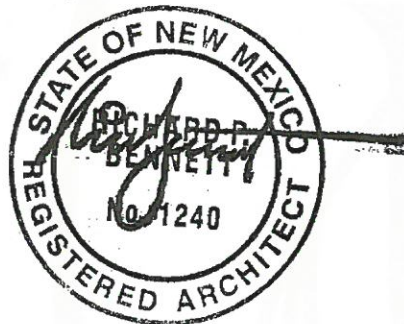
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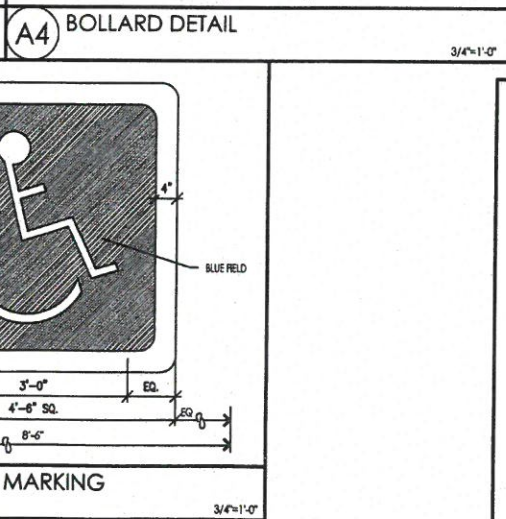
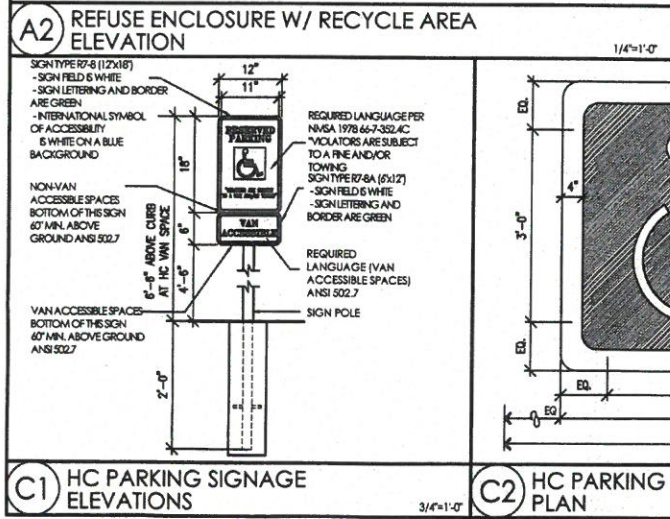
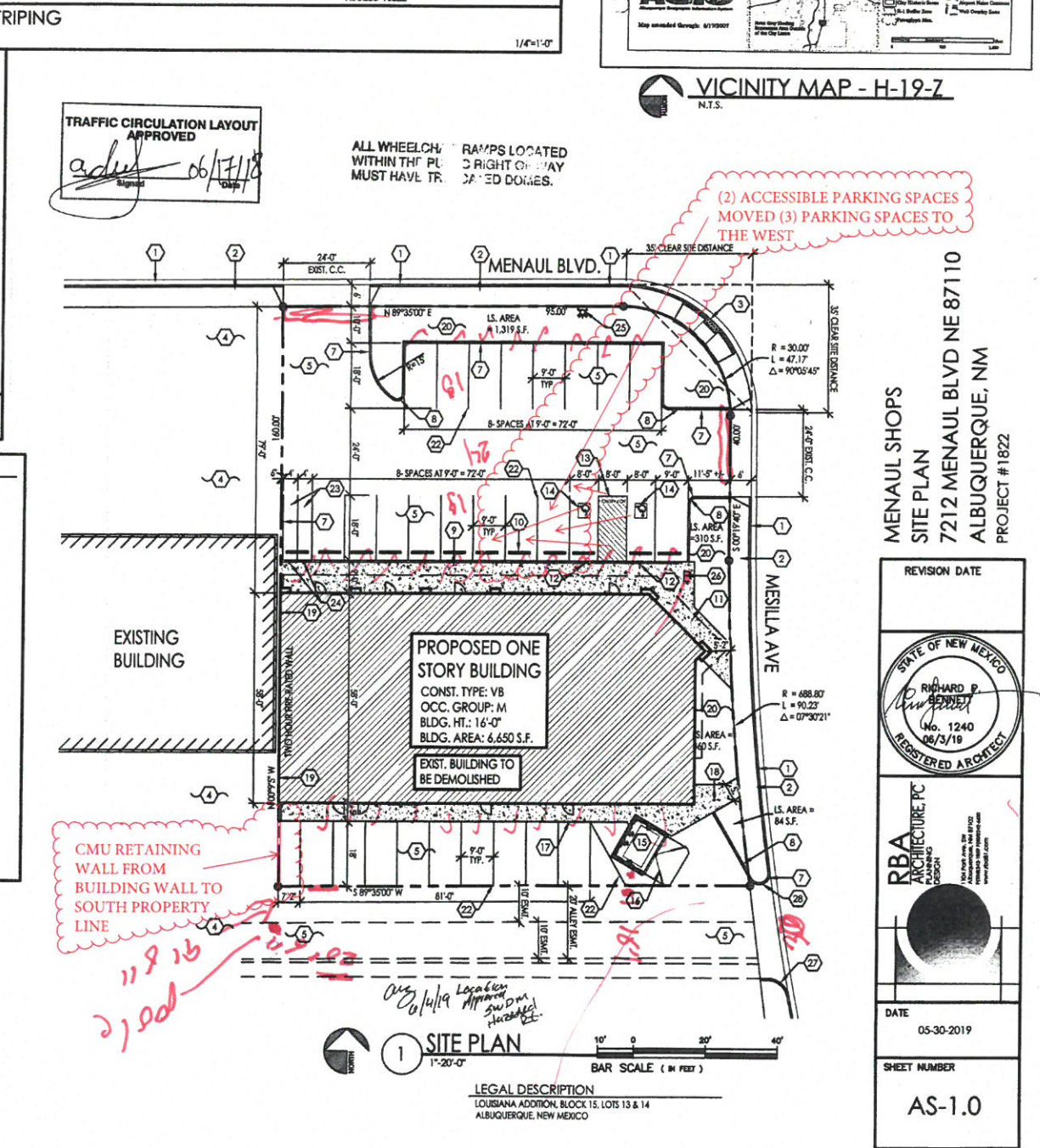
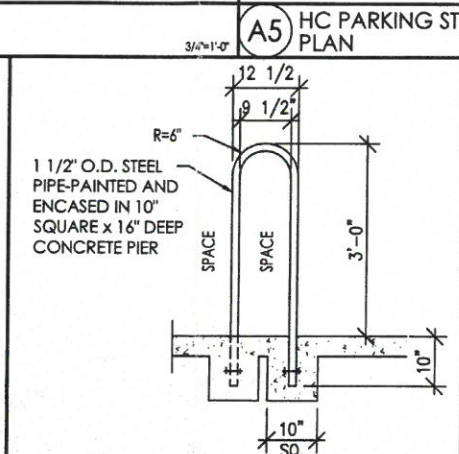
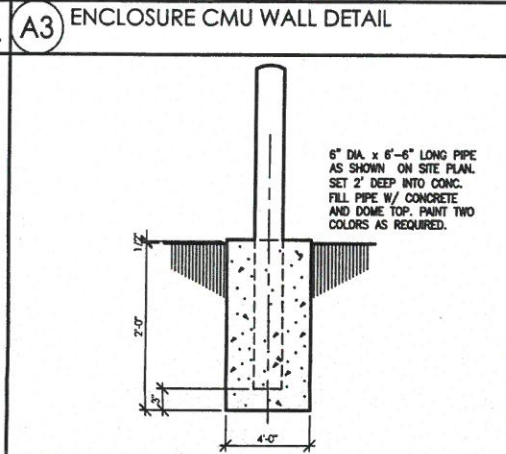
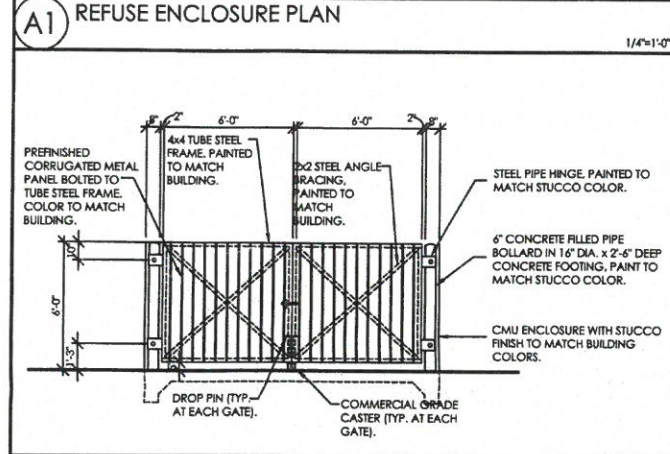
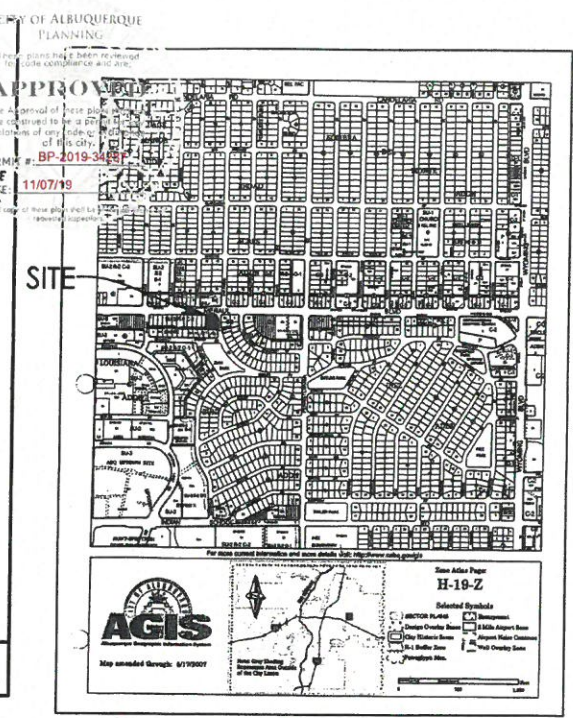
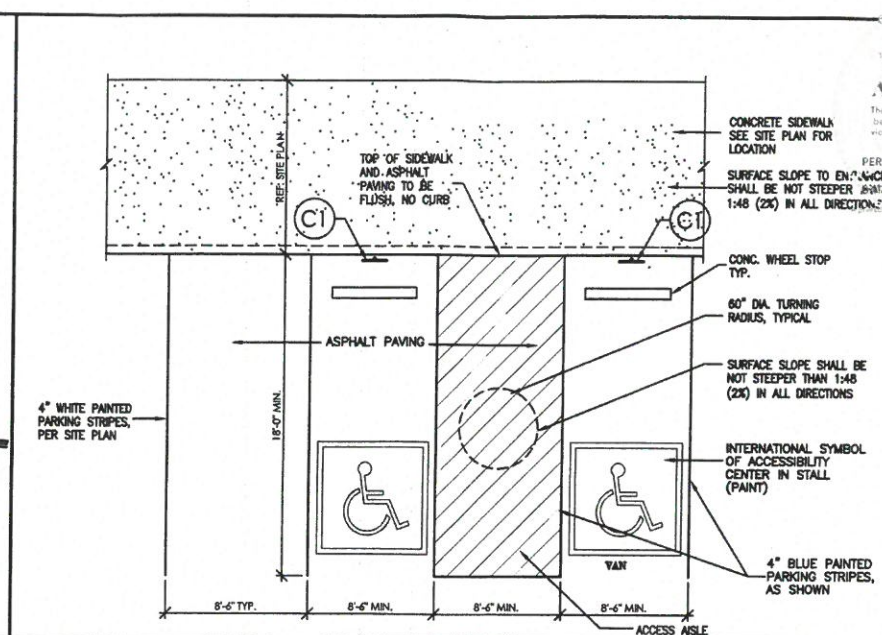
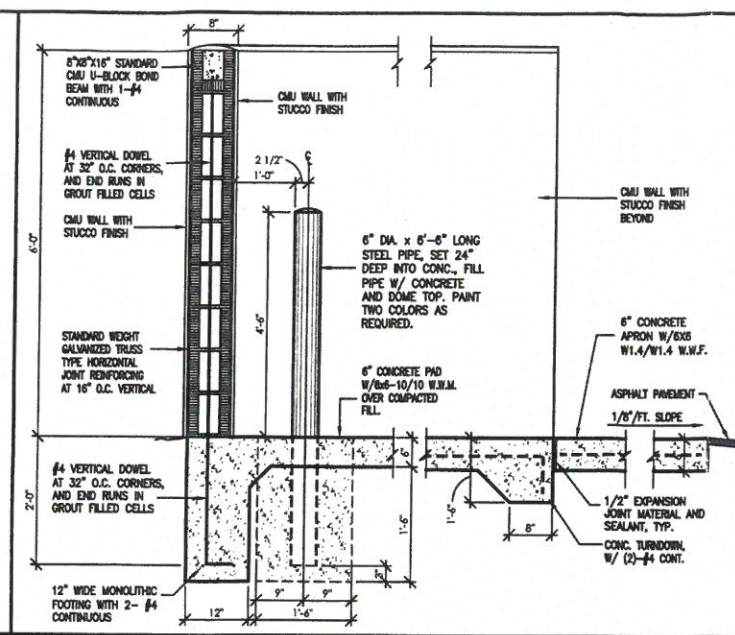
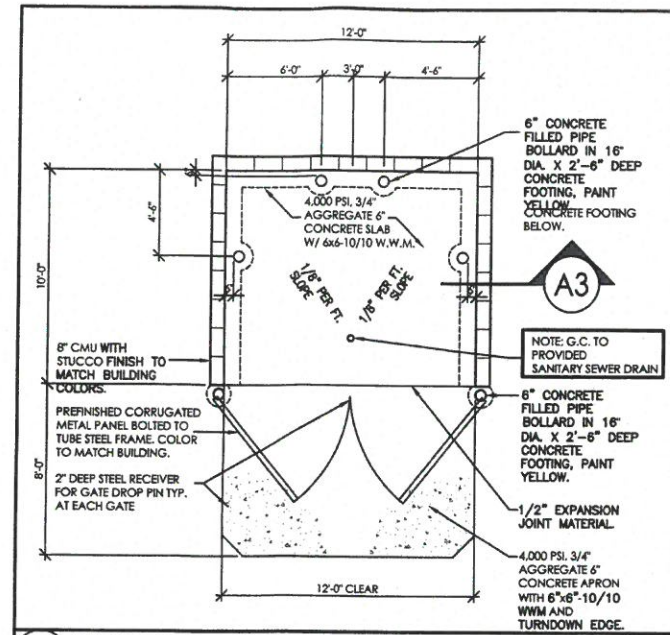
Albuquerque

Rick Bennett Architect

NM 87103

www.cabq.gov





- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER, NOTE: AT SITE OF NEW WORK ONLY, G.C. TO PATCH AND REPAIR EXIST. CURB AND GUTTER AT DAMAGED AREAS AS REQUIRED.
 - EXISTING CONCRETE SIDEWALK, NOTE: AT SITE OF NEW WORK ONLY, G.C. TO PATCH AND REPAIR EXIST. SIDEWALK AT DAMAGED AREAS AS REQUIRED.
 - EXISTING ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
 - EXISTING ASPHALT PAVING TO REMAIN.
 - REMOVE EXIST. ASPHALT PAVING, PREPARE AREA FOR NEW ASPHALT PAVING.
 - NOT USED.
 - RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
 - 2'-0" CURB RADIUS, TYP.
 - 6" WIDE CONCRETE SIDEWALK WITH CONC. TURNDOWN (NO RAISED CURB).
 - CONC. WHEEL STOP, TYP.
 - PEDESTRIAN ACCESS, CONCRETE SIDEWALK, TYPICAL.
 - ACCESSIBLE PARKING SIGNAGE, PER C.O.P. STANDARDS, REF: DETAIL C1/AS-1.0.
 - ACCESSIBLE STRIPES WITH TWO PARALLEL CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATED SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLE'S TIRE WOULD BE PLACED. (66-1-1.1.8 NMSA 1978).
 - ACCESSIBLE SYMBOL, REF: DETAIL C2/AS-1.0.
 - DUMPSTER ENCLOSURE, REF: A1/AS-1.0.
 - 6" THICK CONCRETE SLAB/APRON, REF: DETAIL A1/AS-1.0.
 - CONCRETE SIDEWALK WITH CONC. TURNDOWN (RAISED CURB), REF: G&D PLAN.
 - CONCRETE SIDEWALK/STREET AT SERVICE DOOR, REF: ARCH PLANS.
 - (2) HOUR FIRE RATED EXTERIOR WALL AT 10' LOT LINE, REF: ARCH PLANS.
 - LANDSCAPING AREA, REF: LANDSCAPE PLAN.
 - GRAVEL GROUND COVER, NO LANDSCAPING.
 - 4" WIDE WHITE PAINTED PARKING STRIPE, TYP., PER C.O.A. STANDARDS.
 - MOTORCYCLE PARKING, 4'W x 18'-0".
 - MOTORCYCLE PARKING SIGNAGE, PER C.O.A. STANDARDS.
 - NEW FIRE HYDRANT LOCATION, REF: UTILITY SITE PLAN.
 - BIKE RACK FOR TWO BICYCLES, REF: DETAIL C1/AS-1.0.
 - 6'-0" CURB RADIUS.
 - 5'-0" CURB RADIUS.

GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 4' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
- PREMS IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH x 1 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.
- ALL PENETRATIONS THROUGH A FIRE-RATED WALL ASSEMBLY TO BE FIRE-STOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, L.L.C. WA848. 44992 OR OTHER APPROVED EQUAL.
- ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.

PARKING REQUIREMENTS PER THE IDO

TABLE 5-5-1 OFF-STREET PARKING REQUIREMENTS
RETAIL SALES: 4 SPACES PER 1,000 S.F. (GFA)
SPACES REQUIRED = 6,650/1,000 S.F. = 7 x 4 PARKING SPACES
SPACES REQUIRED = 26 REGULAR PARKING SPACES
= 2 ACCESSIBLE PARKING SPACE

TOTAL
TOTAL PROVIDED = 29 PARKING SPACES (1 VAN ACCESSIBLE, 1 ACCESSIBLE)

MOTORCYCLE REQUIRED, 26 PER 50 = 2, MOTORCYCLE PROVIDED = 2

BICYCLE PARKING REQUIRED, 10% x 30 = 3 REQUIRED, 3 PROVIDED

LANDSCAPING REQUIREMENTS

TOTAL LOT AREA:	20,007.61 S.F.
TOTAL UNDER ROOF AREA:	6,650 S.F.
NET LOT AREA:	20,007.61 - 6,650 = 13,357.61 S.F.
LANDSCAPING REQUIRED:	13,357 x 15% = 2,004 S.F.
PROPOSED LANDSCAPING:	2,073 S.F. (REF: SITE PLAN)

MENAU SHOPS
SITE PLAN
7212 MENAU BLVD NE 87110
ALBUQUERQUE, NM
PROJECT #1822

REVISION DATE

STATE OF NEW MEXICO
REGISTERED ARCHITECT
RICHARD P. RICHARDSON
No. 1240
06/3/18

DATE
05-30-2019

SHEET NUMBER
AS-1.0