

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 27, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **7212 Menaul NE**
Grading Plan Stamp Date: 6/19/19
Drainage File: H19D040

Dear Mr. Soule:

Based on the submittal received on 6/20/19, the grading plan cannot be approved until the following corrections are made:

PO Box 1293

Prior to Grading/Building Permit:

Albuquerque

NM 87103

1. Show the grading and site work for repaving the alley; this work is required per the approved TCL. Modify the note to state "No work shall be performed in the Alley ROW without an approved work order or excavation/barricading permit." A modified alley section may need to be approved by Transpiration (and Hydrology) to keep public water from entering private property.
2. The drainage calculations and narrative are missing from the plan now.
3. Including the inlet pump and force main seems unnecessary. A valley gutter or trench drain w/ drain line through the curb, along the property line, seems more economical.
4. If the force mains stays, include a detail for the pond, curb-cut outfall, and force main outfall, including elevations. Right now it appears the force main outfalls at 20.0', but the pond outfalls at 20.27', meaning the pond will back up into the force main and the pump will run until it evaporates.

www.cabq.gov

Prior to Certificate of Occupancy (For Information):

5. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.
6. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

CITY OF ALBUQUERQUE

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If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is positioned above the printed name.

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 7212 Menaul **Building Permit #:** _____ **Hydrology File #:** H19D40
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: REMAINING PORTION OF LOTS 13,14 BLOCK 15 AND VACATED ROW
City Address: 7212 MENAUL NE

Applicant: ED KARLER **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: _____ PLAT _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

Check all that Apply:

DEPARTMENT:
☒ HYDROLOGY/ DRAINAGE
_____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:
_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 11, 2019

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM 87199

RE: **7212 Menaul NE**
Grading Plan Stamp Date: 5/28/19
Drainage File: H19D040

Dear Mr. Soule:

Based on the submittal received on 5/29/19, the grading plan cannot be approved until the following corrections are made:

PO Box 1293

Prior to Grading/Building Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Show the grading and site work for repaving the alley. **Alley is paved and not impacted**
2. Provide proposed contours and increase the density of existing and proposed spot elevation along the property line. Hydrology is especially interested in the tie-in to the alley and the property to the west. **ADDED SPOTS AND CONTOURS**
3. Provide sections through the west property line showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use. **ADDED CROSS SECTION AND NOTE**
4. The note to end the valley gutter at the Manual entrance also says to begin a retaining wall. Will this cut-off access to the property to the west? Show the retaining wall location.
CORRECTED THE NOTE
5. What is the building use? For trash enclosures serving food service developments, demonstrate *control of liquids from dumpster areas* per DPM Chapter 22.9.E, Table 1 by containing runoff from the dumpster area and discharging to the sanitary sewer. If this information is on the utility plan please provide it, or show on the grading plan.
RETAIL SALES AND GOLD/SILVER EXCHANGE, NO FOOD SERVICES
6. Provide a Bernalillo County recorded drainage easement granted by the property owner to the west for discharging across their property, or modify the grading to eliminate cross lot drainage.
ADDED INLET AND PUMP FOR THE AREA THAT CAN NOT DRAIN ON SURFACE TO MENAUL

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7. Payment of the Fee in Lieu (Amount = \$3,149, per the Grading and Drainage Plan) of onsite management of the SWQV must be made. Include a copy of the paid receipt when resubmitting. **RECIEPT ATTACHED**

Prior to Certificate of Occupancy (For Information):

8. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.
9. City acceptance and close-out of the public Work Order will be required, unless a financial guarantee has been posted.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

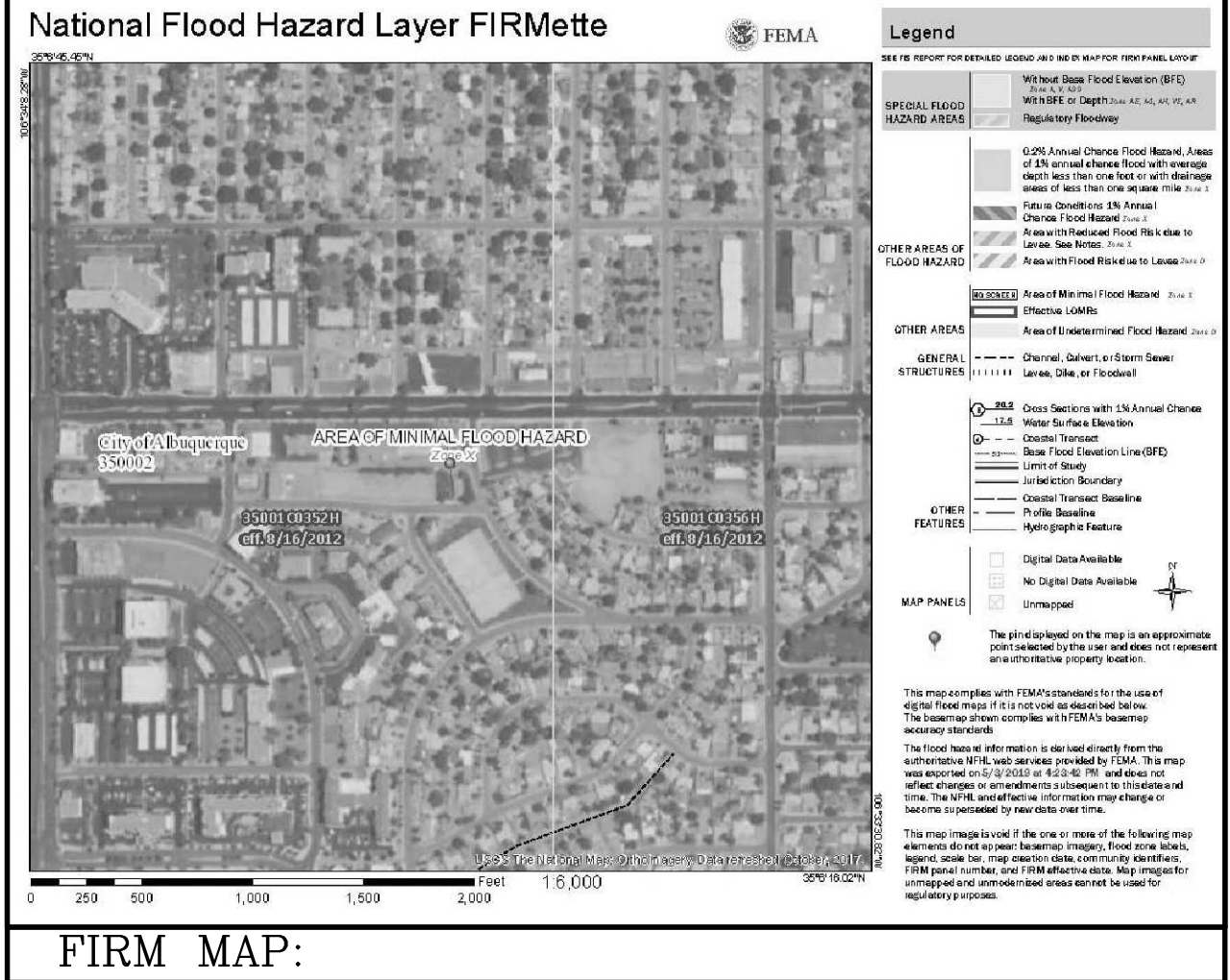
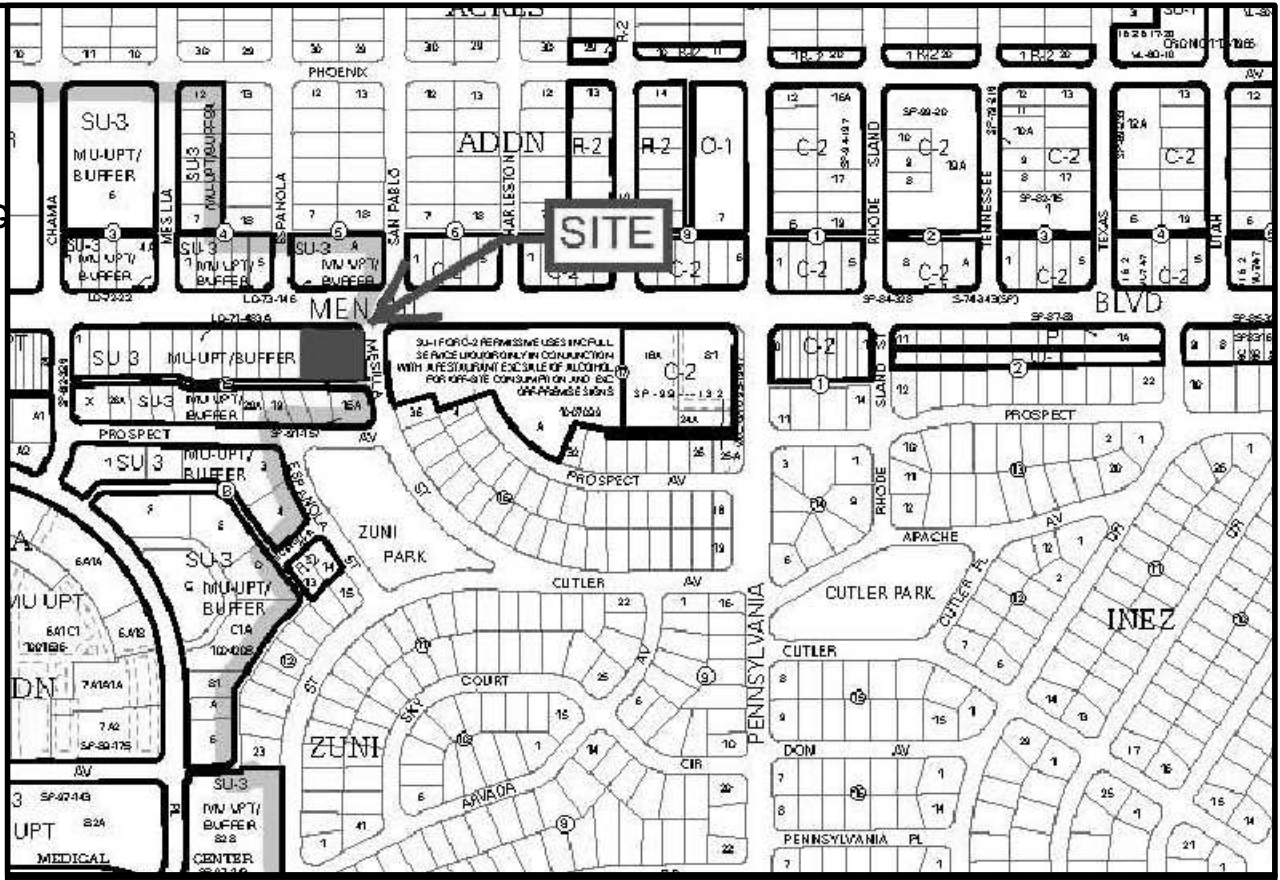
NM 87103

www.cabq.gov

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



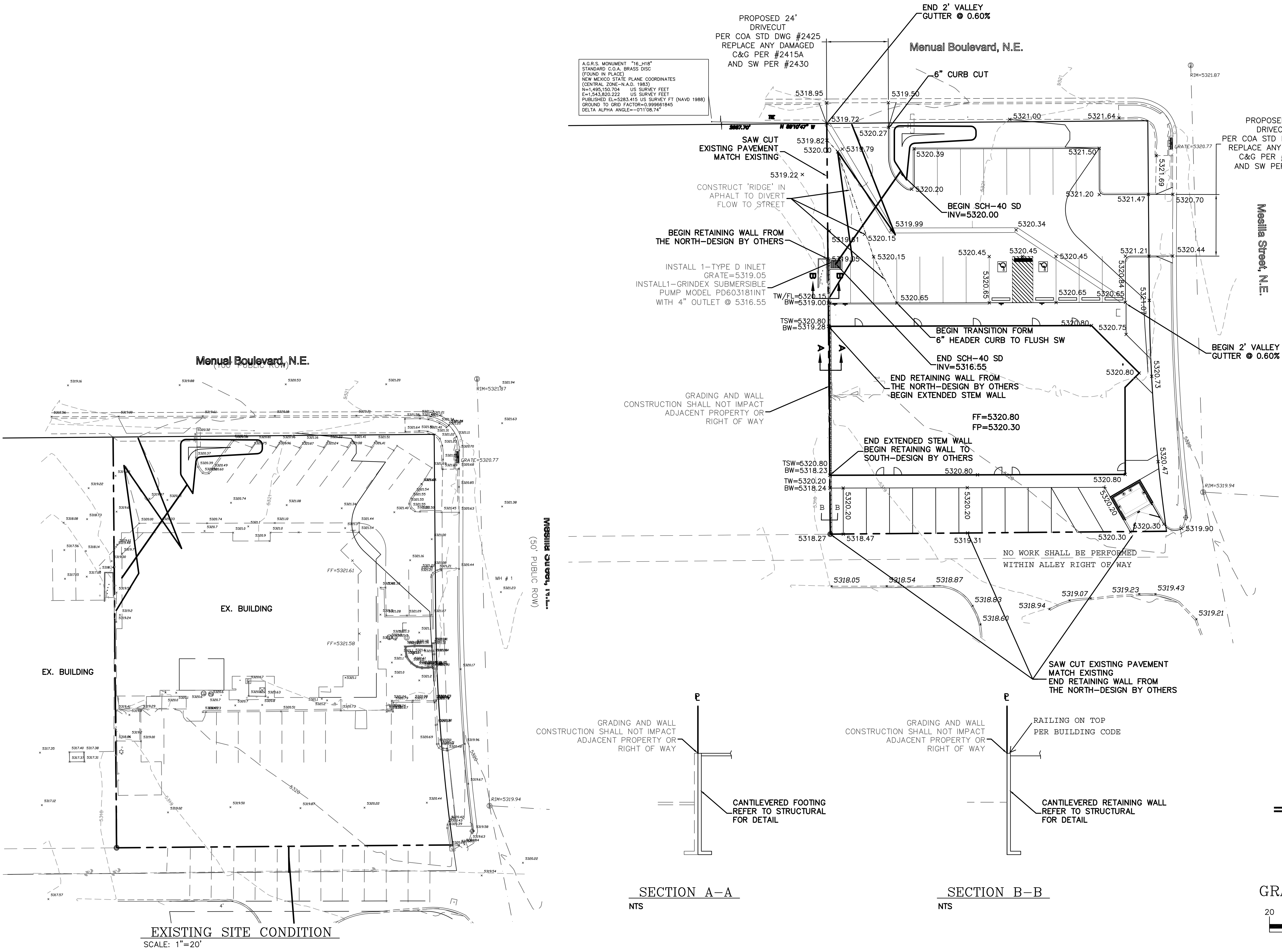
LEGAL DESCRIPTION:
PARCEL A-1, FINLAND DEVELOPMENT

- NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER TO 6" HEADER UNLESS OTHERWISE NOTED.
 3. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 4. ALL NEW PAVING SHALL BE 6" PCC OVER 8" SUBGRADE PREPARATION IN CONFORMANCE TO ACI 330R-08. UNLESS OTHERWISE NOTED.
 5. ANY CURBS OR PAVEMENT NEGATIVELY IMPACTED BY CONSTRUCTION ACTIVITY SHALL BE REPLACED TO MATCH EXISTING CONDITIONS.
 6. ALL SITE WORK SHALL CONFORM TO CITY OF ALBUQUERQUE STANDARDS FOR PUBLIC WORKS CONSTRUCTION EDITION 9

LEGEND

- 5414 --- EXISTING CONTOUR
- 5415 --- EXISTING INDEX CONTOUR
- 5414 --- PROPOSED CONTOUR
- 5415 --- PROPOSED INDEX CONTOUR
- 5415 --- SLOPE TIE
- 4048.25 • EXISTING SPOT ELEVATION
- 4048.25 • PROPOSED SPOT ELEVATION
- --- BOUNDARY
- --- CENTERLINE
- --- RIGHT-OF-WAY
- --- PROPOSED CURB
- --- EXISTING CURB AND GUTTER
- --- PROPOSED SIDEWALK
- --- EXISTING SIDEWALK
- --- PROPOSED 1'-4' RETAINING WALL--DESIGN BY OTHERS

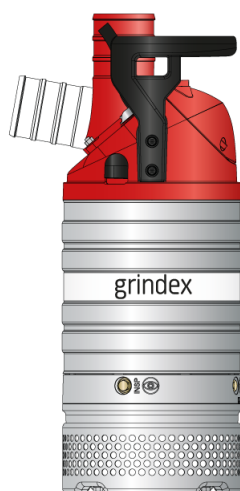
<div>ENGINEER'S SEAL</div> <div></div> <div>6/19/19</div> <div>DAVID SOULE P.E. #14522</div>	7212 MENAUL	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 6-19-19
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	2108040-LAYOUT-5-10-19
		SHEET # JOB # 2109040





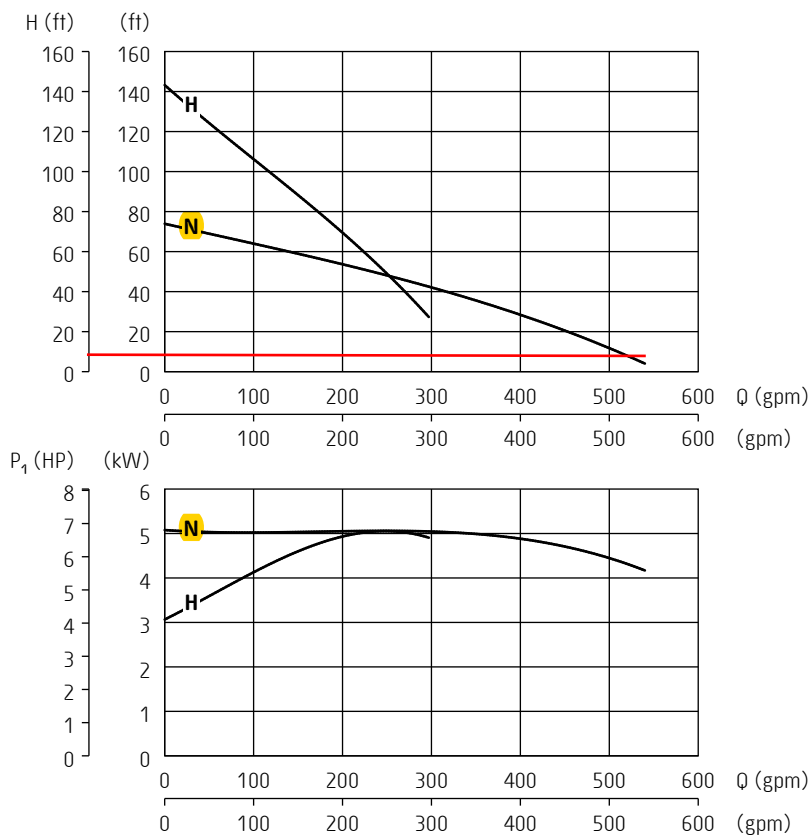
Minor

Electrical submersible drainage pump



60 Hz	N	H
Discharge connection	4"	3"
Rated power P_2 [kW/HP]	4.4 / 6.0	4.4 / 6.0
Max. power consumption P_1 [kW]	5.2	5.2
Shaft speed [r.p.m.]	3480	3480
Rated current at 230V	15 A	15 A
Rated current at 460V	7.1 A	7.1 A
Rated current at 575V	5.5 A	5.5 A
Solids passage [mm/inch]	10 / 0.39	10 / 0.39
Height [mm/inch]	768 / 30 1/4	768 / 30 1/4
Diameter [mm/inch]	286 / 11 1/4	286 / 11 1/4
Weight [kg/lbs]	50 / 110	50 / 110

Other voltages on request



ISO 9906/A

Pump types

N: normal pressure

H: high pressure

Classification

Electrical submersible drainage pump

Protection class: IP 68

Electrical motor

Squirrel cage induction motor, insulation class: H (IEC 85)

Motor protection

Phase sequence control, phase failure guard, temperature guard with thermal contacts in the stator opening temperature 140°C (284°F) (= SMART system), air valve

Cable - SubCab

4G2,5mm², length 20 m or 14AWG/4, length 53 ft

Limitations

Max. submersion depth: 20 m (66 ft)

Max. liquid temperature: 40 °C (104 °F)

Allowed pH range: 5 - 8

Maximum liquid density: 1100 kg/m³ (68 lbs/ft³)

Shaft seals

Cartridge seal: pre-assembled double mechanical seal running in an oil compartment

Material lower seal: *silicon carbide - silicon carbide*Material upper seal: *tungsten carbide - aluminium oxide*

Bearings

Ball bearings with C3 clearance

Discharge connection

3-4" hose, ISO-G or NPT

Materials

Casted parts: *Aluminium*Outer casing: *Stainless steel*Motor shaft: *Stainless steel*Impeller and suction cover: *Hard-Iron™*Diffusers: *Nitrile rubber*Screws and nuts: *Stainless steel*O-rings: *Nitrile rubber*

Accessories

Level regulator

Zinc anodes

Tandem connection

Low suction collar

Pump raft

Specifications can be changed without notice

**** DUPLICATE ****



Date: 6/14/2019
Office: ANNEX
Batch: 10413
Cashier: E41709
Tran #: 3

Journal 24 (Misc)
10:16 AM Receipt #00575956
Account#:
J-24 Deposit

Date: 6/14/2019 Office: ANNEX
Station ID Cashier: E41709
Batch: 10413 Trans: 3
Fund: 305 Activity ID7547210
Account: 461615 Project ID24_MS4
Dept ID: Bus.Unit: PCMD
Alloc Amt: \$3,149.00
Trans Amt: \$3,149.00

Payment Total: \$3,149.00

Transaction Total: \$3,149.00
Check Tendered: \$3,149.00

Checks presented:

ABC GOLD AND SILVER EXCHANGE		2658
1000 N. 1ST ST. ALBUQUERQUE, NM 87102		
DATE: 6/14/19		
TO: <i>Libby's</i>		
FOR: <i>Three thousand one hundred and forty nine and 00/100</i>		\$ 3,149.00
BY: <i>[Signature]</i>		
FOR: <i>[Signature]</i>		

Thank you for your payment.
Have a nice day!

**** DUPLICATE ****