

March 23, 2016

Larry Breen
Breen + Baczek Architects
13604 Rebonito Ct., NE
Albuquerque, NM 87112

Re: Mai

Main Bank

7300 Menaul Blvd., NE

Request for Certificate of Occupancy- Transportation Development

DRB Approval date 1-28-15 (H19-D055A)

Certification dated 3-20-16

Dear Breen,

Based upon the information provided in your submittal received 3-21-15, Transportation Development has no objection to the issuance of a <u>Permanent Certificate of Occupancy</u>. This letter serves as a "green tag" from Transportation Development for a <u>Permanent Certificate of Occupancy</u> to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.

Traffic Engineer, Planning Dept. Development Review Services

\gs

via: email

Ç.

CO Clerk, File



### Planning Department

## Development & Building Services Division INAGE AND TRANSPORTATION INFORMATION

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: MAIN BANK  DRB#: 1007099  EPC#: 14EPC-40061  Legal Description: Tract A, Blocks 16&17 of the Zuni Addition, City of Albuquerque, Bernalillo Cty., NM City Address: 7300 Menaul Blvd. NE, Alb. NM 87110  Engineering Firm: Isaacson & Arfman, P.a.  Address: 128 Monroe St. NE, Alb. NM 87108  Phone#: 505-268-8828  Fax#:  E-mail: freda@iacivil.com
City Address: 7300 Menaul Blvd. NE, Alb. NM 87110  Engineering Firm: Isaacson & Arfman, P.a. Contact: Fred Arfman, PE  Address: 128 Monroe St. NE, Alb. NM 87108  Phone#: 505-268-8828 Fax#: E-mail: freda@iacivil.com
City Address: 7300 Menaul Blvd. NE, Alb. NM 87110  Engineering Firm: Isaacson & Arfman, P.a. Contact: Fred Arfman, PE  Address: 128 Monroe St. NE, Alb. NM 87108  Phone#: 505-268-8828 Fax#: E-mail: freda@iacivil.com
Address:         128 Monroe St. NE, Alb. NM 87108           Phone#:         505-268-8828           Fax#:         E-mail: freda@iacivil.com
Phone#: 505-268-8828 Fax#: E-mail: freda@iacivil.com
RANINI DANII/
Owner: MAIN BANK Contact: Ron Shettlesworth
Address: 7300 Menaul Blvd. NE, Alb., NM 87110
Phone#: 505-880-1700 Fax#: E-mail: rshettlesworth@mainbank.co
Architect: Breen + Baczek Architects Contact: Larry Breen
Address: 13604 Rebonito Ct. NE, Alb., NM 87112
Phone#: 505-299-5940 Fax#: E-mail: larryb@bbarchitects.build
Surveyor: Alpha Professional Surveying, Inc. Contact: Gary Gritsco
Address: P.O. Box 46316, Rio Ranch, NM 87174
Phone#: <u>505-892-1076</u> Fax#: E-mail:
Contractor: MV Industries, Inc.  Contact: Michael Vigil
Address: 2920 Stanford NE, Alb., NM 87107
Phone#: 505-872-0450 Fax#: E-mail: mikev@mvindustries.net
TYPE OF SUBMITTAL: CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT SIA/FINANCIAL GUARANTEE RELEASE
DRAINAGE PLAN 1st SUBMITTAL PRELIMINARY PLAT APPROVAL PRELIMINARY PLAT APPROVAL
DRAINAGE PLAN RESUBMITTAL  S. DEV. PLAN FOR SUB'D APPROVAL  (CONCERNMENT AND ADDITIONAL AD
CONCEPTUAL G & D PLAN  S. DEV. FOR BLDG. PERMIT APPROVAL  SECTOR PLAN APPROVAL  SECTOR PLAN APPROVAL
GRADING PLAN  —— SECTOR PLAN APPROVAL  EROSION & SEDIMENT CONTROL PLAN (ESC)  —— SECTOR PLAN APPROVAL  FINAL PLAT APPROVAL
ENGINEER'S CERT (HYDROLOGY)  CLOMR/LOMR  CLOMR/LOMR  CERTIFICATE OF OCCUPANCY (MERM)  X CERTIFICATE OF OCCUPANCY (MERM)
TD A CEIC CIDCIII ATIONII AVOIIT (TCI)
ENGINEER'S CERT (DRB SITE PLAN)  FOUNDATION PERMIT APPROVAL  BUILDING PERMIT APPROVAL  AND DEVELOPMENT SECTION  GRADING PERMIT APPROVAL  SO-19 APPROVAL
ENGINEER'S CERT (DRB SITE PLAN)  GRADING PERMIT APPROVAL  SO-19 APPROVAL
ENGINEER'S CERT (ESC) PAVING PERMIT APPROVAL ESC PERMIT APPROVAL
SO-19 WORK ORDER APPROVAL ESC CERT. ACCEPTANCE
OTHER (SPECIFY) —— GRADING CERTIFICATION —— OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided
DATE SUBMITTED: By:

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1 Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4. Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



3/20/16

I, Mark Baczek, NMRA 2159, of the firm Breen & Baczek Architects hereby certify that this project, a new 2-story building for MAIN BANK @ 7300 Menaul Blvd., is in accordance with the design intent of the approved Site Plan, DRB Project No. 1007099, dated 8/28/14, signed 1/28/2015. I further certify that I have personally visited the site on 3/20/16 and have determined by visual inspection that the approved Site Plan, DRB Project No. 1007099, dated 8/28/14, signed 1/28/2015, is representative of actual site conditions and is true and correct to the best of my knowledge and belief. this certification is submitted in support of a request for a Certificate of Occupancy for the subject new 2 story building.

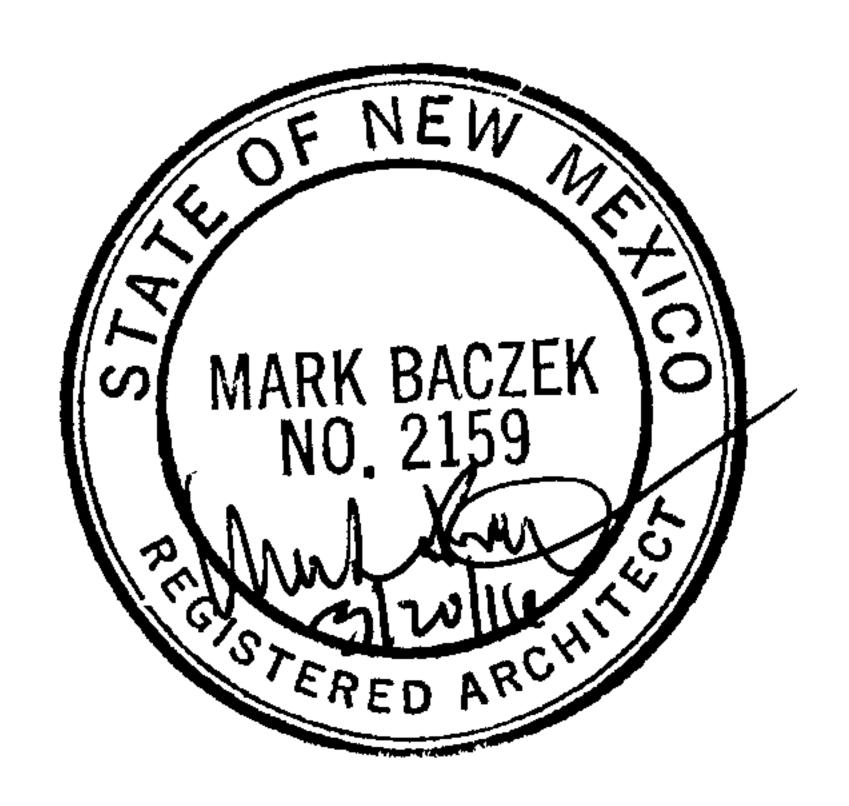
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTAIL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

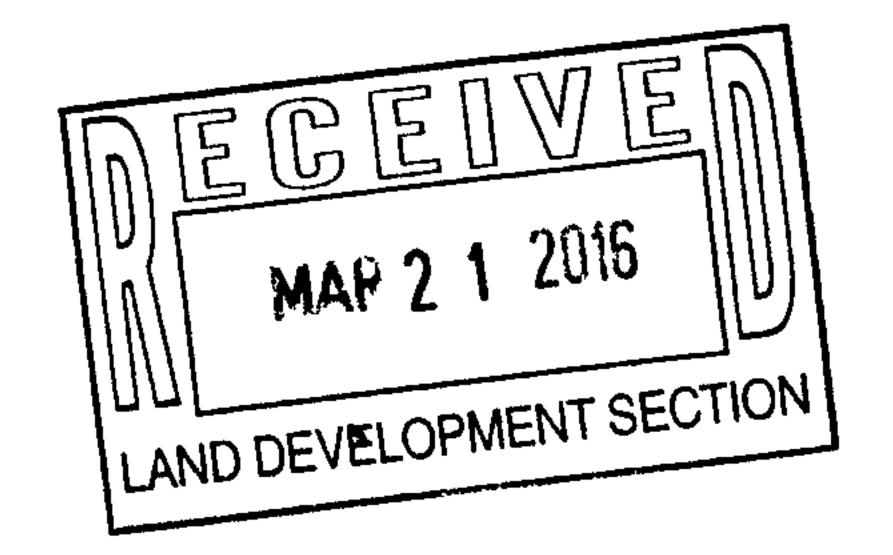
Signature of Engineer or Architect

**ENGINEER'S OR ARCHITECT'S STAMP** 

10

Date





Planning Department
Suzanne Lubar, Director



Mayor Richard J. Berry

March 21, 2016

Fred C. Arfman, P.E. Isaacson & Arfman, PA 128 Monroe St NE Albuquerque, NM 87108

Re: Main Bank

7300-7402 Menaul Blvd. NE

Request Permanent C.O. - Accepted Engineer's Stamp dated: 3-12-15 (H19D055A)

Certification dated: 3-19-16

PO Box 1293

Dear Mr. Arfman,

Albuquerque

Based upon the information provided in your submittal received 3/21/2016, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

www.cabq.gov

KINL!

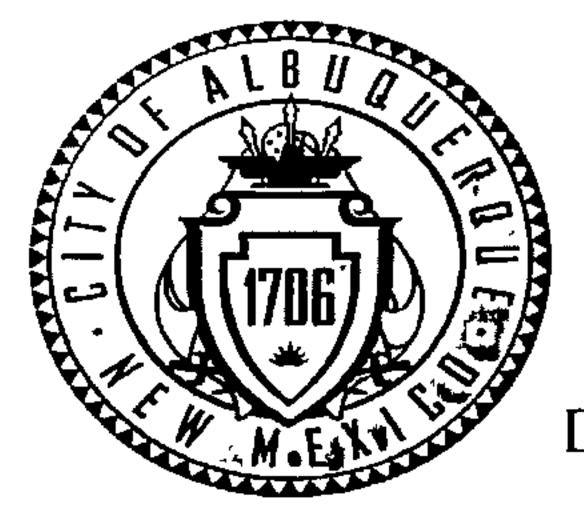
Sincerely,

Rita Harmon, P.E. Senior Engineer, Planning Dept.

Development Review Services

TE/RH

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois



## Planning Department

## Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank			Building Perm	it #:	City Drainage #: H19D055A
DRB#: 14-70378	EPC#:			Work Ord	<del></del>
Legal Description: Tract A-1, Blocks 16	& 17, Zuni Addi	tion	·	<u>-</u>	
City Address: 7402 Menaul Blvd. NE				_	
Engineering Firm: Isaacson & Arfmar	ո, P.A.			Contact:	Fred C. Arfman
Address: 128 Monroe	Street NE - Albud	uerque, NM 8	37108	<del></del>	
Phone#: (505) 268-8	828 Fax#:			E-mail: <u>f</u>	reda@iacivil.com
Owner: Main Bank				Contact	Alan Shuttleworth
Address:					- HOLLI OTTOTAL
Phone#:	Fax#:			E-mail:	
Architect: Dorman Breen Architects				Contacti	Lauranca Braan
Address: P.O. Box 11608 - Albuquero	nue NM 87192			Contact: _	Laurence Breen
Phone#: (505) 299-5940	Fax#:			E-mail:	
Surveyor: Surv-Tek, Inc.	A 11	11.4.07400		Contact: _	Russ P. Hugg
Address: 9384 Valley View Drive NW		NM 87108		Γ	
Phone#: (505) 897-3366	Fax#:			E-mail: _	
Contractor: MV Industries, Inc.				Contact:	Mike Vigil
Address: 2920 Stanford Dr. NE, Albu	querque, NM 871	07			
Phone#: <u>(505)</u> 884-6947	Fax#:			E-mail:	
TYPE OF SUBMITTAL:		CHECK T	YPE OF APPI	ROVAL/ACCE	PTANCE SOUGHT:
DRAINAGE REPORT		SIA/FIN	ANCIAL GUA	RANTEE RELEA	ASE DE COEDO
DRAINAGE PLAN 1st SUBMITTAI		PRELIM	INARY PLAT	APPROVAL	TINEGEIVE
DRAINAGE PLAN RESUBMITTAL	<b>.</b>			B'D APPROVA	
CONCEPTUAL G & D PLAN				ERMIT APPROV	MAP 1 8 2016
GRADING PLAN			R PLAN APPRO		
EROSION & SEDIMENT CONTRO	` ,		LAT APPROV		LAND DEVELOPMENT SEC
X ENGINEER'S CERT (HYDROLOGY	Y )			CUPANCY (PER	
CLOMR/LOMR  TRAFFIC CIRCLIL ATION LANGUE	r (TCI)			CUPANCY (TCI	JIEMP)
TRAFFIC CIRCULATION LAYOUT	I (ICL)			TAPPROVAL	
ENGINEER'S CERT (TCL) ENGINEER'S CERT (DRB SITE PL	ANIX		NG PERMIT AI NG PERMIT AF		SO 10 ADDDOMAI
	AIN)		PERMIT APP	<del></del>	SO-19 APPROVAL
ENGINEER'S CERT (ESC) SO-19			ORDER APPRO		ESC PERMIT APPROVAL ESC CERT. ACCEPTANCE
OTHER (SPECIFY)			IG CERTIFICA		OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE AT	<del>-</del>	Yes	No	_ Copy Provide	d
DATE SUBMITTED: March 19, 2016	<u> </u>	By: Fred C. Ar		. <u> </u>	
Requests for approvals of Site Development Plascope to the proposed development defines the Conceptual Grading and Drainage Plascope Drainage Plans Required for building page 3 Drainage Report Required for subdivis	degree of drainage det n Required for appropriate appropriate appropriate description in the second second seco	Plats shall be acc ail One or more oval of Site Devel its, paving permits than ten (10) lots o	of the following lopment Plans great and site plans lest constituting fivor	evels of submittal eater than five (5) a ss than five (5) acr (e (5) acres or mor	may be required based on the followin acres and Sector Plans es

LAND DEVELOPMENT SECTION

project less than 1-acre than are part of a larger common plan of development

Figure 6: Notice of DRC Session	Proc	essing	Date	- · · · · · ·	<u> </u>	<u> </u>
Project#: 762385	Zone Atlas: H-19		DRB	#: <u>/</u> 0	070	299
	ein Baul				<u>.                                    </u>	
Scheduled with DRC  No DRC Meeting Sch	on <u>Neanes day</u> Jaheduled. Please return at comments	un 2 by		at_	2'3	<u>3</u>
Project Location: Menau	und Mesi//a NE		<u> </u>		<u> </u>	<b>.</b>
TYPE OF PROJECT: Z-AH	BA □-CIP □-SAD/PID		□-AB	CWU.	A	
PROJECT COORDINATOR:			Pł	none: _		
Company:		·		<u> </u>		<u> </u>
Design Engineer: 15aac	son de Artman		Phone	:26	8-88	328
Company:	ed Artman				<u> </u>	
The Project Is Scheduled For the  □-Pre-Design Review  The Project Relates to City Infras  □- Water  □- San. Sewer  The Attached Package Includes:  Indicated below are the Department attend. (It will be the Project Coordinated of scheduled DRC meetings).	□- Final Plan Review □- Signature Review  tructure Systems: Paving  S/Divisions that have received projections	ainage ct docu	ments an	d/or ar	e invite	
D- Drawings MU- Markups	M- Memo Only E- Estim	ate	R- Repo	rt		
DRC Chairman Stephen  Traffic Dev. Racquel  Utility Dev. Kristopher/Alan  Utility Des. (CIP)Kris  Utility Design	Design Review Section  Transportation Development  Utility Development	DXXX	MU	<b>M</b>		
Hydr. Dev. Rita  Hydr. Des. (CIP)  Const. Mgmnt	Hydrology Development——— Hydrology Design Construction Division					
Const. Div. (CIP)Dave Harrison Jesse Valdez / Matt Yannoni Brett Frauenglass Stephen James	Construction Division Traffic Operations Division Risk Management City Architect					
Parks & RecProject Manager	_ Parks & Recreation Department					
Notified of DRC	meeting date & time on		at		via	

				FIGURE 12		Da	te Submitted.	November 4	4, 2014
Current DRC						Date Site Pl	an Approved.	11~	19-14
Project Number	<u>r</u>	<del></del>	INF	RASTRUCTURE LIST		Date Preliminary P	lat Approved:		
	1 2			(Rev 9-20-05)		Date Preliminary	Plat Expires:		<u></u>
	1/1/			EXHIBIT "A"		DR	B Project No :		70370
•	CIMI.		TO SUBDIVISIO	N IMPROVEMENTS AGREE	MENT	DRB A	oplication No.:	14 -	70378
$\sim Q^{1}$	(O',		DEVELOPMENT REVIEW BOA						
01,				Main Bank		<u> </u>	<u> </u>	<del></del>	
			PROPOSED NAME OF 1	SITE DEVELO	OPMENT PLAN				
			Tract A-1	1-A, Block 16, Zuni Addition	TINO ACTION	<u>, , , , , , , , , , , , , , , , , , , </u>			
			EXISTING LEGAL DES	CRIPTION PRIOR TO PLAT					
items in the list portions of the administrative!	ting and related fina	ncial guarante s All such rev Inforeseen iter	rastructure required to be constructed or find the DRC Chair determines that appurted a Likewise, if the DRC Chair determines the visions require approval by the DRC Chair, as which arise during construction which a second con		-Maurice If such approv	ate are obtained these revisi	ons to the list isibility will be	required as a truction Cer	corporated a condition of
Financially	Constructed	Size	Type of Improvement	LOCATION			Inspector	P.E.	Engineer
Guaranteed	Under DRC #								
DRC #		18"-24" dia	Public Storm Drain	Tract A-1-A	Mesilla Ave.	Prospect Av Terminus			
<u></u>		4.1	w/ Double "C" Inlet						
<del></del>		C' Maria	PCC Sidewalk	Menaul Frontage	Mesilla Ave.	East Entry Drive	/		
		6' Wide	T GG Glacwank						
	, <del></del>							1	1
									,
									,
				<u> </u>			<del></del>		- <del>- '</del>
<del></del>									
<u></u>	<u></u>								
							/	1	1
					<u>-,</u>				•
									_
<u> </u>							/	/	/

Licting The It	ems listed below a	re subject to th	e standard SIA requirements.						
Financially	Constructed							ruction Cer	
Guaranteed	Under	Size	Type of Improvement	Location	From	То	Priva	ate	City Cnst
								j	
DRC#	DRC#						Inspector	P.E.	Engineer
שלט איני		[ ]							
<u>}</u>					<del></del>				
<u> </u>				•					
									,
							/	Constitution	***************************************
					Approval of Creditable	Items:	Approval of	Creditable	items:
					Impact Fee Administrat	tor Signature Dat	e City User D	ept. Signat	ure Date
				NOTES					
			s located in a floodplain, then the financia		eased until the LOMR is a	pproved by FEMA.			
		if the site i	S located in a moodplain, then the imanci-	hts per City requirements.					
			Oticet ng.	inds por only roquine					
1_	<u> </u>								
	<u></u>				<u> </u>				
2 _									
		<u> </u>	<u> </u>						
_									
- -									
_									
	AGENT / OWNER			DEVELOPMENT RE	VIEW BOARD MEMBER A	PPROVALS			
<u></u>				11-19-1	4	5. Dum		10-14	•
Fred C. A	rfman, PE		Last 1					1777	
	NAME (print)		TRB CH	IAIR - date	PARKS & (	GENERAL RECREA	HON - date		
icaacean	& Arfman, P.A	<b>L</b> _	Caramany	11/19/14		<u> </u>		<del></del>	
ISaacson	FIRM		TRANSPORTATION	DEVELOPMENT - date		AMAFCA - date			
700	(1.1.	1-19-14	(lllcn/	CAR 11/15/	19			<del></del>	
Janes	SIGNATURE - date	<u> </u>		LOPMENT - date		date	<del>}</del>		
			ante a	Mars 11-19-	14				
			CITY ENG	INEER - date	· · · · · · · · · · · · · · · · · · ·			<del></del>	
			CITYENG	MAEEV - Gare		date	<b>=</b>		•
<u> </u>	<u></u>	<u> </u>	DESIGN	REVIEW COMMITTEE REV	ISIONS				
					<u>:-</u>				
# <del></del>			<u> </u>	LICED DES	ARTMENT	ΔG	ENT /OWNER		<del></del> }
	REVISION	DATE	DRC CHAIR	USEK DEF				<u> </u>	<del></del>
		<del></del>	<del></del>				<u> </u>		
				<u> </u>			<u> </u>		

PLANNING DEPARTMENT - Development Review Services



Richard J. Berry, Mayor

March 16, 2015

Fred Arfman, P.E.

Isaacson & Arfman, P.A.

128 Monroe Street N.E.

Albuquerque, NM 87108

RE: Main Bank, (File: H19D055A)

Grading & Drainage Plan, Engineer's Stamp Date 3-12-2015 Supplemental Calculations, Engineer's Stamp Date 3-12-2015

Dear Mr. Arfman:

Based upon the information provided in your submittal received 3-2-15 and 3-12-15, the above referenced submittals are approved for Building Permit and Work Order. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

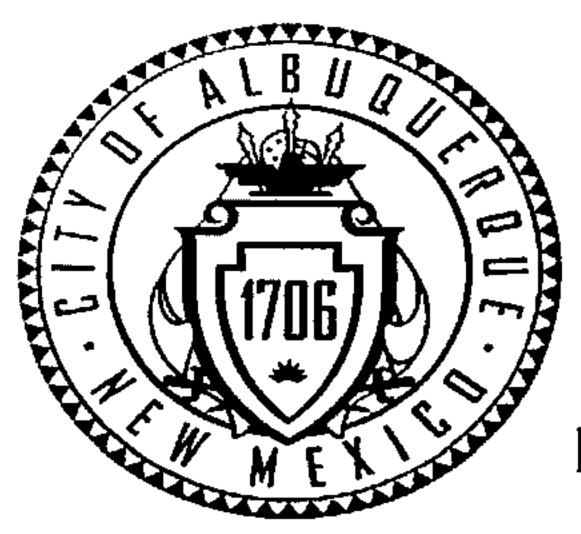
Rita Harmon, P.E.

Senior Engineer, Planning Dept.

Development Review Services

Orig: Drainage file

c.pdf: via Email: Recipient, Monica Ortiz



### Planning Department

## Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank	Building Permit #:	City Drainage #: H19D055A
DRB#: EPC#:		Work Order#:
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addi	tion	
City Address: 7402 Menaul Blvd. NE		PA.
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albud	uerque, NM 87108	
Phone#: (505) 268-8828 Fax#:		E-mail: freda@iacivil.com
Owner: Main Bank		Contact:
Address:		
Phone#: Fax#:		E-mail:
Architect: Dorman Breen Architects		Contact: Laurence Breen
Address: P.O. Box 11608 - Albuquerque, NM 87192		
Phone#: (505) 299-5940 Fax#:		E-mail:
Surveyor: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Drive NW - Albuquerque, N	VM 87108	
Phone#: (505) 897-3366 Fax#:		E-mail:
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVA	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	TEE RELEASEN E C E V E
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPR	ROVAL
X DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMI	T APPROVALIII
X GRADING PLAN	SECTOR PLAN APPROVAL	LAND DEVELOPMENT SECTION
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	·LICE
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPA	
CLOMR/LOMR	CERTIFICATE OF OCCUPA	
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AP	
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPRO	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVA	
SO-19	X WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	py Provided
DATE SUBMITTED: March 12, 2015	By: Fred C. Arfman	<u>.                                    </u>

Isaacson & Afrman, P.A.
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3. Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

### **Bryan Bobrick**

From: Bryan Bobrick <bryanb@iacivil.com>

**Sent:** Thursday, March 12, 2015 11:00 AM

**To:** 'Ortiz, Monica'; 'Harmon Rita T.'

Cc: 'Fred Arfman'

Subject: Main Bank - Resubmittal

Attachments: 2072 MAIN BANK BUILDING PERMIT.pdf

Rita,

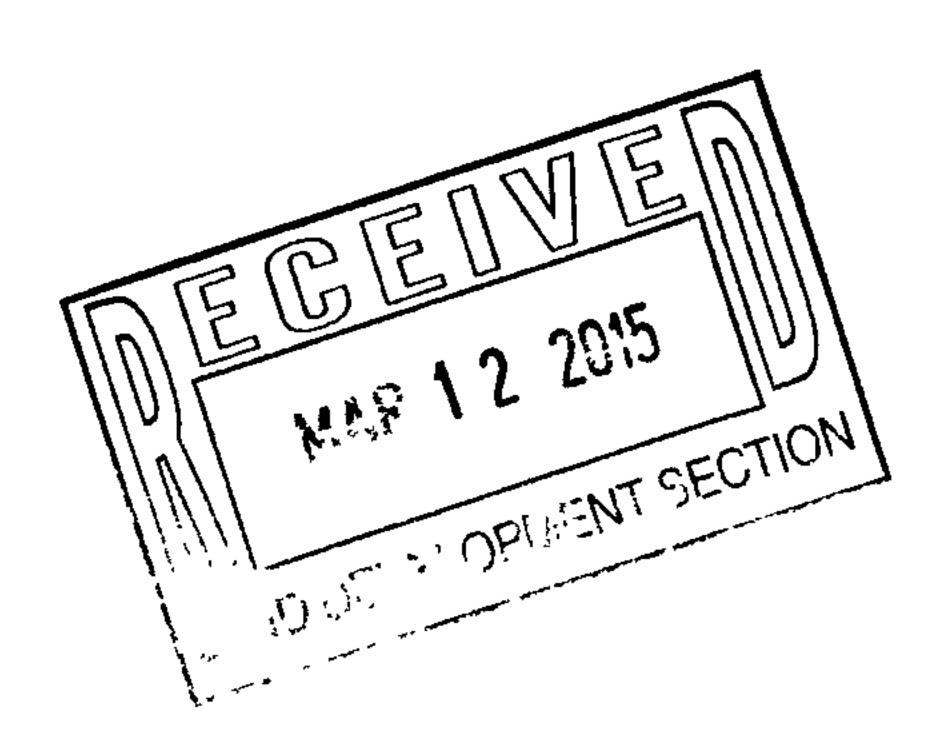
Attached is the Main Bank plan resubmittal – the only change is the addition of the Engineer's Certification requirement note on CG-101.

#### Thanks

#### Bryan J. Bobrick

Isaacson & Arfman, P.A.
Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828

Fax: (505)268-2632 bryanb@iacivil.com



MARCH 16, 2015

## Supplemental Information

for

## Main Bank

Grading and Drainage Plan for Building Permit

by

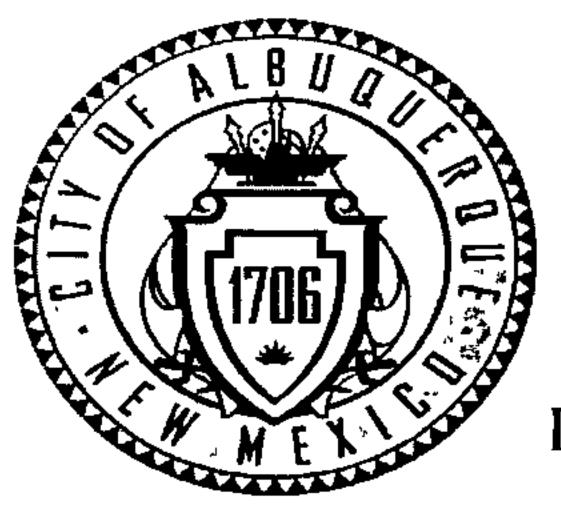


ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE(RET.) & LS(RET.)
Fred C. Arfman, PE

Asa Nilsson-Weber, PE



### Planning Department

### Development & Building Services Division

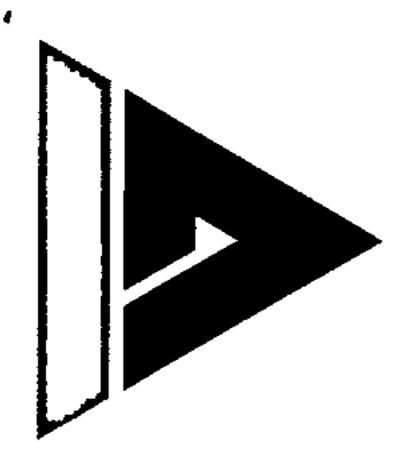
## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank	Building Permit #: City I	Drainage #: H19D055A
DRB#: EPC#:	Work Order#:	
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Add	dition	
City Address: 7402 Menaul Blvd. NE		
Engineering Firm: Isaacson & Arfman, P.A.	Contact: Fred C. A	\rfman
Address: 128 Monroe Street NE - Albu	uquerque, NM 87108	
Phone#: (505) 268-8828 Fax#:	E-mail: freda@iac	civil.com
Owner: Main Bank	Contact:	
Address:		
Phone#: Fax#:	E-mail:	
Architect: Dorman Breen Architects	Contact: Laurence	Breen
Address: P.O. Box 11608 - Albuquerque, NM 87192		
Phone#: (505) 299-5940 Fax#:	E-mail:	
Surveyor: Surv-Tek, Inc.	Contact: Russ P. H	Hugg
Address: 9384 Valley View Drive NW - Albuquerque,	, NM 87108	
Phone#: (505) 897-3366 Fax#:	E-mail:	
Contractor:	Contact:	
Address:		
Phone#: Fax#:	E-mail:	
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROVAL/ACCEPTANCE	SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARANTEE RELEASE	
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPROVAL	
X DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D APPROVAL	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMIT APPROVAL	
X GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROMAL	
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCHURANCY (PERM) TV/	
CLOMR/LOMR	CERTIFICATE OF DECUPANCY (TELTEMP)	
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT APPROVAL 2015	
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPROVAL 4 4015	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPROVAL SO-1	9 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROVALE LOPMENT SECT	PERMIT APPROVAL
SO-19	X WORK ORDER APPROVAL ESC	CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION OTH	ER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Copy Provided	
DATE SUBMITTED: February 27, 2015	By: Fred C. Arfman  Isaacson & Afrman, P.A.	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1 Conceptual Grading and Drainage Plan Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



Thomas O. Isaacson, PE(RET.) & LS(RET.) . Fred C. Arfman, PE . Asa Nilsson-Weber, PE

February 27, 2015

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services
City of Albuquerque

### RE: MAIN BANK REVISED GRADING AND DRAINAGE PLAN (H19/D055A)

Dear Ms. Harmon,

Attached with this letter is one copy of the revised Grading and Drainage Plan for your review. Revisions were made based on your comments dated February 26, 2015. The numbered responses reference each of your comments in order:

- 1. Drainage concept, off-site flow and 'first flush' narratives added to plans.
  2. The off-site flows were calculated as part of COA Project No. 762382 (Sheet 6 of 7: "Offsite Drainage Basin Exhibit" from this plan set is attached.)
- , 3. Calculations for the 18" storm drain are attached.
  - A. Basin B1 and B2 have been updated to include the portion of roof discharging north and west.
  - 5. The curb cuts along the west edge of the parking area will accept stormwater until they fill. The 'U' shaped concrete channel at the south end will pass excess flow to the access drive and then to Mesilla Blvd. The concrete channel was key noted on the plan (#8) but the site plan provided by the architect did not include the line-work. This has been corrected.
- 6. The property is located in a fully developed part of the city. The Conceptual Grading and Drainage Plan approved by COA Hydrology specifically noted that the site will free discharge with the majority exiting the site to Mesilla Ave. We are unaware of any Master Drainage Report for this fully developed area. In addition, Fred Arfman and Curtis Cherne concurred that the public storm drainage characteristic would be enhanced by short circuiting the drainage path by intercepting the storm waters and accepting them into the storm drain system rather than having them discharge onto Menaul Blvd.; then traveling west and there they entering onto Mesilla Ave. The storm waters are eventually accepted into what appears to be an overtaxed catch basins approximately 400 to the south (see attached aerial image with the storm drain identified.
  - 7. The curved line has been keynoted on the revised plan. It is intended to be a 12" retaining boulder (or equal) landscape wall which would deflect emergency overflow back to the pavement in the event the public storm drain inlet failed.

8. Inlet capacity calculations for the Double 'C' inlet is attached.

Please don't hesitate to call with any other questions or concerns.

Sincerely,

Isaacson & Arfman, PA

Fred C. Arfman, PE

FEBRUARY 27, 2015

## Supplemental Information

for

## Main Bank

## Grading and Drainage Plan for Building Permit



by

ISAACSON & ARFMAN, P.A.

Consulting Engineering Associates

Thomas O. Isaacson, PE(RET.) & LS(RET.)
Fred C. Arfman, PE
Åsa Nilsson-Weber, PE

## Contents:

Double 'C' Inlet Capacity Calculations

18" Storm Drain Calculations

Roof Drainage Exhibit

Off-site Drainage Basin Exhibit

### **ANALYZE SUMP INLETS**

#### **GRATE OPEN AREA:**

(per COA std dwg #2220, single grate)

GROSS AREA FOR ONE GRATE = (25 in/12)(40 in/12) = 6.94 SF LESS BEARING BARS = (0.5 in/12)(3.33 ft)(13) = 1.80 SF LESS CROSS BARS = (0.5 in/12)(7)[(25 in/12)-(13)(0.5 in/12)] = 0.45 SF

NET GRATE OPEN AREA = 4.69 SF

GRATE OPEN AREA (assuming 50% clogging factor) = 2.35 SF

#### **ORIFICE EQUATION:**

$$Q = CA(2gh)^{1/2}$$

Where:

C = 0.67

 $A = 2.35 \text{ ft}^2$ 

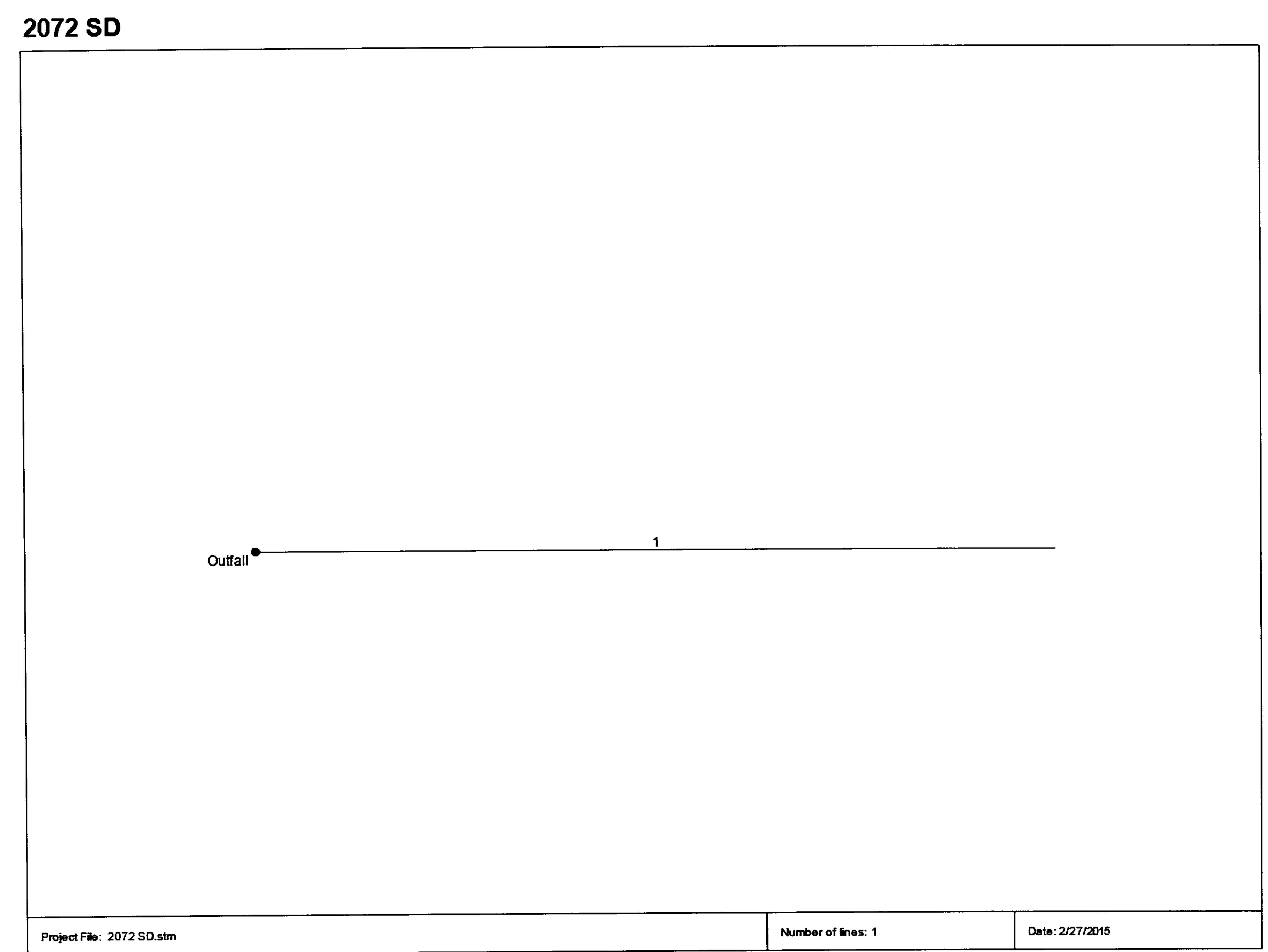
 $g = 32.2 \text{ ft/sec}^2$ 

h = height of the water surface above the grate

#### **CAPACITY CALCULATIONS:**

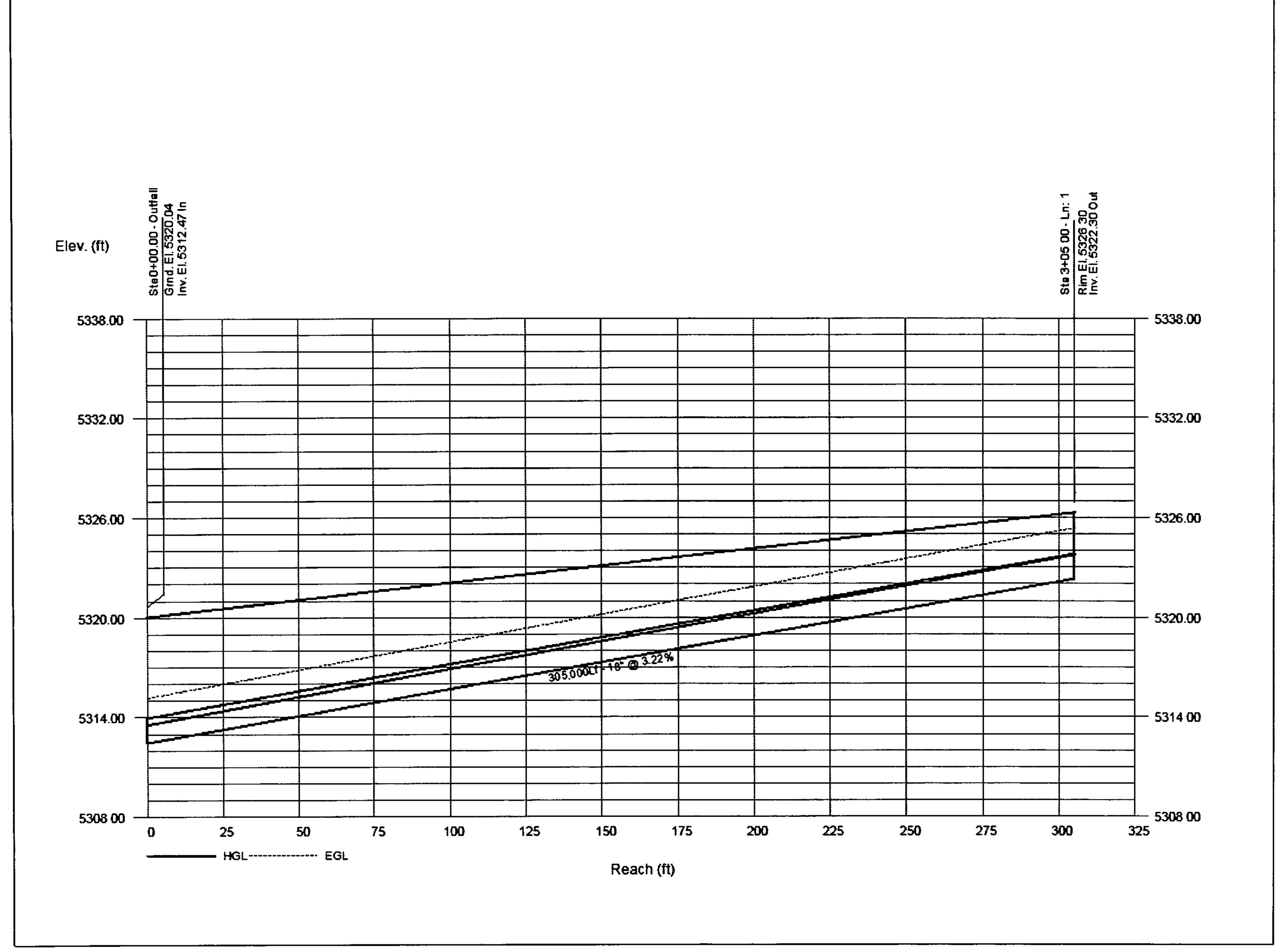
UNLET #-DOUBLE C- LOCATION:	
h =	REQUIRED Q = $17.8$ cfs $2$

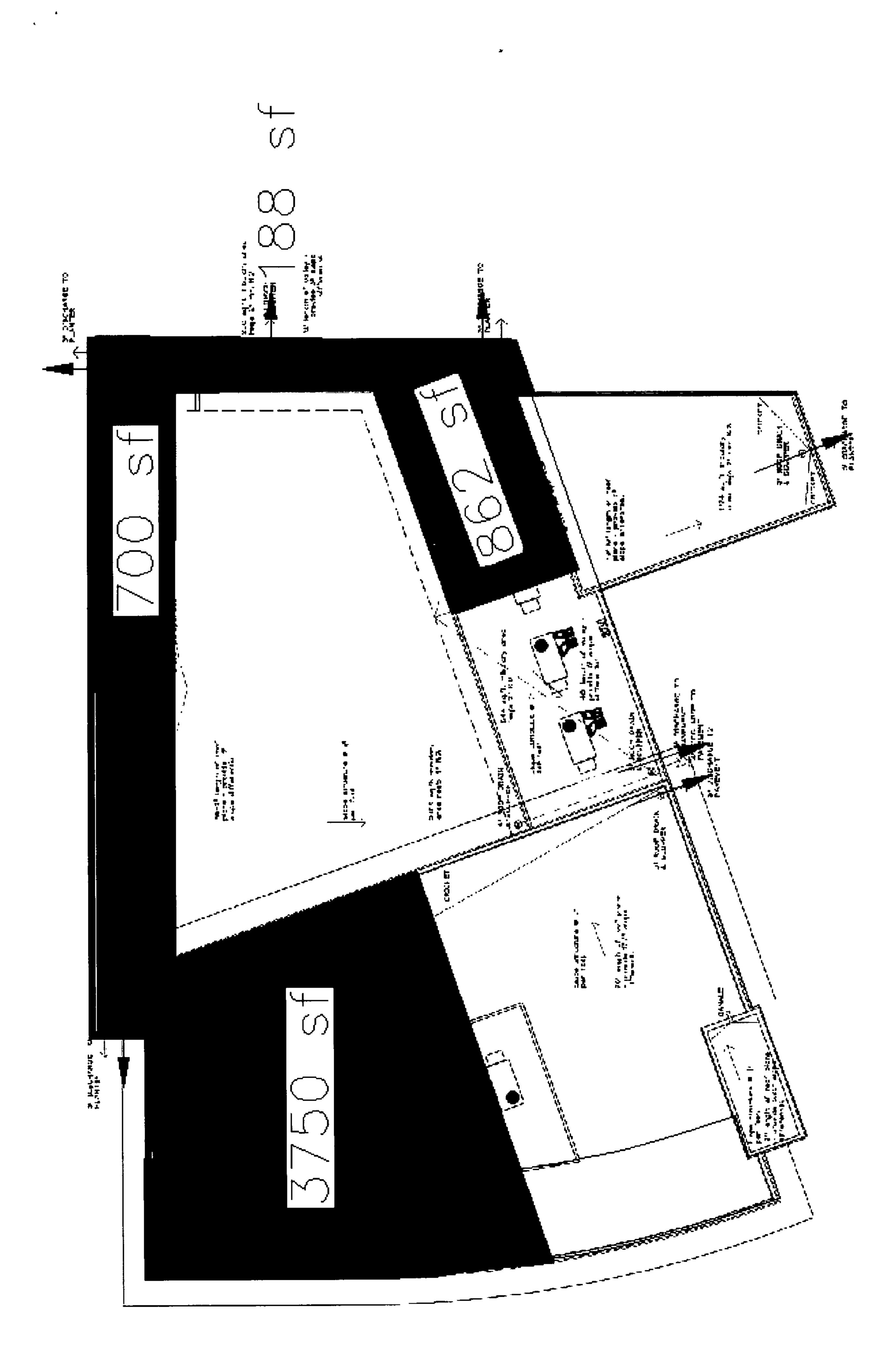
e intet

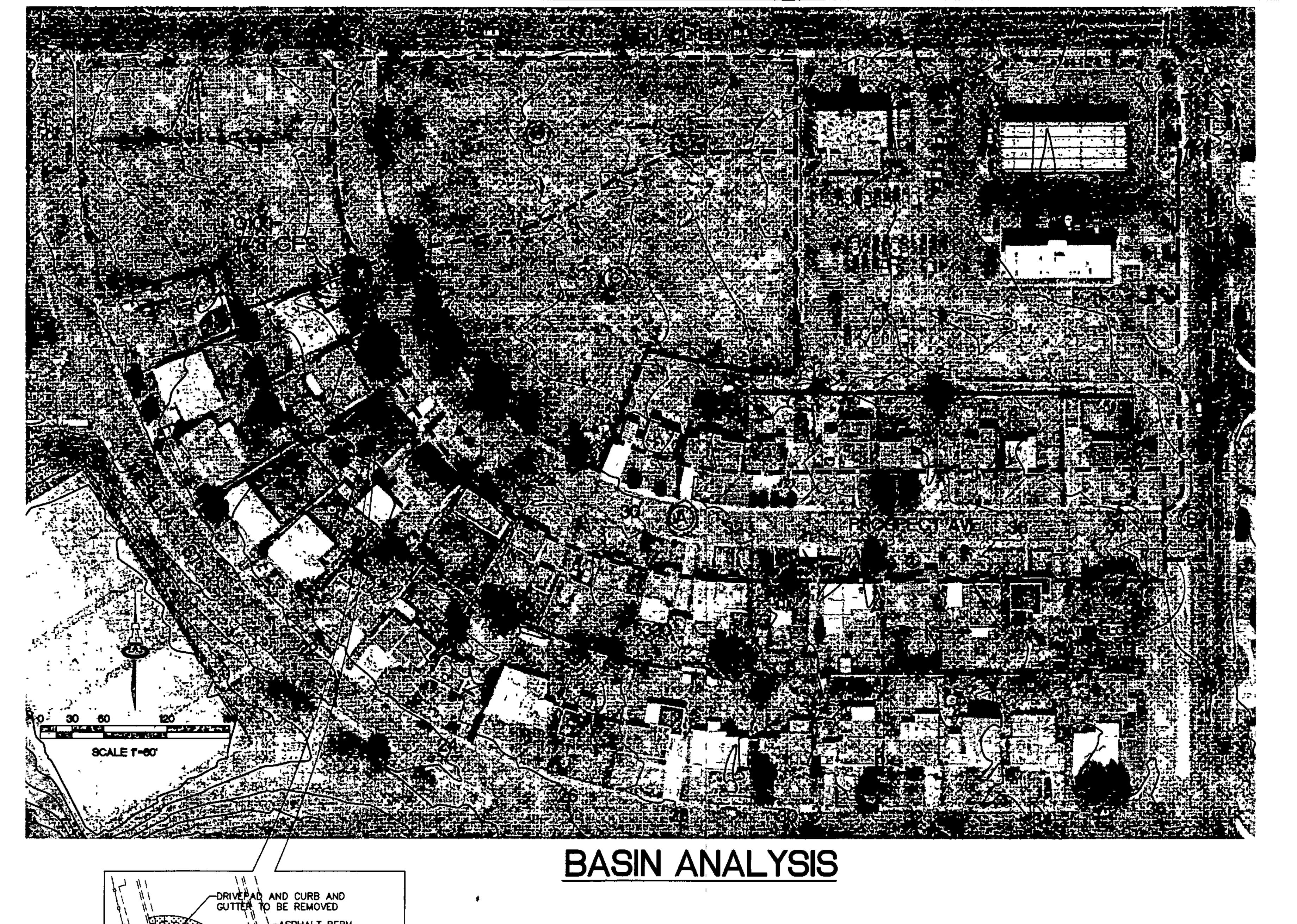


### IA-RPT

Line No.	Flow	Line Size	Line Length	Line Slope	Invert Dn	Invert Up	HGL Dn	HGL Up	HGL Jnct	Flow Rate	Gnd/Rim El Dn	Gnd/Rim El Up	Junct Type	Known Q	n-vai Pipe	Minor Loss	Total Runoff	Vel Dn	Vei Up	
	(cfs)	(in)	(ff)	(%)	(ft)	(ft)	(ft)	<b>(ft)</b>	(ft)	(cfs)	(ft)	(ft)		(cfs)		(ft)	(cfs)	(fVs)	(fVs)	
1	17.80		305.000	3.22	5312.47	5322.30	5313.55	5323.75	5323.75	17.80	5320.04	5326.30	МН	17.80	0.012	n/a	0.00	13.02	10.18	
										:										
	;																		• •	
									<b>:</b>											
					:		:													
		į																		
												:								
								<b>.</b>												
																			;	
2072	SD			<u> </u>	<u></u>	<u></u>	<u></u>			<u>t</u>	1		Numbe	or of lines:	1	•		Date: 2/	27 <i>[</i> 2015	
NOTE	ES: ** Crit	ical depth	, <b>-</b> ,	. •					_							••••	l			







BASIN AREAS

- $\triangle$  = 80,319 SF
- **B** 13,743 SF
- © = 67,918 SF
- (D) = 60,300 SF

#### DRAINAGE ANALYSIS

BASINS A, B AND C WILL CONTINUE TO DISCHARGE TO THE EXISTING PAVED STREET, PROSPECT AVENUE. STORMWATER WILL CONTINUE TO FLOW NORTH WITHIN THE STREET TO ITS PROPOSED DEAD END NORTH OF THE NORTHERNMOST RESIDENCE. NEW CURB AND GUTTER AND CONCRETE WALK WILL BE CONSTRUCTED TO END THE STREET AS SHOWN. FLOW GENERATED DURING SMALLER STORM EVENTS (2-YEAR, 6-HOUR = 5.6 CFS) WILL PASS THROUGH THE PROPOSED 2' WIDE COVERED SIDEWALK CULVERT WHILE LARGER EVENTS WILL BE PERMITTED TO CROSS THE WALK AT THE PROPOSED DIP SECTION. THE 100-YEAR, 6-HOUR FLOW OF 17.5 CFS (BASINS A, B AND C) WILL BE REDIRECTED WEST THROUGH TRACT A-1 BY A PROPOSED ASPHALT BERM WHICH WILL PREVENT FLOW FROM CONTINUING WITHIN THE NEWLY ABANDONED PROSPECT AVE. STREET SECTION NORTH OF THE ROAD CLOSURE. THIS FLOW WILL BE CARRIED WEST WITHIN A LOW PROFILE DRAINAGE SWALE TO ENTER MESILLA STREET.

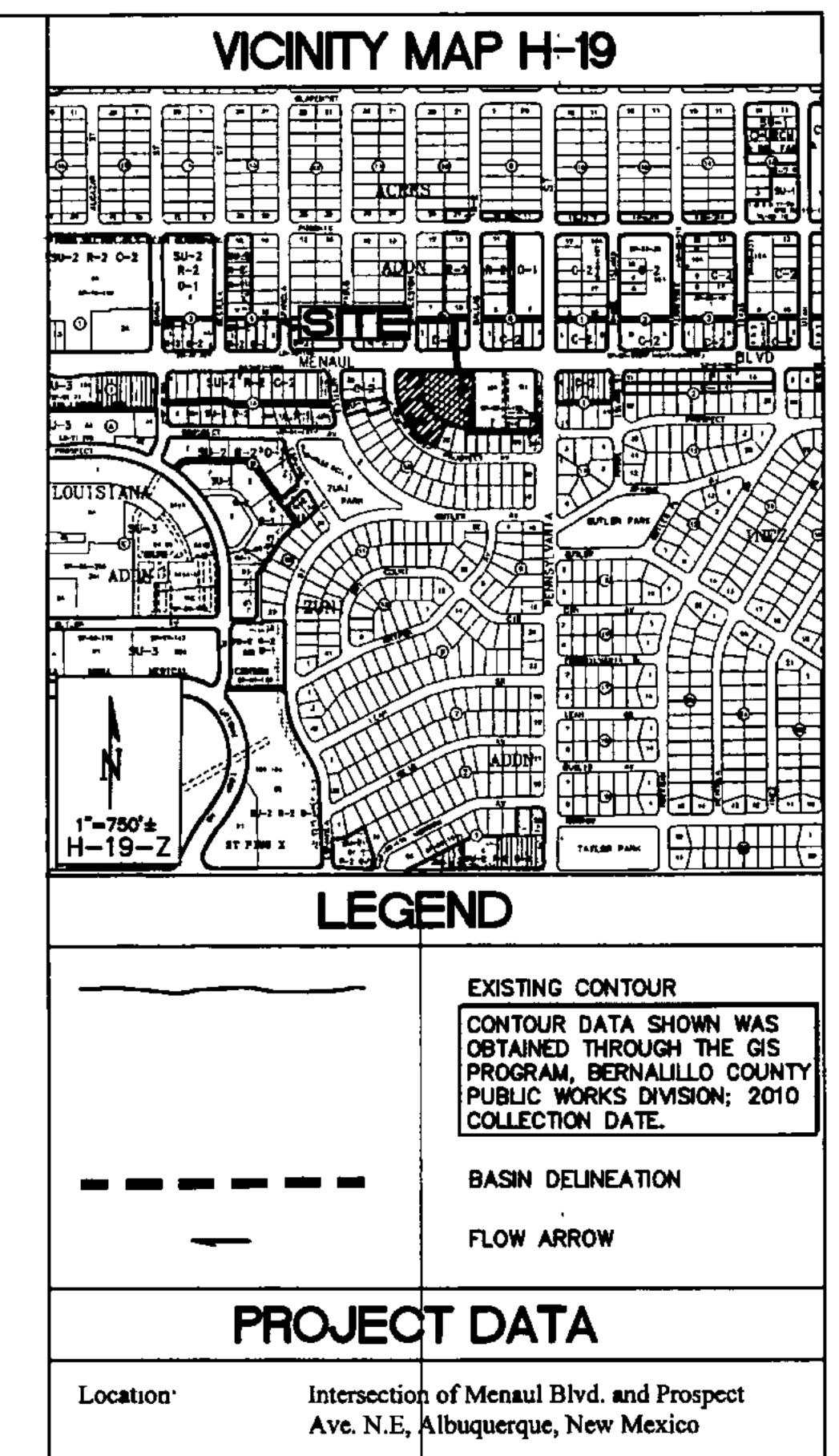
BASIN D, IN THE UNDEVELOPED CONDITION, WILL GENERATE APPROXIMATELY 4.8 CFS DURING THE 100—YEAR, 6—HOUR STORM. THIS FLOW WILL ENTER THE ABANDONED PROSPECT AVE. STREET SECTION AND WILL BE ROUTED NORTH WITHIN THE ABANDONED STREET TO ENTER MENAUL BLVD. AT THE PROPOSED 2' WIDE COVERED SIDEWALK CULVERT.

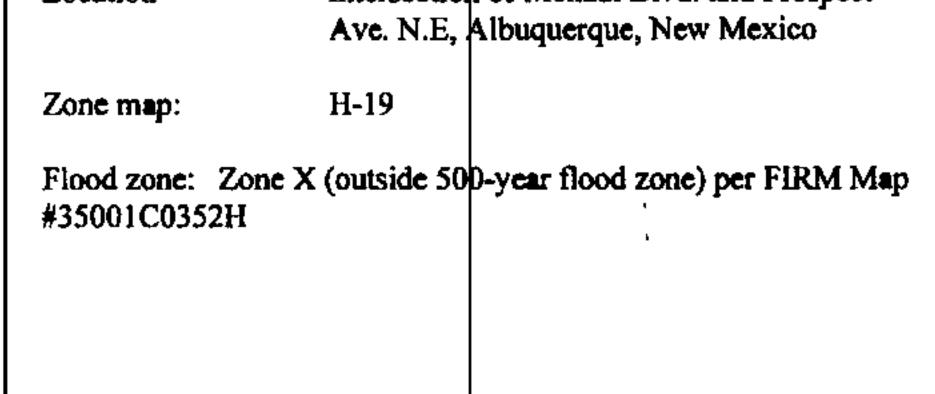
FUTURE IMPROVEMENTS TO TRACT A-1 WILL ADDRESS REVISED DISCHARGE PATTERNS WITH FULL DISCHARGE PERMITTED TO SURROUNDING STREETS. WATER HARVESTING BASINS WITHIN LANDSCAPED AREAS WILL BE PROVIDED AS PERMITTED TO REDUCE OVERALL SITE RUNOFF.

#### BASIN CALCULATIONS

BASIN A	A STATE OF THE STA		DESCRIPTION	-	•	- Prospect Aver	nie Bakin -	1.
Area of basin flows =	20319	<b>SF</b>		=		1. <b>8</b> Ac.		
The following calculate	ions are based on T	reatine	nt areas as shown in t	able to	the right	LAND I	REATMENT	
	Sub-besin Weigh	ted Exc	ess Precipitation (se	form	(svoda ska	A=,	. 096	
	Weighted E		2.20			₽=,	*D%	
	Sub-besm Volum	e of Ru	moff (see formula ab	ove)	_	C =,	1536	
	V <sub>360</sub>	=	14722	CF		<b>D</b> = [	**85%	
	Sub-besm Peak D	ischar	e Rate: (see formula	above	<u></u>			
	Q.	=	* *	cfs				
BASIN B	Hancesty 24		DESCRIPTION	-	<b>7</b>	Petinsylvania Av	vouc Besin	
Area of basin flows =	£13743	2F		=		0.3 Ac		
The following calculat	ons are based on T	realme	nt areas as shown in t	able fo	the right	LAND I	REATMENT	
	Sub-besm Weight	ted Exc	ess Precipitation (se	form	nla above)	A=_	10%	
	Weighted E	=	2.25	10.	]	B ≖ .	0%	
	Sub-beam Volum	c of Ru	moff (see formula ab-	ove)	_	C =	10%	
	V <sub>360</sub>	=	25\$0	CF	]	D =	90%	
	Sub-besm Peak D	rschar	ec Rate (see formula	above	<b>i</b>			
	Q.	=	1.5	c îs	]			
BASIN C	NAME OF THE PERSON OF THE PERS		DESCRIPTION	•	Retail Pr	operty Basin (De	veloped Condit	non)
Area of besin flows =		SF	-	*		16 Ac	•	
The following calculate	ons are based on T	reaime	nt areas as shown in t	able to	the right	LAND I	REATMENT	
	Sub-besm Weight	ted Exc	ess Precipitation (se	form:	ula above)	A=	0%	
	Weighted E	#	2.20	in	]	B =	0%	
	Sub-besin Volum	e of Ru	moff (see formula ab	ove)	_	C = ,	1.5%	
	V <sub>360</sub>	=	12449	CF		D ==	85%	
	Sub-basin Peak D	rachar	se Rate. (see formula	above)	5			
	Q <sub>2</sub>	=	7.5	cfs				
BASIN D			*DESCRIPTION	· , - ,	· Off-si	te Retail (Undev	loped Conditio	<b>a)</b> . 1 */ ]
	60300	SF		=		14 Ac		
	40000		4	-bl- e-	the right	LAND T	REATMENT	
Area of basin flows = The following calculate		reatme	ait messe se spoad id i	BULE IO		•		
Area of basin flows =	ons are based on T		nt areas as shown in p ess Precipitation (se		-	<del>                                     </del>	0%	
Area of basin flows =	ons are based on T			e form	-	<del>                                     </del>		
Area of basin flows =	Sub-basin Weight Weighted E	ed Exe	ess Precipitation (se	e form m	-	Α=	0%	

4 **8** cfs





FRM MAPS #35001C0352H / #3500020356H

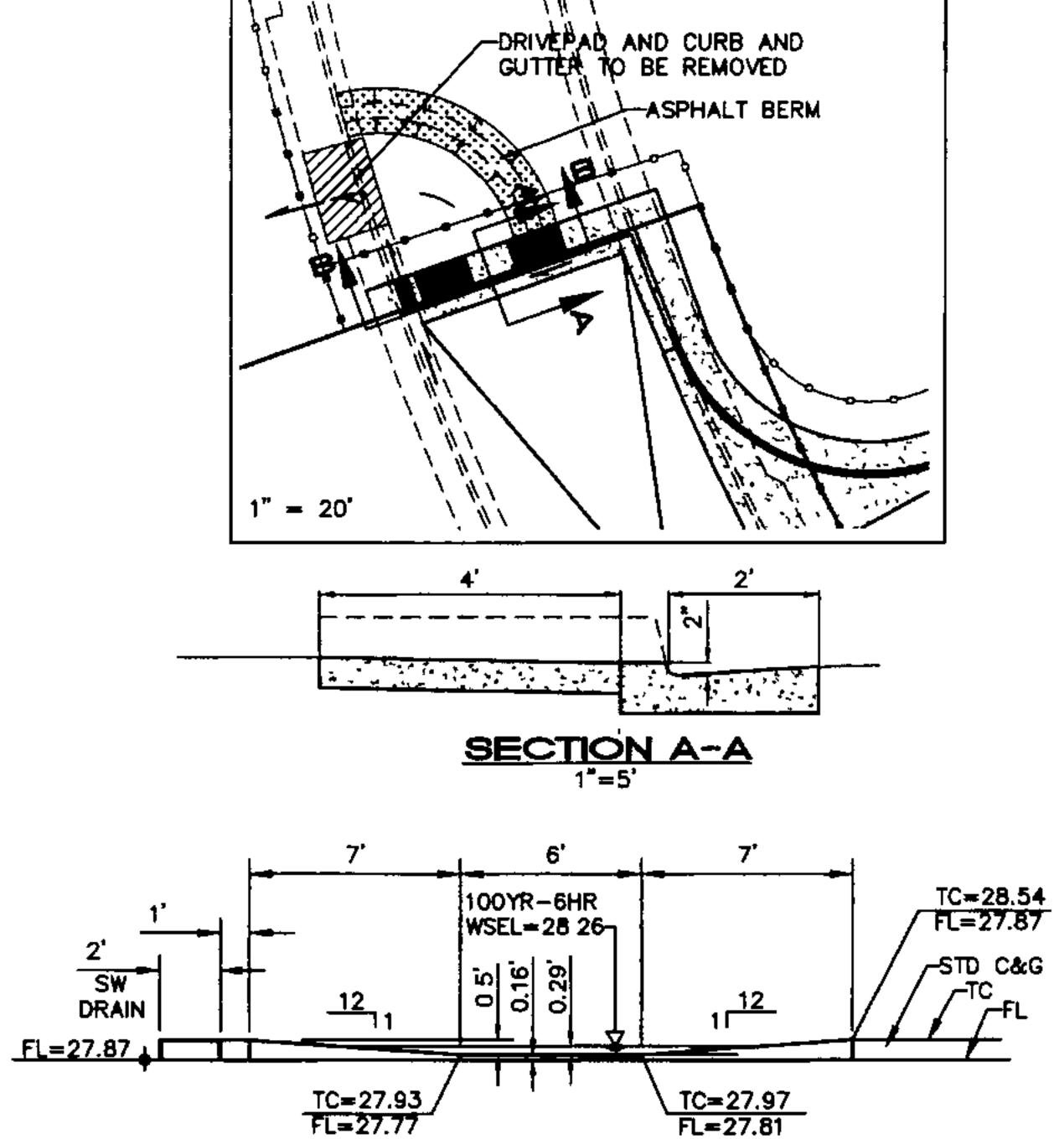


MENAUL AND PROSPECT
RETAIL CENTER

SANDIA FOUNDATION

OFFSITE DRAINAGE BASIN EXHIBIT

Date:	Ha.	Redder	 Dubi	CPN.
				762382
Drawn By:	Ē			PAGE
Ckd By:	╁		<u> </u>	
, , , , , , , , , , , , , , , , , , ,			 	SH 6 OF 7



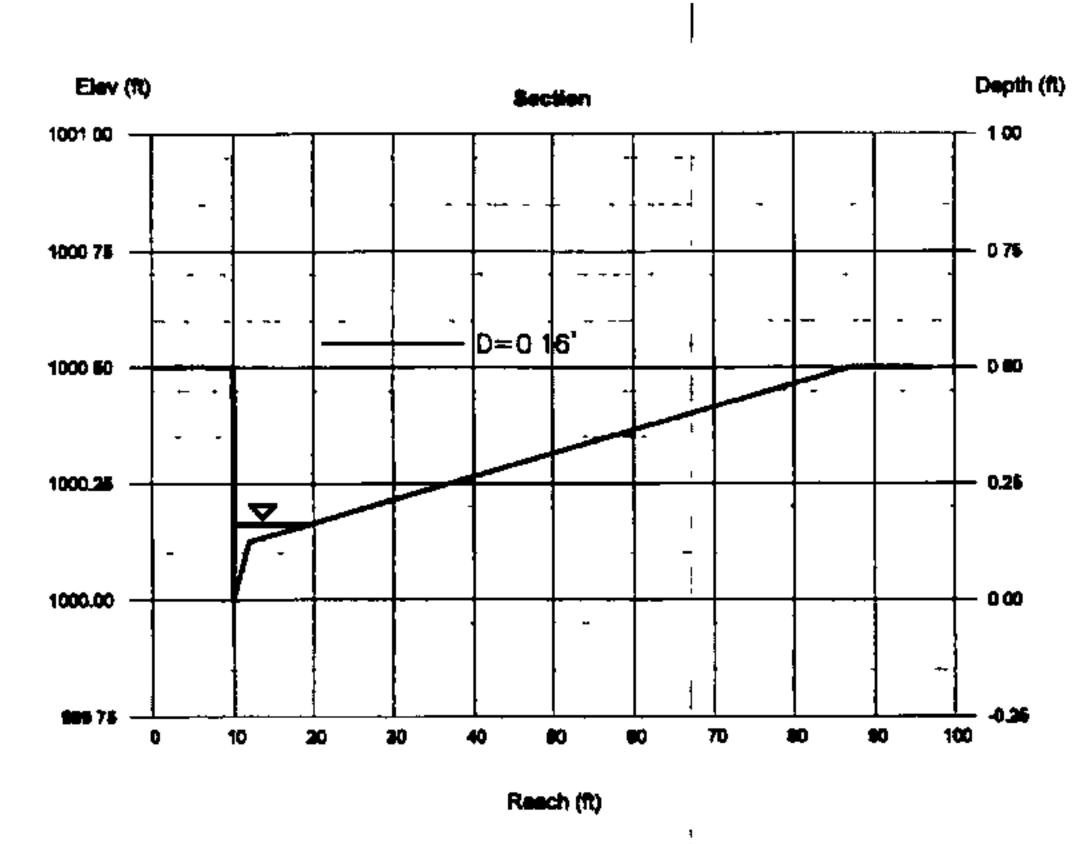
TOTAL Q100 - 17.8 CFS

Q DIP SECTION = 15.4 CFS

SECTION B-B

Q CULVERT = 24 CFS

| Channel Report RETAIL. | Channel Report RETAIL Report Retail Report Retail Report Retail Report Retail Report Retail Ret



Elev (ft)

Section

Depth (ft)

1000 75

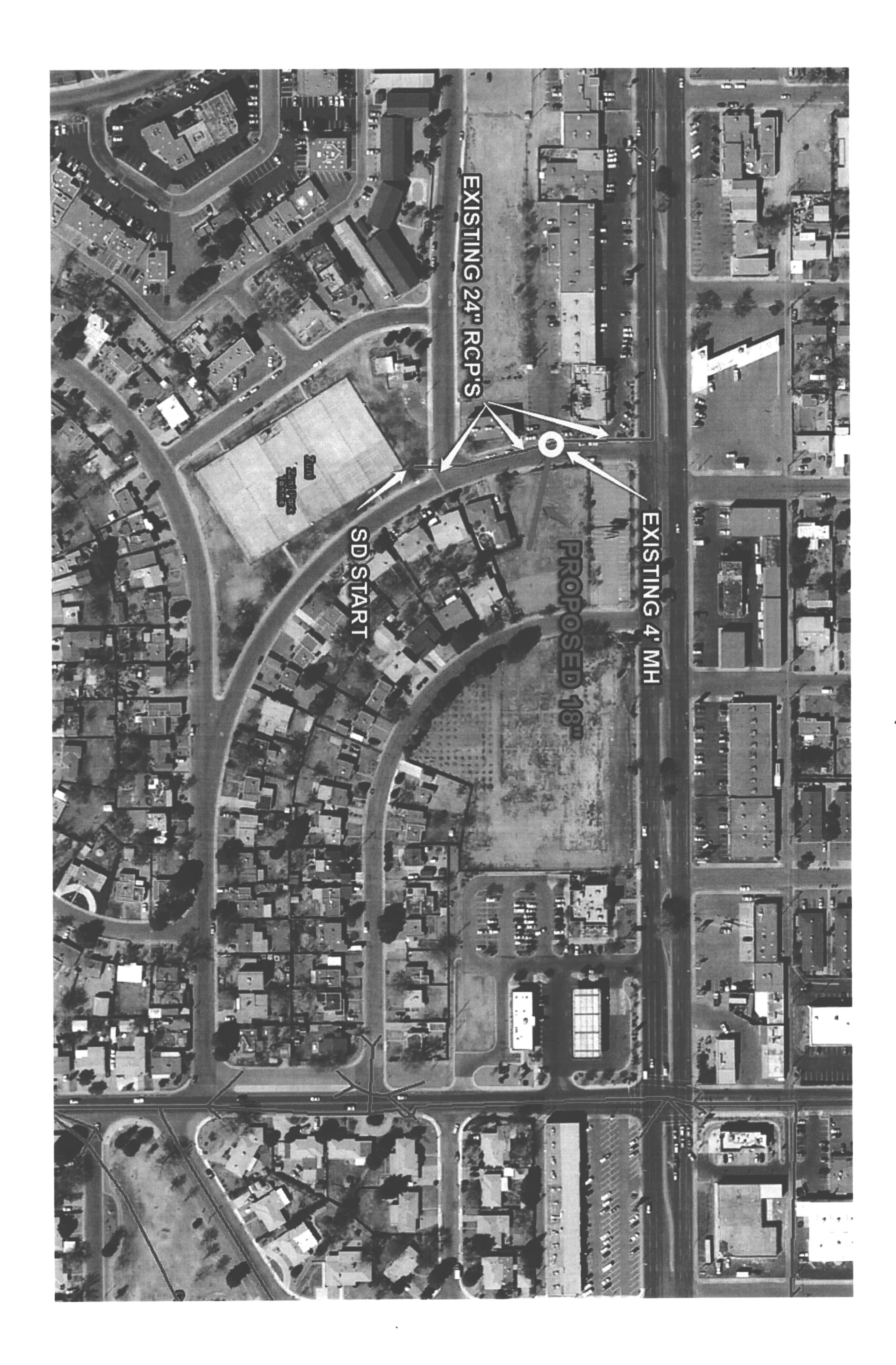
1000 80

1000.25

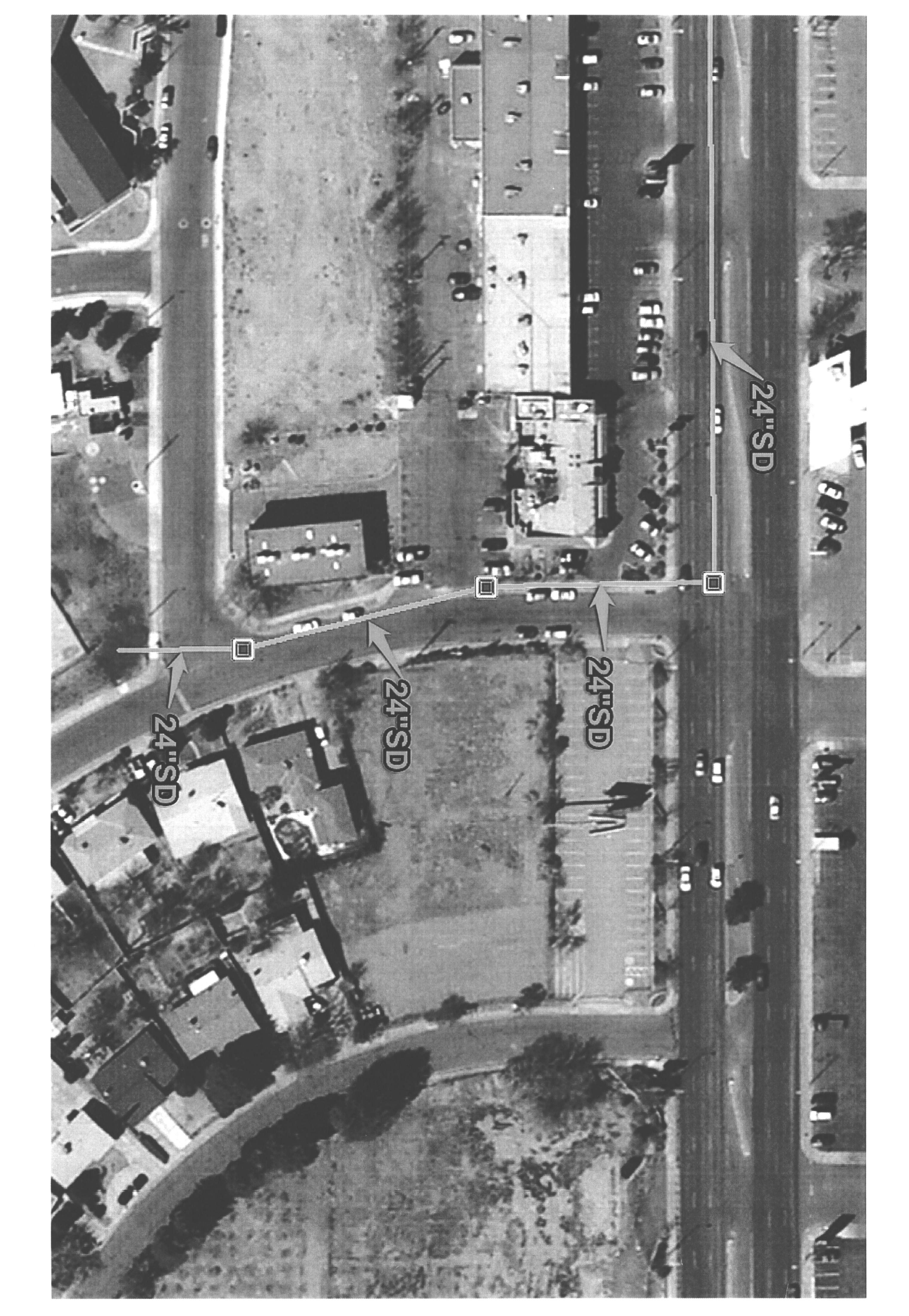
1000.00

Reach (ft)

MENAUL & PROSPECT RETAIL CENTER - SIDEWALK DIP SECTION



Main Bank Site Existing SD Inlet



### Cherne, Curtis

From: Cherne, Curtis

Sent: Friday, February 20, 2015 4:43 PM

To: Ortiz, Monica

Cc: Fred Arfman (freda@iacivil.com)

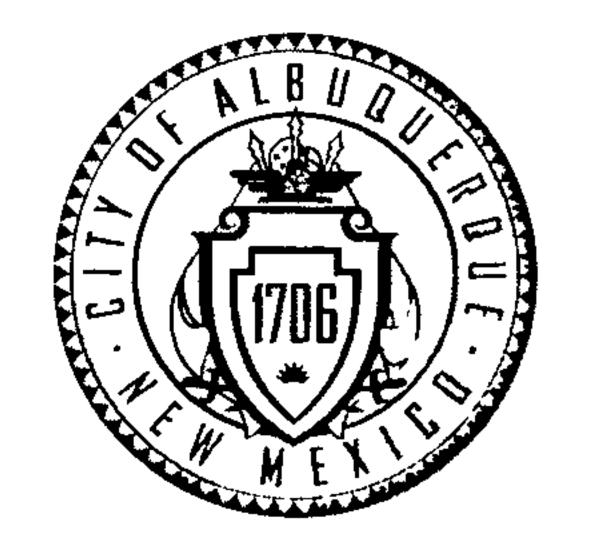
Subject: foundation only permit 7402 Menaul NE-Mian Bank

#### Monica,

I have reviewed the grading plan and even though it is not approved yet, the finished floor elevation is acceptable and it is OK to approve the foundation only permit.

Curtis

PLANNING DEPARTMENT - Development Review Services



Richard J. Berry, Mayor

February 26, 2015

Fred Arfman, P.E.

Isaacson & Arfman, P.A.

128 Monroe Street N.E.

Albuquerque, NM 87108

RE: Main Bank

Grading & Drainage Plan

Engineer's Stamp Date 1-23-2015 (File: H19D055A)

Dear Mr. Arfman:

Based upon the information provided in your submittal received 1-26-2015, the above referenced cannot be approved for Building Permit until the following comments are addressed:

- ✓1. Provide a narrative explaining drainage concept, and "first flush" and offsite flows.
- A. How are the offsite flows (17.8 cfs) determined. Provide documentation or calculations.
- PO Box 1293 -3. Provide calculations for 18" Storm Drain.
  - 4. Roof Drains discharging to private access road indicate the basin boundary passes thru the building.
  - 75. The 8' wide curb cuts seem fine at the parking islands to capture flow. However, at the west side of the parking lot, most of the flow would discharge out the curb cuts, overfill the ponds, and then over the Sidewalk. The curb cuts should limit the discharge to the capacity of the ponds.
  - ✓ 6. There is 3.7 cfs increase to Mesilla. Is there capacity? Is there a Master Drainage Report?
  - 7. What is the meaning of the curved lines between pond A and Pond B1?
    - 8. Provide inlet capacity calculations for Double C inlet.

www.cabq.gov

New Mexico 87103

Albuquerque

If you have any questions, you can contact me at 924-3695.

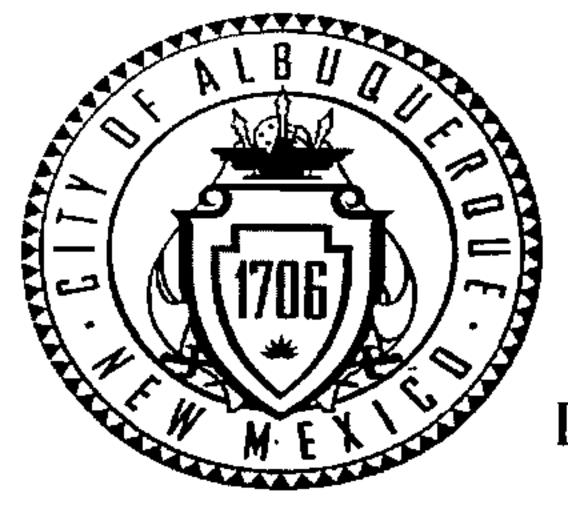
Sincerely.

Rita Harmon, P.E.

Senior Engineer, Planning Dept.

Development Review Services

Orig: Drainage file



### Planning Department

### Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank	Building Permit #:	City Drainage #: H19D055A
DRB#: EPC#:		Work Order#:
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addi	tion	
City Address:		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albud	querque, NM 87108	
Phone#: (505) 268-8828 Fax#:		E-mail: freda@iacivil.com
Owner: Main Bank		Contact:
Address:		
Phone#: Fax#:		E-mail:
Architect: Dorman Breen Architects		Contact: Laurence Breen
Address: P.O. Box 11608 - Albuquerque, NM 87192		
Phone#: (505) 299-5940 Fax#:		E-mail:
Surveyor: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Drive NW - Albuquerque, I	NM 87108	
Phone#: (505) 897-3366 Fax#:		E-mail:
Contractor:		Contact:
Address:		
Phone#: Fax#:		E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	ree release ( County
X DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPE	ROVAL
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	
CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERMI	
X GRADING PLAN	SECTOR PLAN APPROVAI	JAN 23 2015
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPA	NCY (PERM)
CLOMR/LOMR  TRAFFIC CIRCULATION LANGUE (TCL)	EQUIDATION DEDMIT AD	DROVAL LENIPLAND DEVELOR WITH
TRAFFIC CIRCULATION LAYOUT (TCL) ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPRO	
ENGINEER'S CERT (TCL)  ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (DRD 311E 1 EAR) ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	
SO-19	WORK ORDER APPROVAL	
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	py Provided
		py riovided
DATE SUBMITTED: January 23, 2015	By: Fred C. Arfman  Isaacson & Afrman P A	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1 Conceptual Grading and Drainage Plan Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



November 17, 2014

Fred Arfman, P.E. 128 Monroe St NE Albuquerque, NM 87108

Re: Main Bank Conceptual Grading and Drainage Plan Engineer's Stamp Date –no stamp- (H19D055A)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 11-14-14, the above referenced plan is approved for Site Plan for Building Permit action by the DRB with the following condition: the area between the sidewalk culvert/walk-dip section and the inlet will be concrete and included in the DRC construction plans.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Sincerely,

Cut a Chin

Albuquerque

Curtis Cherne, P.E.

Principal Engineer, Hydrology

Planning Dept.

New Mexico 87103

www.cabq.gov

C: e-mail

### **Bryan Bobrick**

From: Bryan Bobrick <bryanb@iacivil.com>
Sent: Bryan Bobrick <bryanb@iacivil.com>

To: 'Ortiz, Monica'

Subject: Main Bank - Menaul Blvd - Conceptual G&D Resubmittal

Attachments: 2072 CG-101 CONCEPTUAL-GRADING & DRAINAGE PLAN.pdf

Bryan J. Bobrick Project Manager

Isaacson & Arfman, P.A.
Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108

Phone: (505)268-8828 Fax: (505)268-2632 bryanb@iacivil.com



### Planning Department

### Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank	Building Permit #:	City Drainage #: H19D055A
DRB#: EPC#:		Work Order#:
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Add	ition	
City Address:		· ————————————————————————————————————
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albu	querque, NM 87108	
Phone#: (505) 268-8828 Fax#:		E-mail: freda@iacivil.com
Owner: Main Bank		Contact:
Owner: Main Bank Address:	<u>.                                    </u>	
Phone#:		E-mail:
Architect: Dorman Breen Architects		Contact: Laurence Breen
Architect: Dorman Breen Architects  Address: P.O. Box 11608 - Albuquerque, NM 87192		
Phone#: (505) 299-5940 Fax#:		E-mail:
		Contact: Russ P. Hugg
Surveyor: Surv-Tek, Inc.  Address: 9384 Valley View Drive NW - Albuquerque,	NM 87108	Contact. 1 tagg
Phone#: (505) 897-3366 Fax#:		E-mail:
		Contact:
Contractor:	<u> </u>	- Contact.
Address:  Phone#:  Fax#:	<u>"</u>	E-mail:
		AT A CORDEANCE COLCUIT.
TYPE OF SUBMITTAL:		AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN  DDELIMINADY DLAT APP	
DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL	PRELIMINARY PLAT APPROVAL S. DEV. PLAN FOR SUB'D APPROVAL	
X CONCEPTUAL G & D PLAN RESUBMITTAL	S. DEV. FOR BLDG. PERM	
GRADING PLAN	SECTOR PLAN APPROVAL	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPA	ANCY (PERM)
CLOMR/LOMR	CERTIFICATE OF OCCUPA	
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT A	
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPRO	• • • • • • • • • • • • • • • • • • •
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	AL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVA	L ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATIO	OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No C	opy Provided
DATE SUBMITTED: November 14, 2014	By: Fred C. Arfman	
	Isaacson & Afrman, P.A.	ge submittal. The particular nature location, and

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- Conceptual Grading and Drainage Plan Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



November 11, 2014

Fred Arfman, P.E. 128 Monroe St NE Albuquerque, NM 87108

Re: Main Bank, Conceptual Grading and Drainage Plan Engineer's Stamp Date –no stamp- Conceptual (H19D055A)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 10-30-14, the above referenced plan cannot be approved for Site Plan for Building Permit action by the DRB until the following comments are addressed:

1. The plan proposes to direct the stormwater leaving Prospect Ave in a 90 degree angle. This is not hydraulically favorable, may increase the depth and create a wave in the cahnnel.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

New Mexico 87103

Curtis Cherne, P.E.
Principal Engineer, Hydrology
Planning Dept.

www.cabq.gov

C: e-mail

Anifielly,

Fred and I discussed
building an inket (s) at the with and
of prospect are to could flow
prior to endering the site

Somewhere in the Shahab get involve, and Semi-Okid the concept presented here.

See privious plan for subdivision and work order to see how the worth ene of prospect is built.

October 9, 2014



David Thompson, PE Thompson Engineering Consultants, Inc. PO Box 65760 Albuquerque, NM 87193

La Luz Del Oeste, Unit 4 Re:

Lots K-4, K-5

Request Permanent C.O. - Accepted

Engineer's Stamp dated: 9-2-14 (F11D002A)

Certification dated: 10-8-14

Dear Mr. Thompson,

Based on the Certification received 10/8/2014, the above mentioned lots are acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

Sincerely,

Curtis Cherne, P.E.

Principal Engineer, Planning Dept. Development and Review Services

New Mexico 87103

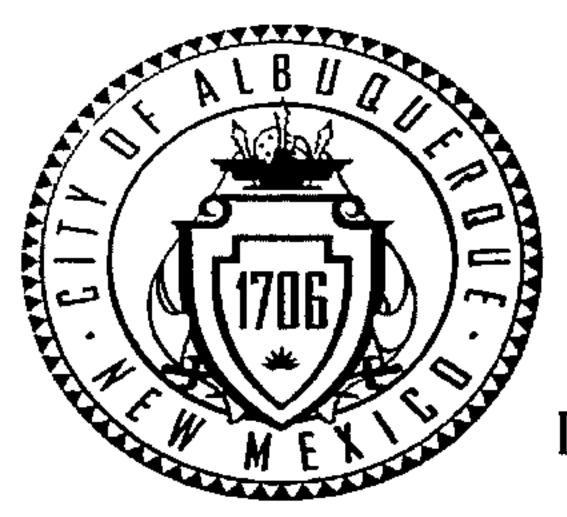
RR/CC www.cabq.gov

email

- Subject line & email - Needs address

- Mobile House - can be placed in flood zone

Eplan



### Planning Department

## Development & Building Services Division

### DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank	Building Permit #:	City Drainage #: H19D055A
DRB#: EPC#:		Work Order#:
Legal Description: Tract A-1, Blocks 16 & 17, Zuni A	ddition	
City Address:	•	<u> </u>
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred C. Arfman
Address: 128 Monroe Street NE - A	lbuquerque, NM 87108	
Phone#: (505) 268-8828 Fax#:		E-mail: freda@iacivil.com
Owner: Main Bank		Contact:
Address:		
Phone#: Fax#:		E-mail:
Architect: Dorman Breen Architects		Contact: Laurence Breen
Address: P.O. Box 11608 - Albuquerque, NM 871	92	<u> </u>
Phone#: (505) 299-5940 Fax#:		E-mail:
Surveyor: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Drive NW - Albuquerqu	Je, NM 87108	<u> </u>
Phone#: (505) 897-3366 Fax#:		E-mail:
Contractor:		Contact:
Address:	····	
Phone#:	· · · · · · · · · · · · · · · · · · ·	E-mail:
TYPE OF SUBMITTAL:	CHECK TYPE OF APPROV	AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	
DRAINAGE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D	APPROVAL
X CONCEPTUAL G & D PLAN	S. DEV. FOR BLDG. PERM	IT APPROVATION FOR FOR THE TOTAL TOTAL PROVATION FOR THE TOTAL PROVATION FOR THE PROVATION FOR THE PROPERTY OF THE PROVATION FOR THE PROVATION FOR THE PROPERTY OF THE PROVATION FOR THE PROVATI
GRAÐING PLAN	SECTOR PLAN APPROVAI	
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	OCT 3 0 2014
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPA	ANCY (PERM)
CLOMR/LOMR	CERTIFICATE OF OCCUPA	· • • • • • • • • • • • • • • • • • • •
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AF	PROVAL LAND DEVELOPMENT SECTION
ENGINEER'S CERT (TCL)	BUILDING PERMIT APPRO	OVAL
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	OVAL SO-19 APPROVAL
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	AL ESC PERMIT APPROVAL
SO-19	WORK ORDER APPROVAL	L ESC CERT. ACCEPTANCE
OTHER (SPECIFY)	GRADING CERTIFICATION	N OTHER (SPECIFY)
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	opy Provided
DATE SUBMITTED: October 29, 2014	By: Fred C. Arfman	
	Isaacson & Afrman, P.A.	1 1

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following levels of submittal may be required based on the following levels.

- Conceptual Grading and Drainage Plan Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

### **Bryan Bobrick**

From: Cherne, Curtis < CCherne@cabq.gov>

**To:** Bryan Bobrick

Sent: Wednesday, Octøber 29, 2014 2:03 PM

Subject: Read: Main Bank resubmittal - Conceptual Grading and Drainage Plan (H19D055A)

#### Your message

To: Cherne, Curtis

Subject: Main Bank resubmittal - Conceptual Grading and Drainage Plan (H19D055A)

Sent: Wednesday, October 29, 2014 1:35:45 PM (UTC-07:00) Mountain Time (US & Canada)

was read on Wednesday, October 29, 2014 2:03:08 PM (UTC-07:00) Mountain Time (US & Canada).

Friday, Sep 19 2014

12

10

11

### <Name>

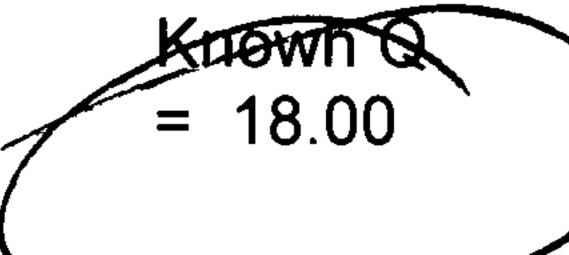
Rectar	ngular
	3 A # 141

Bottom Width (ft) = 10.00Total Depth (ft) = 0.50

Invert Elev (ft) = 27.50 Slope (%) = 0.80 N-Value = 0.013

### Calculations

Compute by: Known Q (cfs)



2

3

4

### Highlighted

Depth (ft) = 0.37Q (cfs) = 18.00Area (sqft) = 3.70Velocity (ft/s) = 4.86 Wetted Perim (ft) = 10.74Crit Depth, Yc (ft) = 0.47Top Width (ft) = 10.00 EGL (ft) = 0.74

Arkitect asmt

Elev (ft)

Section

Depth (ft)

29.00

1.50

28.50

27.50

0.00

27.00

6

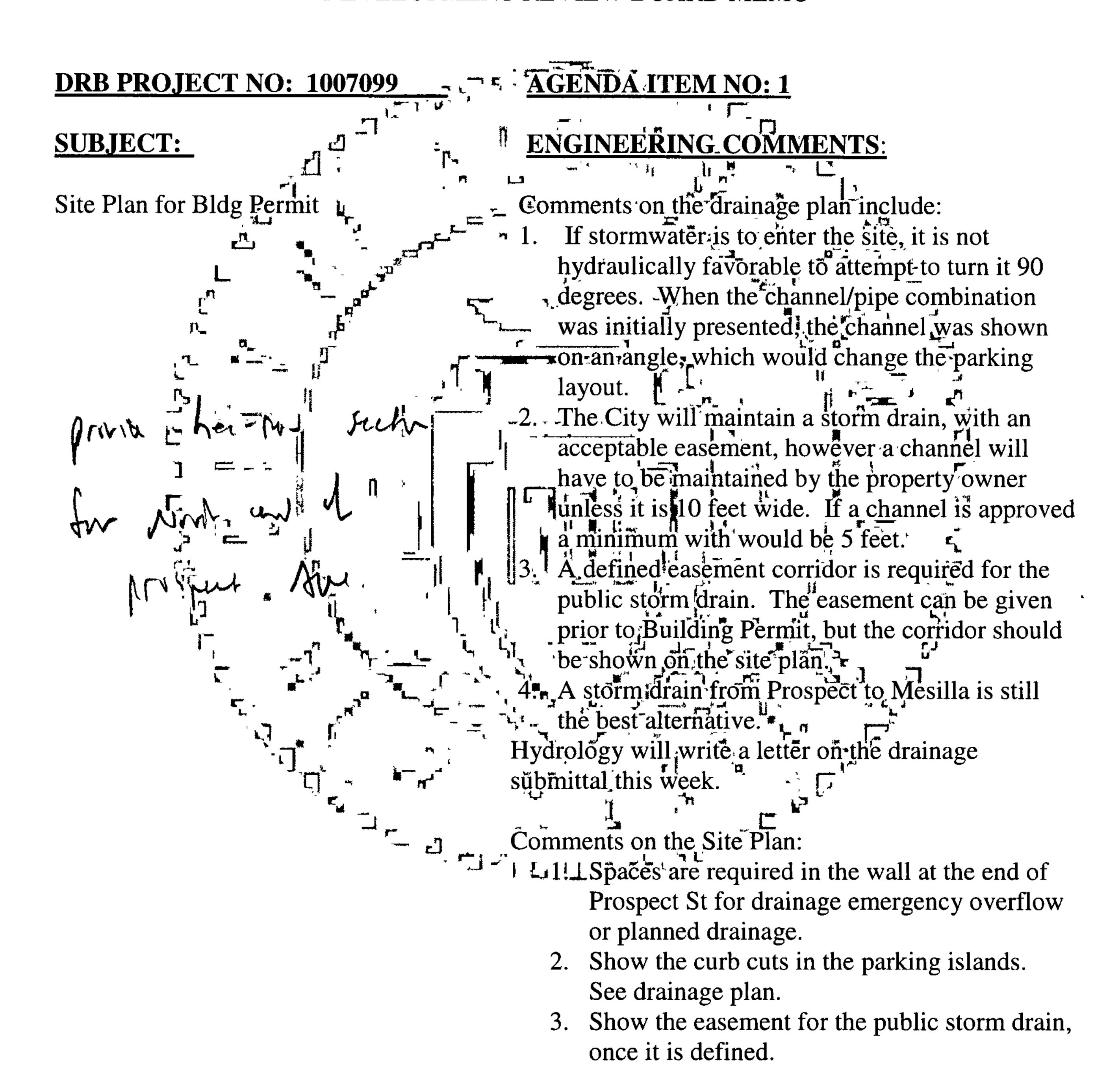
8

9

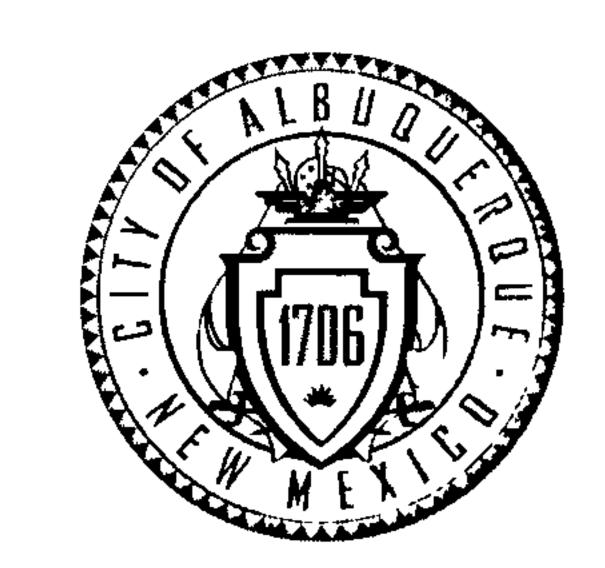
# CITY OF ALBUQUERQUE PLANNING DEPARTMENT

#### HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO



September 16, 2014



Fred C. Arfman, PE Isaacson & Arfman, PA 128 Monroe St NE Albuquerque, NM 87108

Main Bank Re:

Menaul/Prospect

Conceptual Grading & Drainage Plan (H19D055A)

Dear Mr. Arfman,

Based upon the information provided in your submittal received 9/27/14, the above referenced plan cannot be approved for Site Plan for Building Permit action by the DRB until the following comments have been addressed.

- Show the inlets and storm drain from Prospect Ave to Mesilla Ave.
- An emergency opening should be provided in the CMU wall at the end of Prospect Ave.

PO Box 1293

When submitting for building permit review, describe how the site will manage the first flush. Also, I noticed that curb openings are not shown in the landscaping for the first flush to enter or exit.

Albuquerque

Note, this review was for Site plan for Building Permit for the DRB, a more detailed review will be accomplished for Building permit according to the DPM.

New Mexico 87103 If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

www.cabq.gov

Sincerely,

Curtis Cherne, P.E.

Principal Engineer, Planning Dept. Development and Review Services

Cut & Chur

RR/CC

email

### Cherne, Curtis

To:

Dicome, Kym

Subject:

EPCOCtober 9th 2014

#### 1000029

Sector Plan Amendment- No adverse comments

#### 1000501

Site Plan Bldg Permit- For DRB approval, submit a grading and drainage plan prepared by a NM Professional Engineer that includes how the site will manage the first flush.

#### 1007099

Site Plan Bldg Permit -18 cfs is a lot of flow for a wall opening and to be draining across the site. This property would be better served if an inlet(s) was constructed in Prospect st and a storm drain constructed from the inlet to the storm drain in Mesilla St. For Del?

### **Bryan Bobrick**

From:

Ortiz, Monica <mortiz@cabq.gov>

To:

Bryan Bobrick

Sent:

Wednesday, August 27, 2014 11:33 AM

Subject:

Read: FW: Submittal for Conceptual G&D Plan - Main Bank - Menaul Blvd.

#### Your message

To: Ortiz, Monica Cc: ruthl@iacivil.com

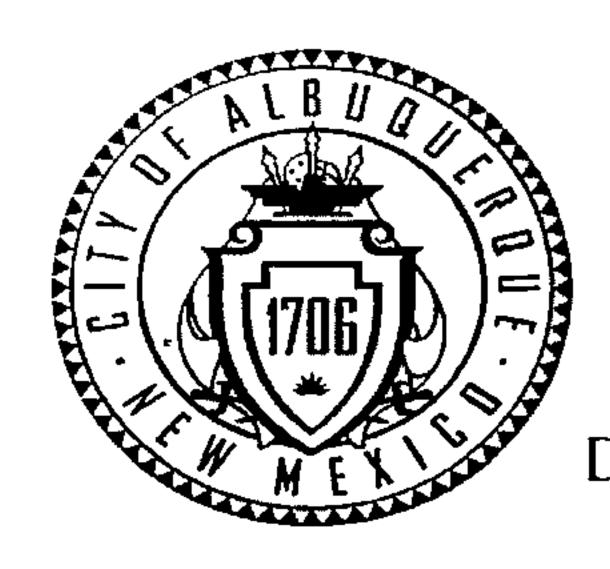
Subject: FW: Submittal for Conceptual G&D Plan - Main Bank - Menaul

Blvd.

Sent: Wed, 27 Aug 2014 11:31:51 -0600

was read on Wed, 27 Aug 2014 11:32:35 -0600





### Planning Department

# Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

419D0 SSA

Project Title: Main Bank	Building Permit #:	City Drainage #: H19/
DRB#: EPC#:		Work Order#:
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Add	ition	•
City Address:		
Engineering Firm: Isaacson & Arfman, P.A.		Contact: Fred C. Arfman
Address: 128 Monroe Street NE - Albu	querque, NM 87108	
Phone#: (505) 268-8828 Fax#:		E-mail: freda@iacivil.com
Owner: Main Bank		Contact:
Address:		Contact.
Phone#:		E-mail:
Architect: Dorman Breen Architects		Contact: Laurence Breen
Address: P.O. Box 11608 - Albuquerque, NM 87192	· · · · · · · · · · · · · · · · · · ·	Contact. Laurence Dieen
Phone#: (505) 299-5940 Fax#:		E-mail:
Surveyor: Surv-Tek, Inc.		Contact: Russ P. Hugg
Address: 9384 Valley View Drive NW - Albuquerque,	NM 87108	Contact. Itass i i lagg
Phone#: (505) 897-3366 Fax#:		E-mail:
Cantuastan		Contact
Contractor: Address:		Contact:
Phone#:		E-mail:
THOREM.		
TYPE OF SUBMITTAL:		AL/ACCEPTANCE SOUGHT:
DRAINAGE REPORT	SIA/FINANCIAL GUARAN	
DRAINAGE PLAN 1st SUBMITTAL	PRELIMINARY PLAT APPI	
DRAINAGE PLAN RESUBMITTAL  X CONCEPTUAL G & D PLAN	S. DEV. PLAN FOR SUB'D S. DEV. FOR BLDG. PERMI	ALLYONAL HVI 15 15 11 14 15 11 5 11 5 11 5 11 5 11
GRADING PLAN	SECTOR PLAN APPROVAL	T APPROVALID C
EROSION & SEDIMENT CONTROL PLAN (ESC)	FINAL PLAT APPROVAL	AUG 2 7 2014
ENGINEER'S CERT (HYDROLOGY)	CERTIFICATE OF OCCUPA	NCY (PERM)
CLOMR/LOMR	CERTIFICATE OF OCCUPA	ANCY (TCL TEMIAND DEVELOPMENT SECTION
TRAFFIC CIRCULATION LAYOUT (TCL)	FOUNDATION PERMIT AP	
ENGINEER'S CERT (TCL)	X BUILDING PERMIT APPRO	
ENGINEER'S CERT (DRB SITE PLAN)	GRADING PERMIT APPRO	
ENGINEER'S CERT (ESC)	PAVING PERMIT APPROV	
SO-19	WORK ORDER APPROVAI	
OTHER (SPECIFY)	GRADING CERTIFICATION	
WAS A PRE-DESIGN CONFERENCE ATTENDED:	Yes No Co	opy Provided
DATE SUBMITTED: August 27, 2014		- F
DATE SUBMITTED. August 21, 2017	By: Fred C. Arfman Isaacson & Afrman, P.A.	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

- 1 Conceptual Grading and Drainage Plan Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 Drainage Plans Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 Drainage Report Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 Erosion and Sediment Control Plan: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development