

CITY OF ALBUQUERQUE



June 17, 2019

RBA Architecture Planning Design
Darby Miera
1104 Parks Ave SW
Albuquerque NM

Re: Menaul Shops
7212 Menaul Blvd. NE 87110
Traffic Circulation Layout
Engineer's/Architect's Stamp 06-03-2019 (H19D040)

Dear Mr. Miera,

The TCL submittal received 06-04-2019 is approved for Building Permit with. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

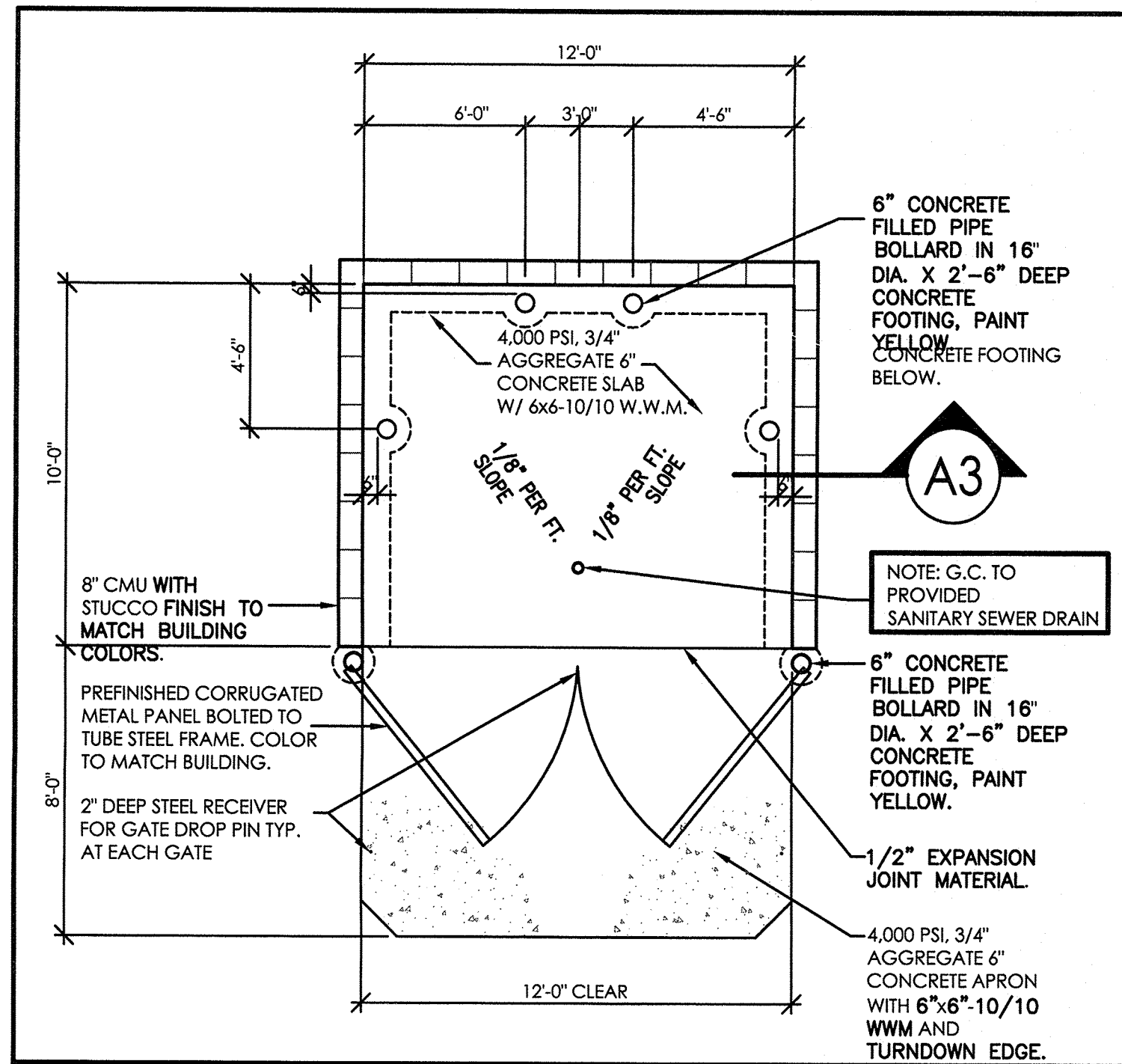
When the site construction is completed and a Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

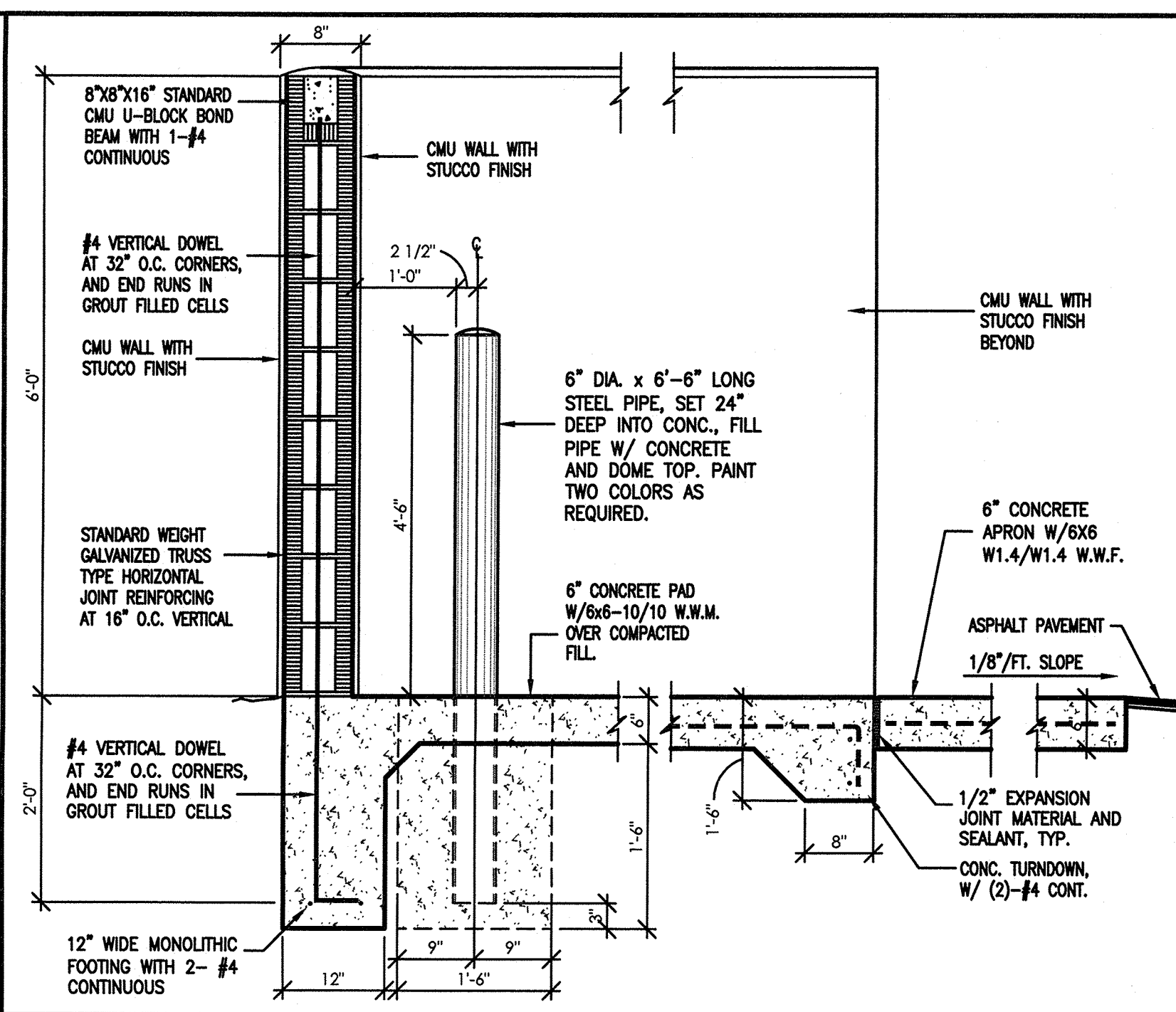
Sincerely,

Mojgan Maadandar, E.I.
Associate Engineer, Planning Dept.
Development Review Services

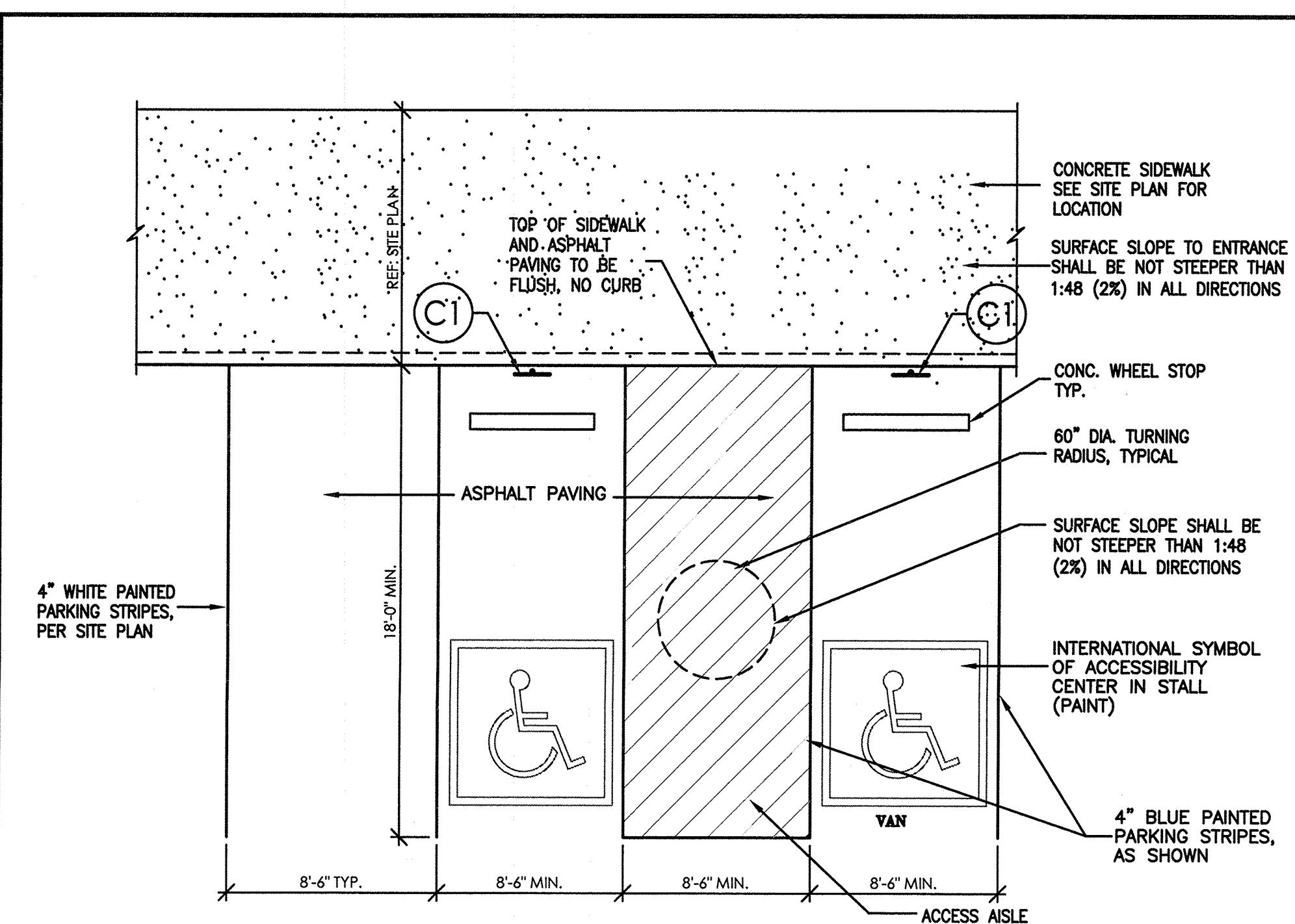
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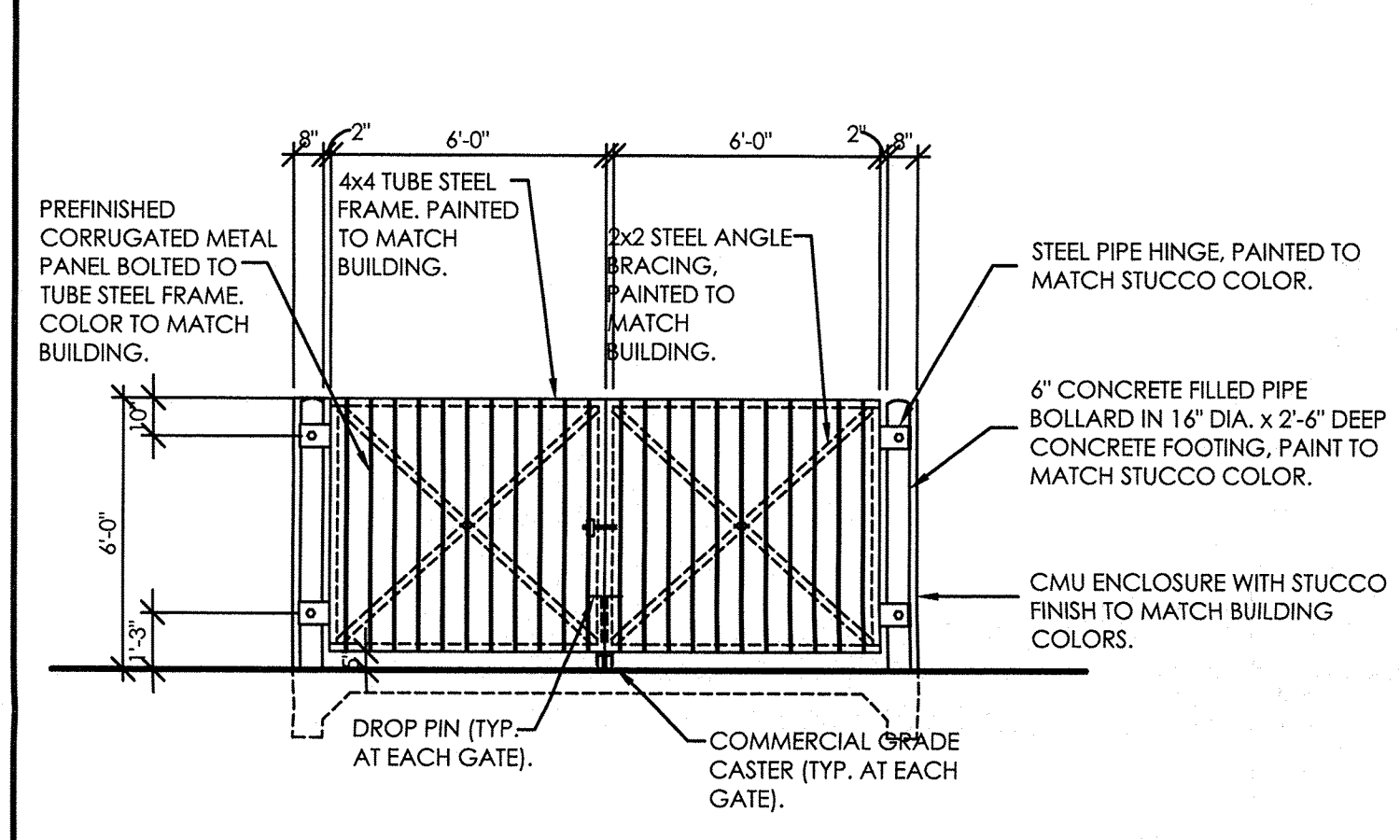
A1 REFUSE ENCLOSURE PLAN
1/4"=1'-0"



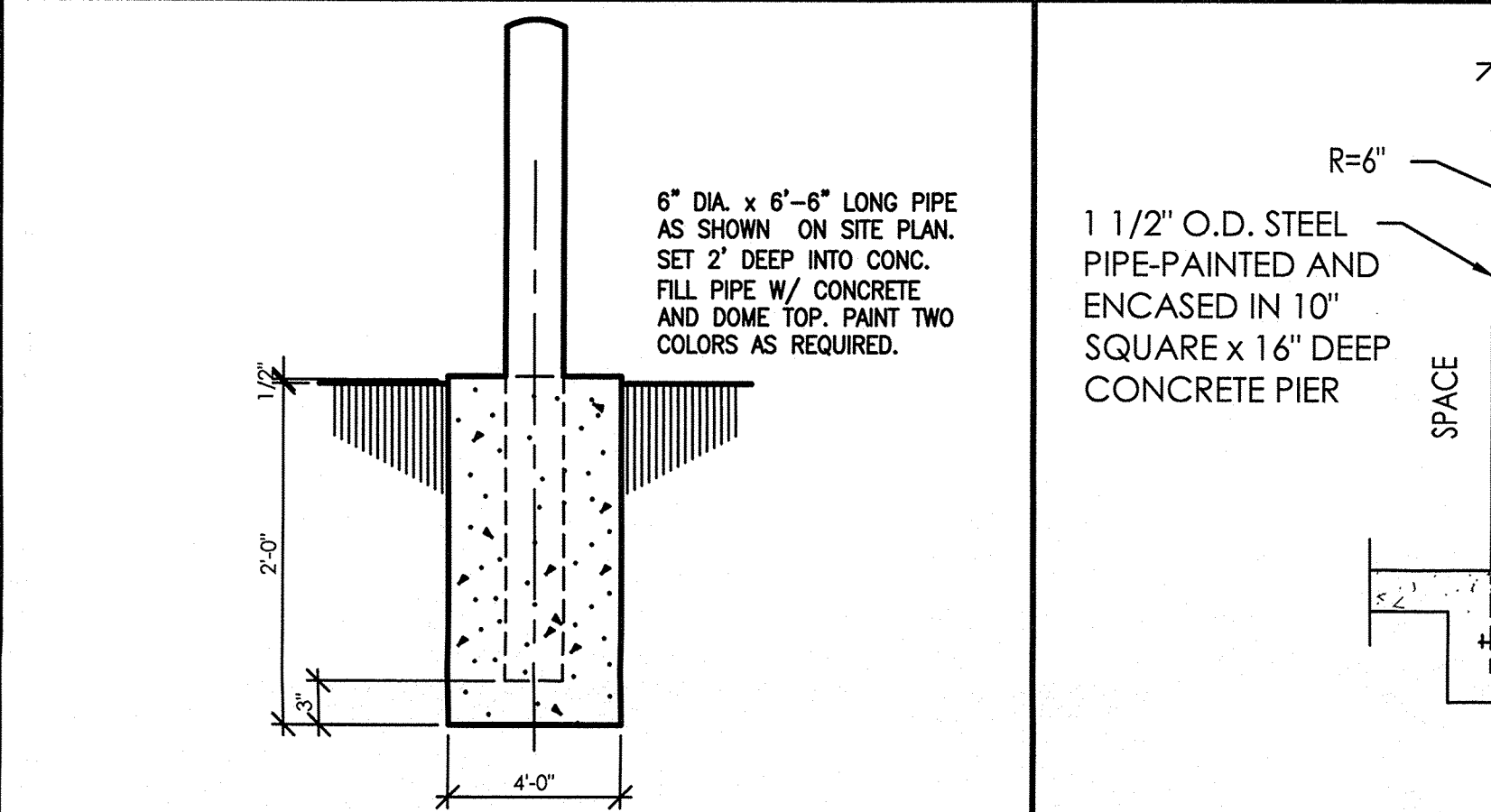
A3 ENCLOSURE CMU WALL DETAIL
3/4"=1'-0"



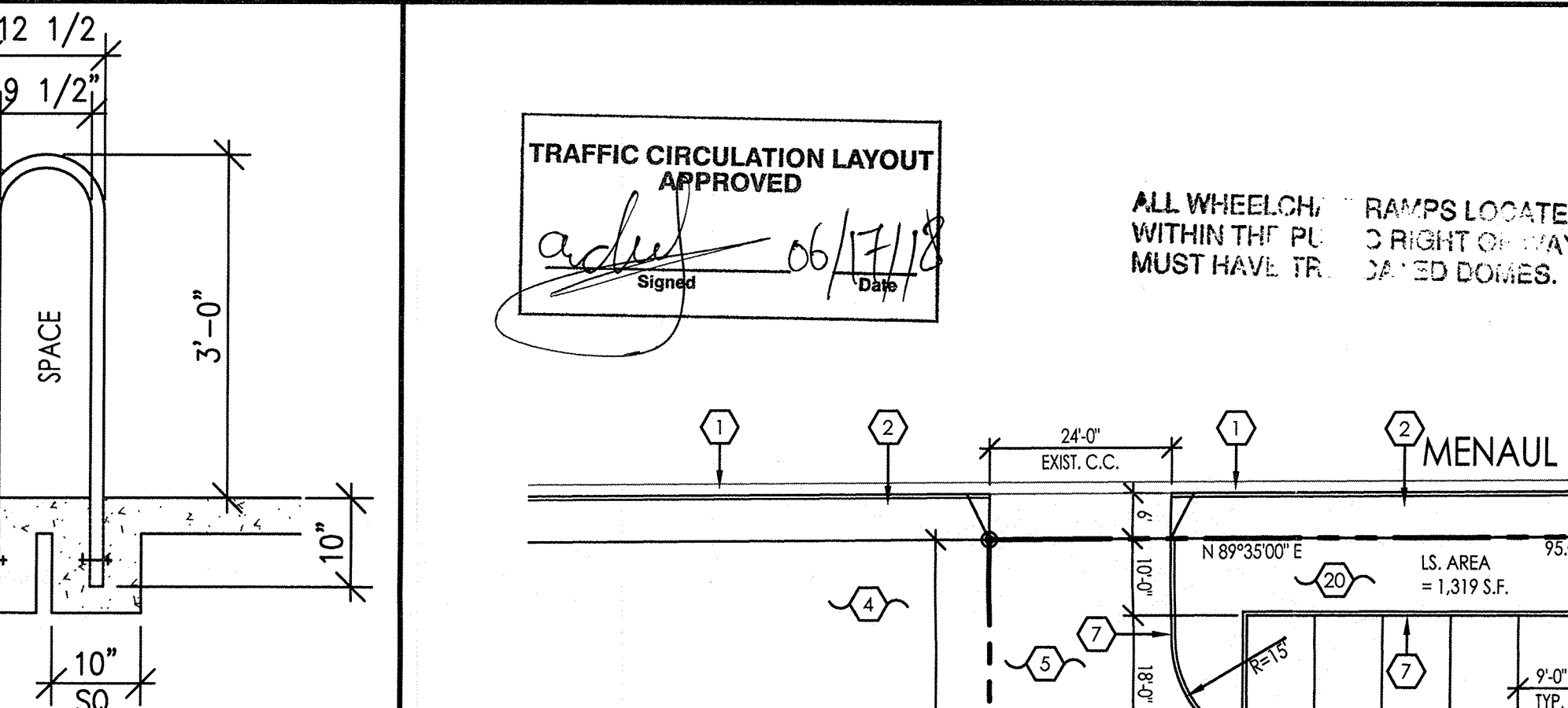
A5 HC PARKING STRIPING PLAN
1/4"=1'-0"



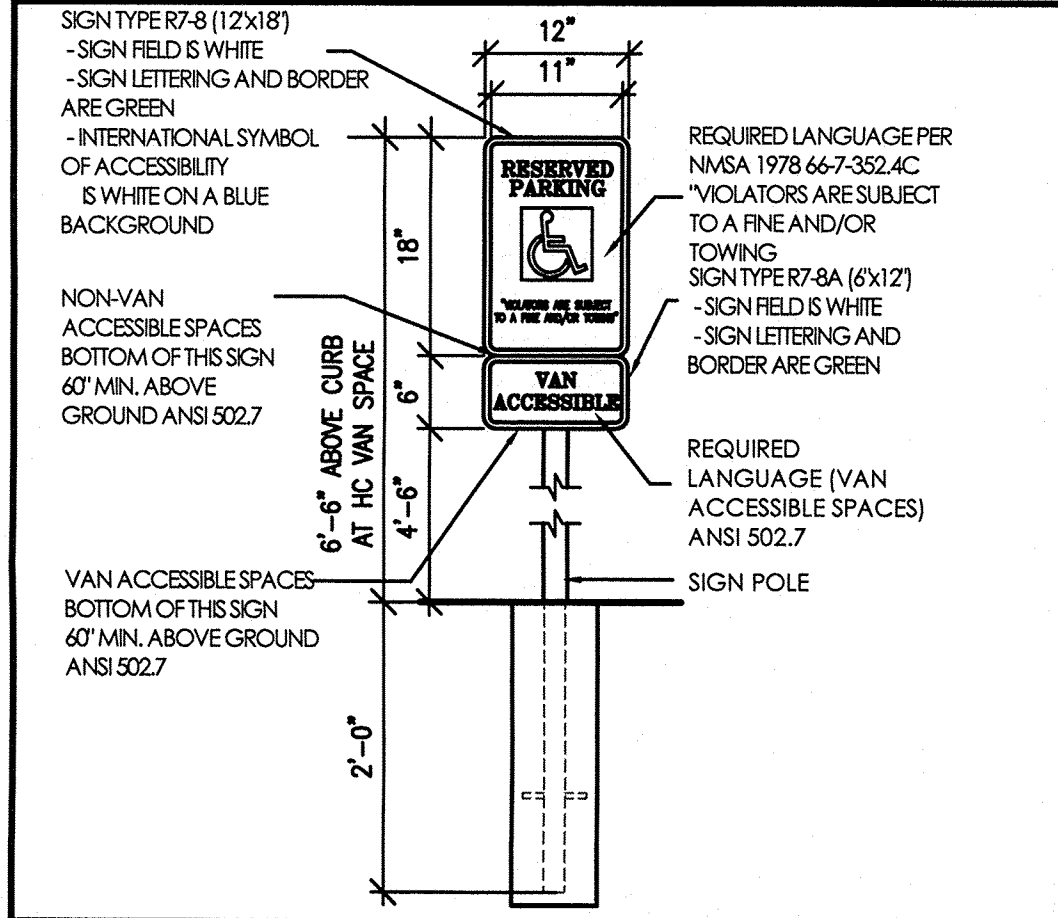
A2 REFUSE ENCLOSURE W/ RECYCLE AREA ELEVATION
1/4"=1'-0"



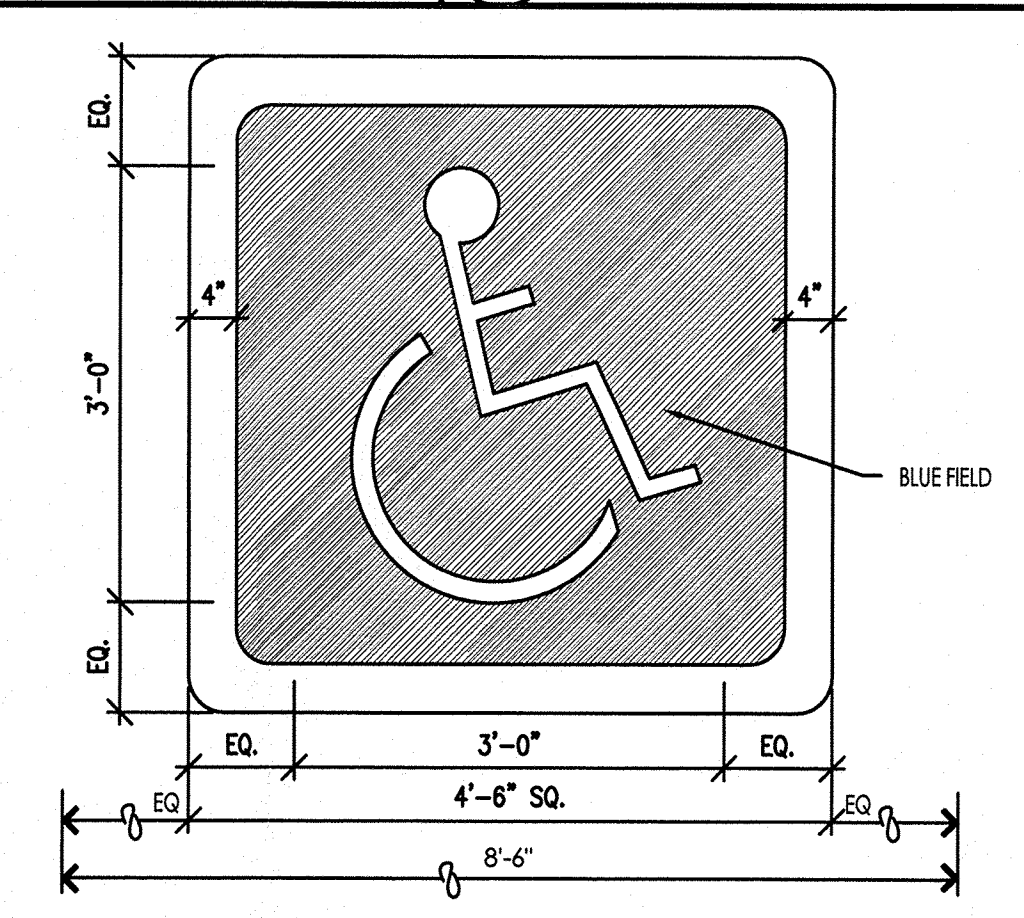
A4 BOLLARD DETAIL
3/4"=1'-0"



C3 BIKE RACK ELEVATION
1/2"=1'-0"



C1 HC PARKING SIGNAGE ELEVATIONS
3/4"=1'-0"



C2 HC PARKING MARKING PLAN
3/4"=1'-0"

- GENERAL NOTES**
- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - PROVIDE EXPANSION JOINTS IN CONCRETE WALK AT 4' O.C. AND WHERE CONCRETE ABUTS THE BUILDING.
 - PREMIS IDENTIFICATION - SHALL BE MINIMUM 12 INCHES HIGH x 1 INCH WIDE AND SHALL CONTRAST WITH THEIR BACKGROUND AND SHALL BE VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
 - G.C. TO PROVIDE FIRE EXTINGUISHERS 2A-10-BC, 1 PER EACH 3,000 S.F., REF: FLOOR PLANS FOR QUANTITY AND LOCATIONS.
 - ALL PENETRATIONS THROUGH A FIRE-RATED WALL ASSEMBLY TO BE FIRE-STOPPED WITH THERMAFIBER AS MANUFACTURED BY THERMAFIBER, LLC, WABASH, 46992 OR OTHER APPROVED EQUAL.
 - ALL EXIT SIGNS AND EMERGENCY LIGHTING SHALL HAVE BATTERY BACK-UP, REF: ELECTRICAL.

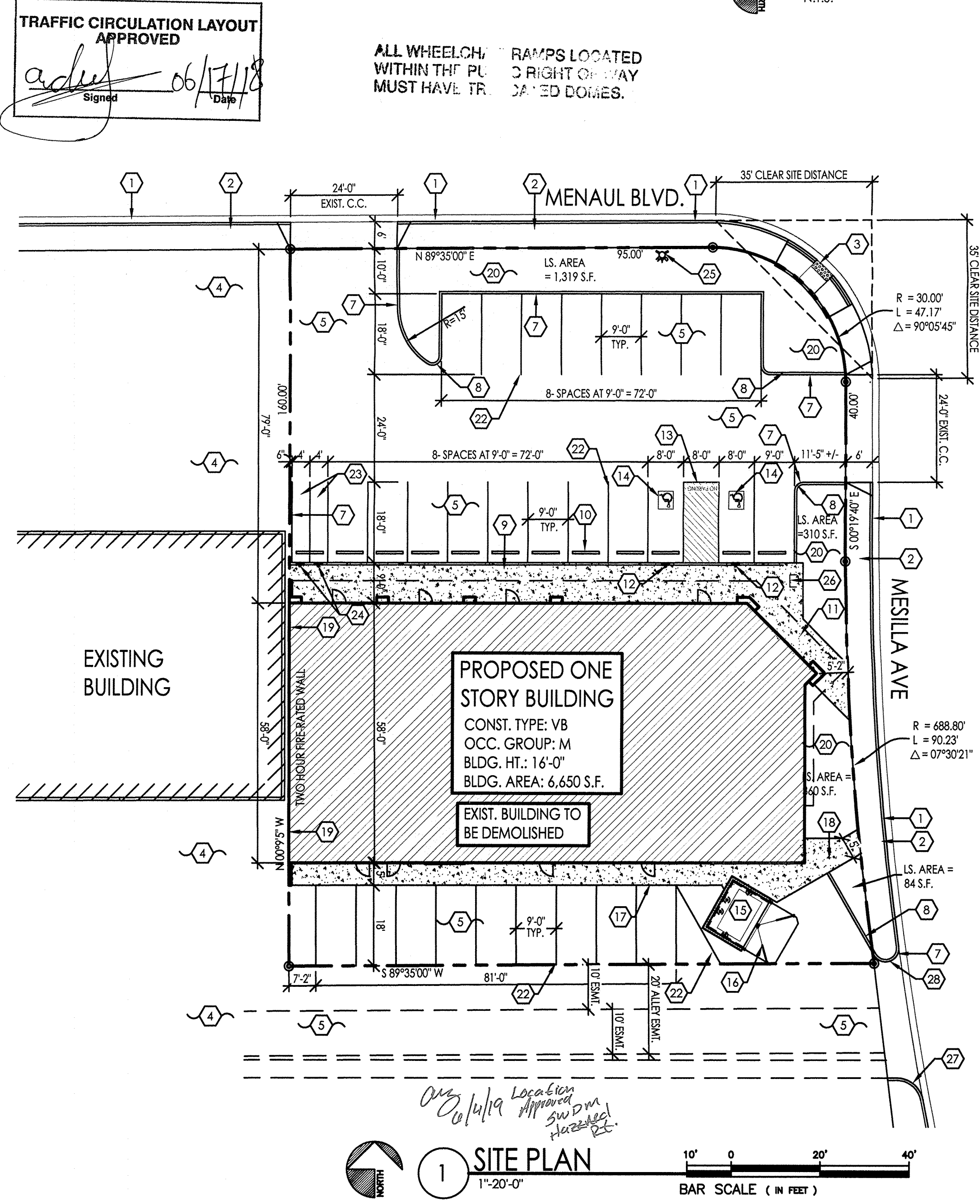
PARKING REQUIREMENTS PER THE IDO

TABLE 5-5-1 OFFSTREET PARKING REQUIREMENTS	
RETAIL SALES: 4 SPACES PER 1,000 S.F. (GFA)	
SPACES REQUIRED = 6,650/1,000 S.F. = 7 x 4 PARKING SPACES	
SPACES REQUIRED = 26 REGULAR PARKING SPACES	
2 ACCESSIBLE PARKING SPACE	
TOTAL = 28 PARKING SPACES	
TOTAL PROVIDED = 29 PARKING SPACES (1 VAN ACCESSIBLE, 1 ACCESSIBLE)	
MOTORCYCLE REQUIRED: 26 PER 50 = 2, MOTORCYCLE PROVIDED = 2	
BICYCLE PARKING REQUIRED: 10% x 30 = 3 REQUIRED, 3 PROVIDED	

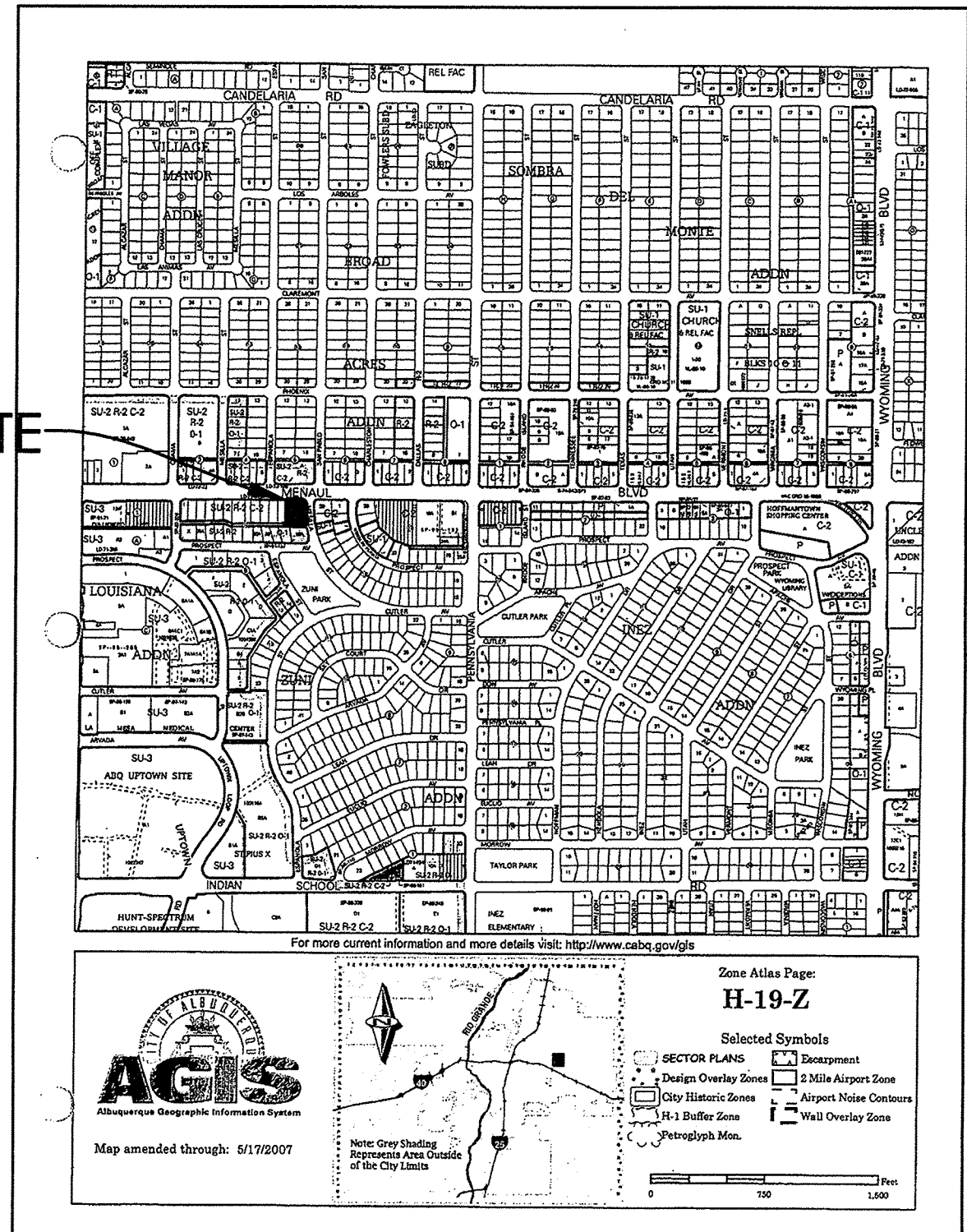
LANDSCAPING REQUIREMENTS

TOTAL LOT AREA:	20,007.61 S.F.
TOTAL UNDER ROOF AREA:	6,650 S.F.
NET LOT AREA:	20,007.61 - 6,650 = 13,357 S.F.
LANDSCAPING REQUIRED:	13,357 x 15% = 2,004 S.F.
PROPOSED LANDSCAPING:	2,073 S.F. (REF: SITE PLAN)

- KEYED NOTES**
- EXISTING CONCRETE CURB AND GUTTER. NOTE: AT SITE OF NEW WORK ONLY, G.C. TO PATCH AND REPAIR EXIST. CURB AND GUTTER AT DAMAGED AREAS AS REQUIRED.
 - EXISTING CONCRETE SIDEWALK. NOTE: AT SITE OF NEW WORK ONLY, G.C. TO PATCH AND REPAIR EXIST. SIDEWALK AT DAMAGED AREAS AS REQUIRED.
 - EXISTING ACCESSIBLE CURB RAMP WITH TRUNCATED DOMES.
 - EXISTING ASPHALT PAVING TO REMAIN.
 - REMOVE EXIST. ASPHALT PAVING, PREPARE AREA FOR NEW ASPHALT PAVING.
 - NOT USED.
 - RAISED CONCRETE CURB, REF: GRADING AND DRAINAGE PLAN.
 - 2'-0" CURB RADIUS, TYP.
 - 9' WIDE CONCRETE SIDEWALK WITH CONC. TURNDOWN, NOTE: TOP OF CONCRETE SIDEWALK AND TOP OF ASPHALT PAVING TO BE FLUSH (NO RAISED CURB).
 - CONC. WHEEL STOP, TYP.
 - PEDESTRIAN ACCESS, CONCRETE SIDEWALK, TYPICAL.
 - ACCESSIBLE PARKING SIGNAGE, PER C.O.P. STANDARDS, REF: DETAIL C1/AS-1.0.
 - ACCESSIBLE STRIPE AISLE WITH "NO PARKING" IN CAPITAL LETTERS, 12" HIGH x 2" WIDE, LOCATED SIGN AT THE REAR OF THE PARKING SPACE SO AS TO BE CLOSE TO WHERE AN ADJACENT VEHICLES TIRE WOULD BE PLACED. (66-1-4.1.8 NMSA 1978).
 - ACCESSIBLE SYMBOL, REF: DETAIL C2/AS-1.0.
 - DUMPSTER ENCLOSURE, REF: A1/AS-1.0.
 - 6" THICK CONCRETE SLAB/APRON, REF: DETAIL A1/AS-1.0.
 - CONCRETE SIDEWALK WITH CONC. TURNDOWN (RAISED CURB), REF: G&D PLAN.
 - CONCRETE SIDEWALK/STOOP AT SERVICE DOOR, REF: ARCH PLANS.
 - (2) HOUR FIRE RATED EXTERIOR WALL AT "D" LOT LINE, REF: ARCH PLANS.
 - LANDSCAPING AREA, REF: LANDSCAPE PLAN.
 - GRAVEL GROUND COVER, NO LANDSCAPING.
 - 4" WIDE WHITE PAINTED PARKING STRIPE, TYP., PER C.O.A. STANDARDS.
 - MOTORCYCLE PARKING, 4' W x 18'-0".
 - MOTORCYCLE PARKING SIGNAGE, PER C.O.A. STANDARDS.
 - NEW FIRE HYDRANT LOCATION, REF: UTILITY SITE PLAN.
 - BIKE RACK FOR TWO BICYCLES, REF: DETAIL C3/AS-1.0.
 - 6'-0" CURB RADIUS.
 - 5'-0" CURB RADIUS.



1 SITE PLAN
1"=20'-0"
BAR SCALE (IN FEET)
LEGAL DESCRIPTION
LOUISIANA ADDITION, BLOCK 15, LOTS 13 & 14
ALBUQUERQUE, NEW MEXICO



VICINITY MAP - H-19-Z
N.T.S.

MENAU SHOPS
SITE PLAN
7212 MENAU BLVD NE 87110
ALBUQUERQUE, NM
PROJECT #1822

REVISION DATE

DATE
05-30-2019

SHEET NUMBER
AS-1.0