

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 11, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **7212 Menaul NE**
Grading Plan Stamp Date: 5/28/19
Drainage File: H19D040

Dear Mr. Soule:

Based on the submittal received on 5/29/19, the grading plan cannot be approved until the following corrections are made:

PO Box 1293

Prior to Grading/Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Show the grading and site work for repaving the alley.
2. Provide proposed contours and increase the density of existing and proposed spot elevation along the property line. Hydrology is especially interested in the tie-in to the alley and the property to the west.
3. Provide sections through the west property line showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
4. The note to end the valley gutter at the Manual entrance also says to begin a retaining wall. Will this cut-off access to the property to the west? Show the retaining wall location.
5. What is the building use? For trash enclosures serving food service developments, demonstrate *control of liquids from dumpster areas* per DPM Chapter 22.9.E, Table 1 by containing runoff from the dumpster area and discharging to the sanitary sewer. If this information is on the utility plan please provide it, or show on the grading plan.
6. Provide a Bernalillo County recorded drainage easement granted by the property owner to the west for discharging across their property, or modify the grading to eliminate cross lot drainage.

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7. Payment of the Fee in Lieu (Amount = \$3,149, per the Grading and Drainage Plan) of onsite management of the SWQV must be made. Include a copy of the paid receipt when resubmitting.

Prior to Certificate of Occupancy (For Information):

8. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.
9. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 7212 Menaul **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: REMAINING PORTION OF LOTS 13,14 BLOCK 15 AND VACATED ROW

City Address: 7212 MENAUL NE

Applicant: ED KARLER **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

Address: PO BOX 93924 ALB NM 87199

Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

Weighted E Method

Proposed Developed Basins

Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		100-Year, 6-hr.		10-day	
			%	(acres)	%	(acres)	%	(acres)	%	(acres)	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
EX TO MENAUL	5894.00	0.135	0%	0	0%	0.000	10%	0.01353	90%	0.122	2.253	0.025	0.66	0.042
EX TO WEST	486.00	0.011	0%	0	0%	0.000	0%	0.000	100%	0.011	2.360	0.002	0.06	0.004
EX TO ALLEY	13668.00	0.314	0%	0	0%	0.000	6%	0.01883	94%	0.295	2.296	0.060	1.55	0.099
PROP TO MENAUL	9316.00	0.214	0%	0	15%	0.032	0%	0	85%	0.182	2.144	0.038	1.00	0.062
PROP TO WEST	1090.00	0.025	0%	0	0%	0.000	0%	0	100%	0.025	2.360	0.005	0.13	0.008
PROP TO ALLEY	9642.00	0.221	0%	0	0%	0.000	5%	0.01107	95%	0.210	2.307	0.043	1.09	0.071
TOTAL EX	20048.00	0.460	0%	0	0%	0	7%	0.03238	93%	0.427882	2.285	0.088	2.26	0.145
TOTAL PROPOSED	20048.00	0.460	0%	0	7%	0.03208	2%	0.01107	91%	0.417091	2.234	0.086	2.22	0.141

Equations:

Weighted E = Ea *Aa + Eb*Ab + Ec*Ac + Ed*Ad / (Total Area)

Volume = Weighted D * Total Area

Flow = Qa * Aa + Qb * Ab + Qc * Ac + Qd * Ad

Where for 100-year, 6-hour storm(zone3)

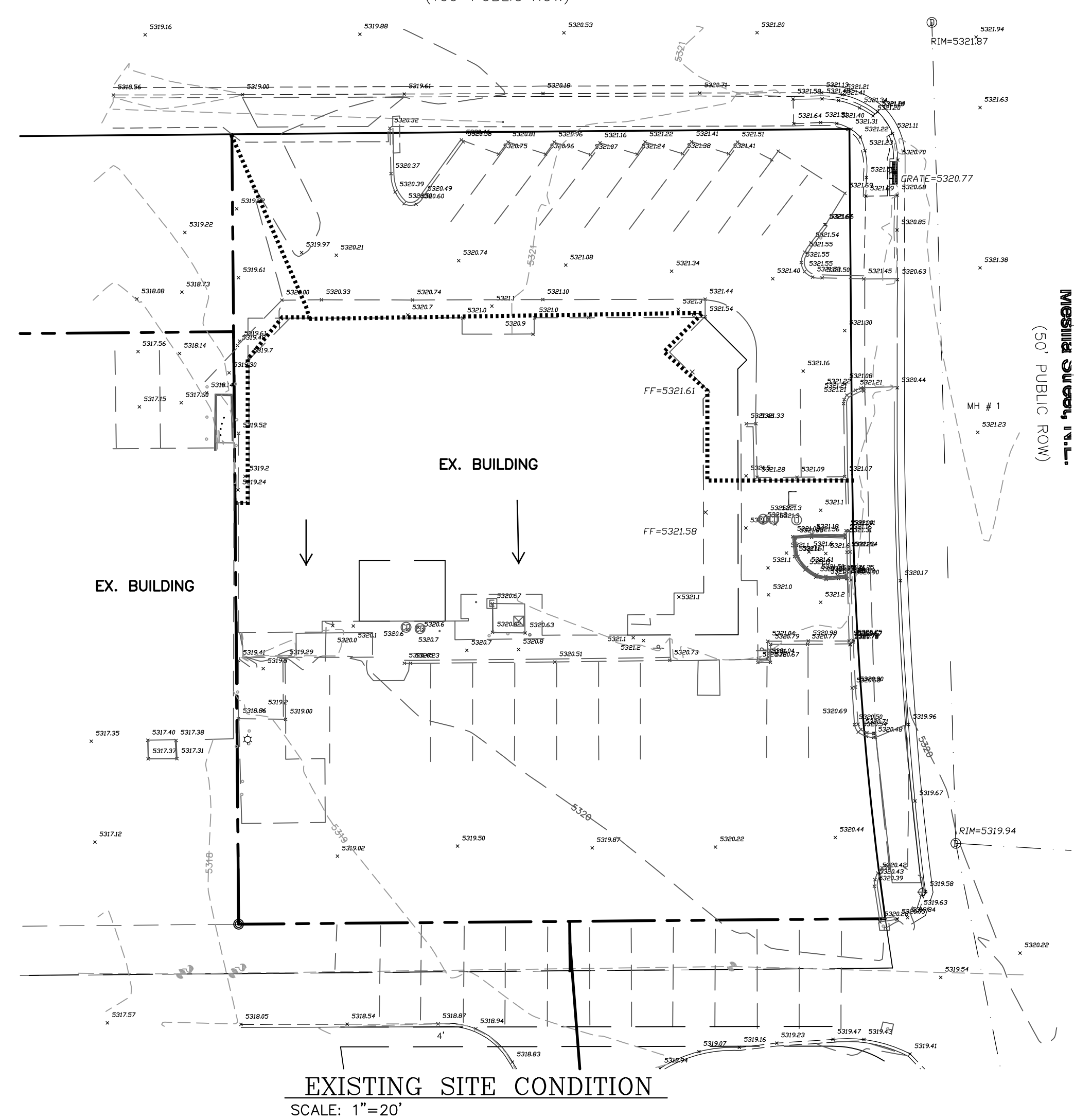
Ea= 0.66	Qa= 1.87	REQUIRED FIRST FLUSH	393.7 CF	REDEV
Eb= 0.92	Qb= 2.6	PROVIDE FIRST FLUSH	0	
Ec= 1.29	Qc= 3.45			
Ed= 2.36	Qd= 5.02	ELECTIVE TO PAY FEE IN LIEU	\$3,149.21	

DRAINAGE PARAMETER	HISTORICAL	PROPOSED	DIFFERENCE	
DISCHARGE TO MENAUL	0.66 CFS	1.00 CFS	0.34 CFS	INCREASE
DISCHARGE TO WEST PROPERTY	0.06 CFS	0.13 CFS	0.07 CFS	INCREASE
DISCHARGE TO ALLEY	1.55 CFS	1.09 CFS	-0.45 CFS	DECREASE

DRAINAGE NARRATIVE

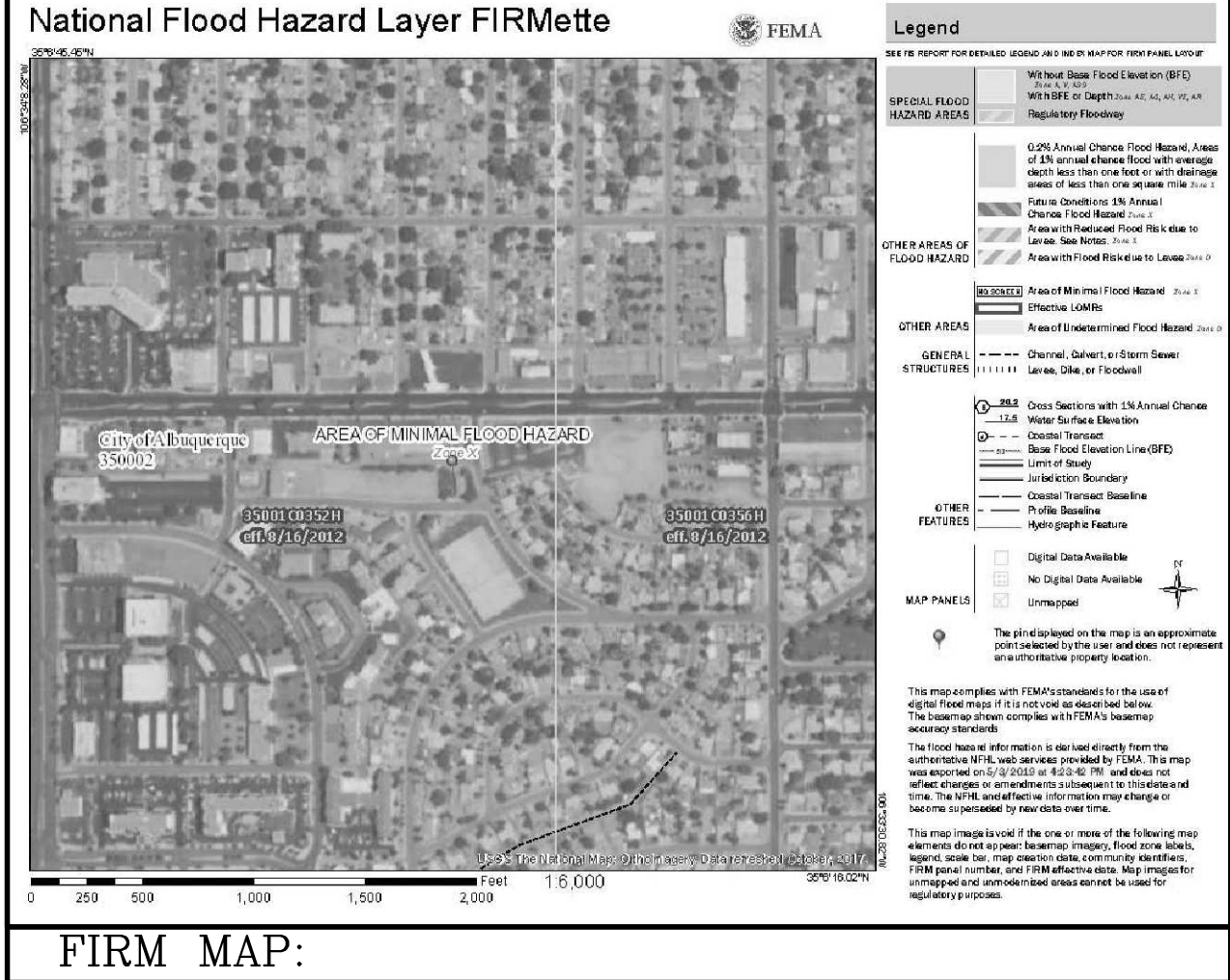
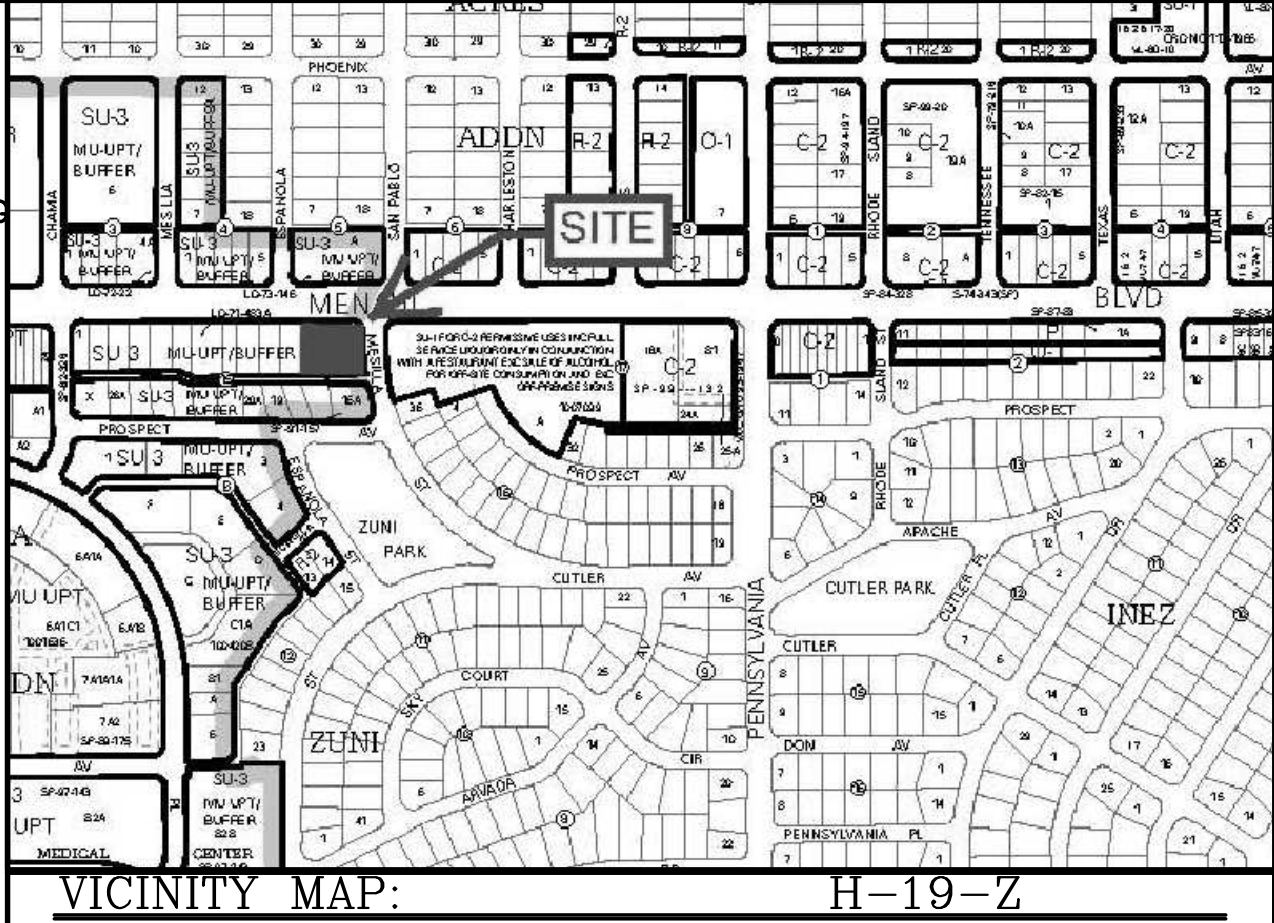
THE SITE IS A REDEVELOPMENT OF AN EXISTING BUILDING. THE ORIGINAL SITE HAS AN APPROVED GRADING PLAN H19-D040. THE APPROVED PLAN ALLOWED FREE DISCHARGE TO MENAUL, THE ADJACENT PROPERTY AND THE REAR ALLEY. THE PROPOSED GRADING PLAN WILL MAINTAIN SAME DRAINAGE CONCEPT EXCEPT THE TOTAL DISCHARGE WILL BE REDUCED FROM 2.26 CFS TO 2.22 CFS DUE TO INCREASED LANDSCAPING. THE DISCHARGE TO MENAUL WILL BE INCREASED BY 0.34 CFS, A WHILE THE DRAINAGE TO THE ALLEY WILL DECREASE BY 0.45 CFS. DUE TO THE ADJACENT SIDE BEING LOWER THAN THE DRIVEWAY THE EXISTING SITE HAS 0.13 CFS DRAIN ONTO THE ADJACENT PARKING AREA, WE PROPOSE AN INCREASE OF .07 CFS. WE FEEL THE INCREASE IN FLOW TO THE ADJOINER IS NEGLIGABLE. THE SHIFT OF .45 CFS FROM THE ALLEY TO MENAUL WILL NOT HAVE IMPACT DUE TO BOTH BEING LOCATED IN THE SAME WATERSHED THAT IS CAPTURED BY A STORM DRAIN IN LOUISIANA AND CONVEYED TO THE NORTH DIVERSION CHANNEL. THE OWNER ELECTS TO PAY THE FEE IN LIEU AMOUNT OF \$3,149.21.

Manual Boulevard, N.E.



EROSION CONTROL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



LEGAL DESCRIPTION:
PARCEL A-1, FINELAND DEVELOPMENT

- NOTES:
- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 - ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
 - ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 - ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
 - ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
 - ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND	
---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TIE
+	EXISTING SPOT ELEVATION
x	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED CURB
---	EXISTING CURB AND GUTTER
---	PROPOSED SIDEWALK
---	EXISTING SIDEWALK
---	PROPOSED 1'-4' RETAINING WALL--DESIGN BY OTHERS

<div>ENGINEER'S SEAL</div> <div>DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER</div> <div>5/28/19</div> <div>DAVID SOULE P.E. #14522</div>	7212 MENAUL	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 5-10-19
	<div></div> <div>Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999</div>	2108040--LAYOUT--5-10-19
		SHEET # — JOB # 2109040