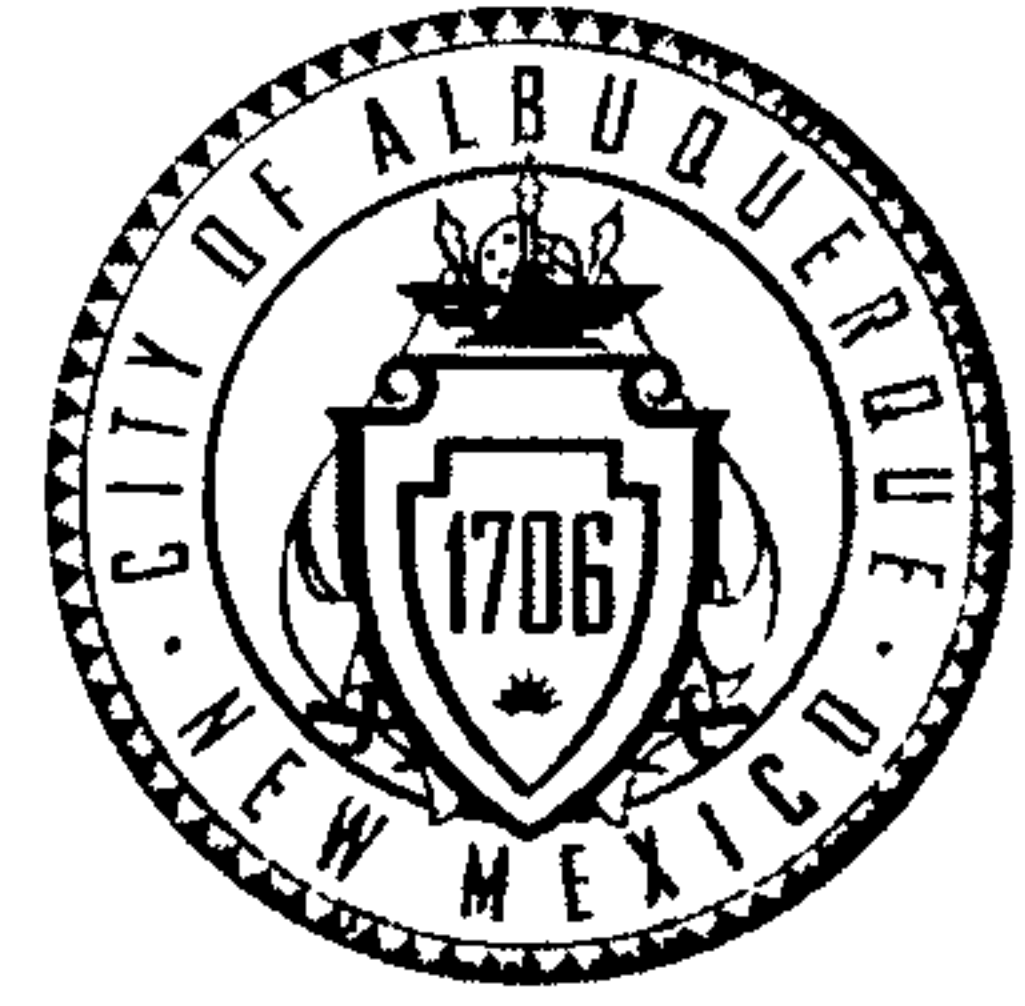


# CITY OF ALBUQUERQUE



March 23, 2016

Larry Breen  
Breen + Baczek Architects  
13604 Rebonito Ct., NE  
Albuquerque, NM 87112

**Re: Main Bank  
7300 Menaul Blvd., NE  
Request for Certificate of Occupancy- Transportation Development  
DRB Approval date 1-28-15 (H19-D055A)  
Certification dated 3-20-16**

Dear Breen,

Based upon the information provided in your submittal received 3-21-15, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

Sincerely,

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.  
Traffic Engineer, Planning Dept.  
Development Review Services

\gs via: email  
C: CO Clerk, File



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: MAIN BANK Building Permit #: T201590783 City Drainage #: H19D055A  
DRB#: 1007099 EPC#: 14EPC-40061 Work Order#: \_\_\_\_\_  
Legal Description: Tract A, Blocks 16&17 of the Zuni Addition, City of Albuquerque, Bernalillo Cty., NM  
City Address: 7300 Menaul Blvd. NE, Alb. NM 87110

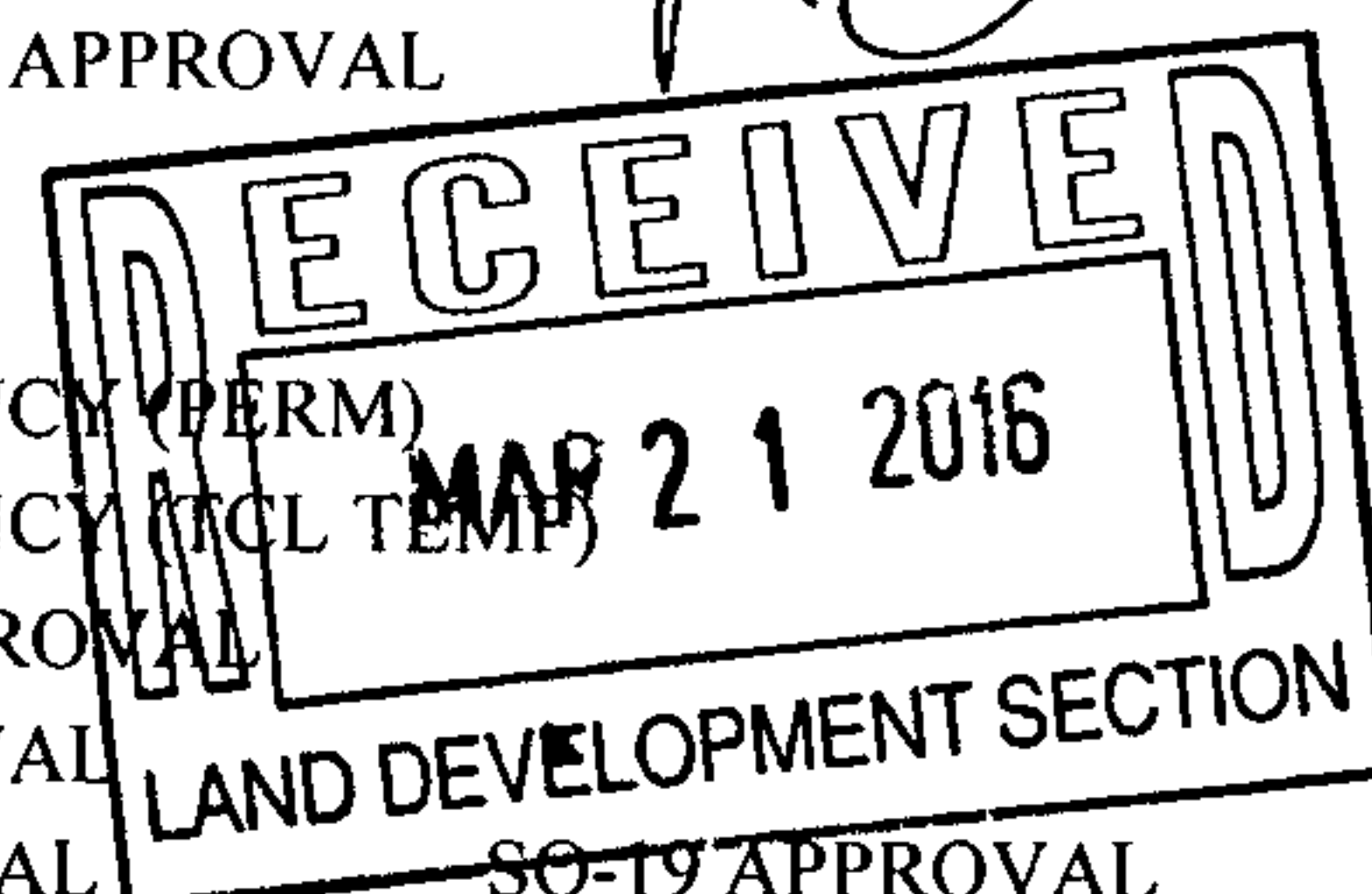
**Engineering Firm:** Isaacson & Arfman, P.a. Contact: Fred Arfman, PE  
Address: 128 Monroe St. NE, Alb. NM 87108  
Phone#: 505-268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com  
**Owner:** MAIN BANK Contact: Ron Shettlesworth  
Address: 7300 Menaul Blvd. NE, Alb., NM 87110  
Phone#: 505-880-1700 Fax#: \_\_\_\_\_ E-mail: rshettlesworth@mainbank.com  
**Architect:** Breen + Baczek Architects Contact: Larry Breen  
Address: 13604 Rebonito Ct. NE, Alb., NM 87112  
Phone#: 505-299-5940 Fax#: \_\_\_\_\_ E-mail: larryb@bbarchitects.build  
**Surveyor:** Alpha Professional Surveying, Inc. Contact: Gary Gritsco  
Address: P.O. Box 46316, Rio Ranch, NM 87174  
Phone#: 505-892-1076 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_  
**Contractor:** MV Industries, Inc. Contact: Michael Vigil  
Address: 2920 Stanford NE, Alb., NM 87107  
Phone#: 505-872-0450 Fax#: \_\_\_\_\_ E-mail: mikev@mvindustries.net

### TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☒ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

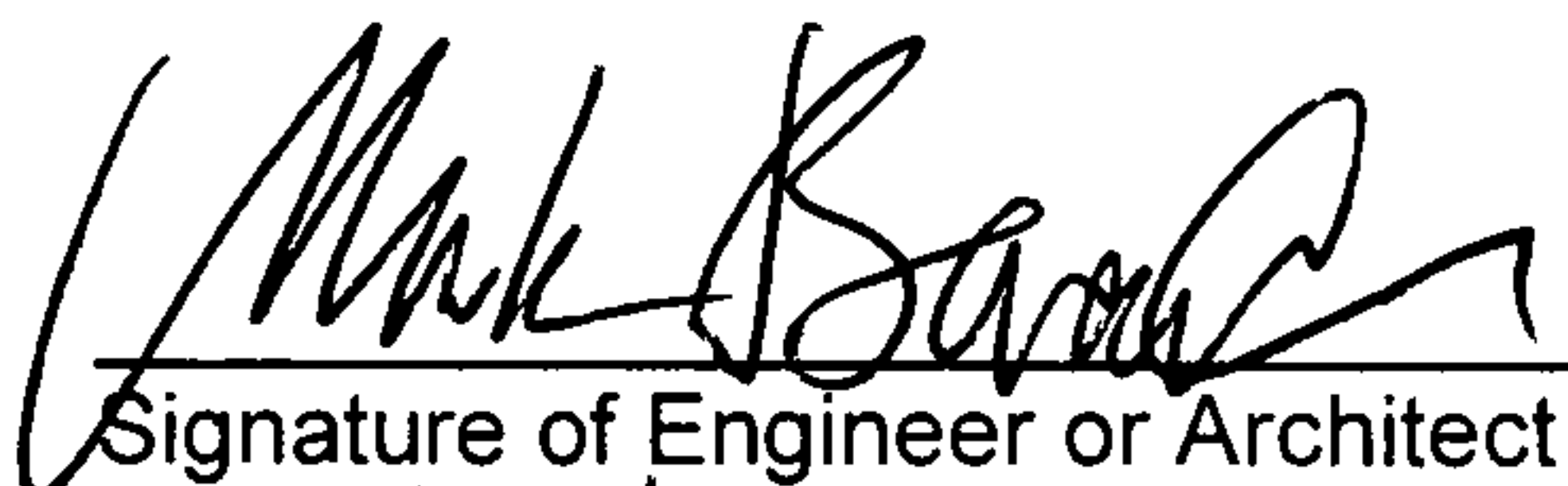
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



3/20/16

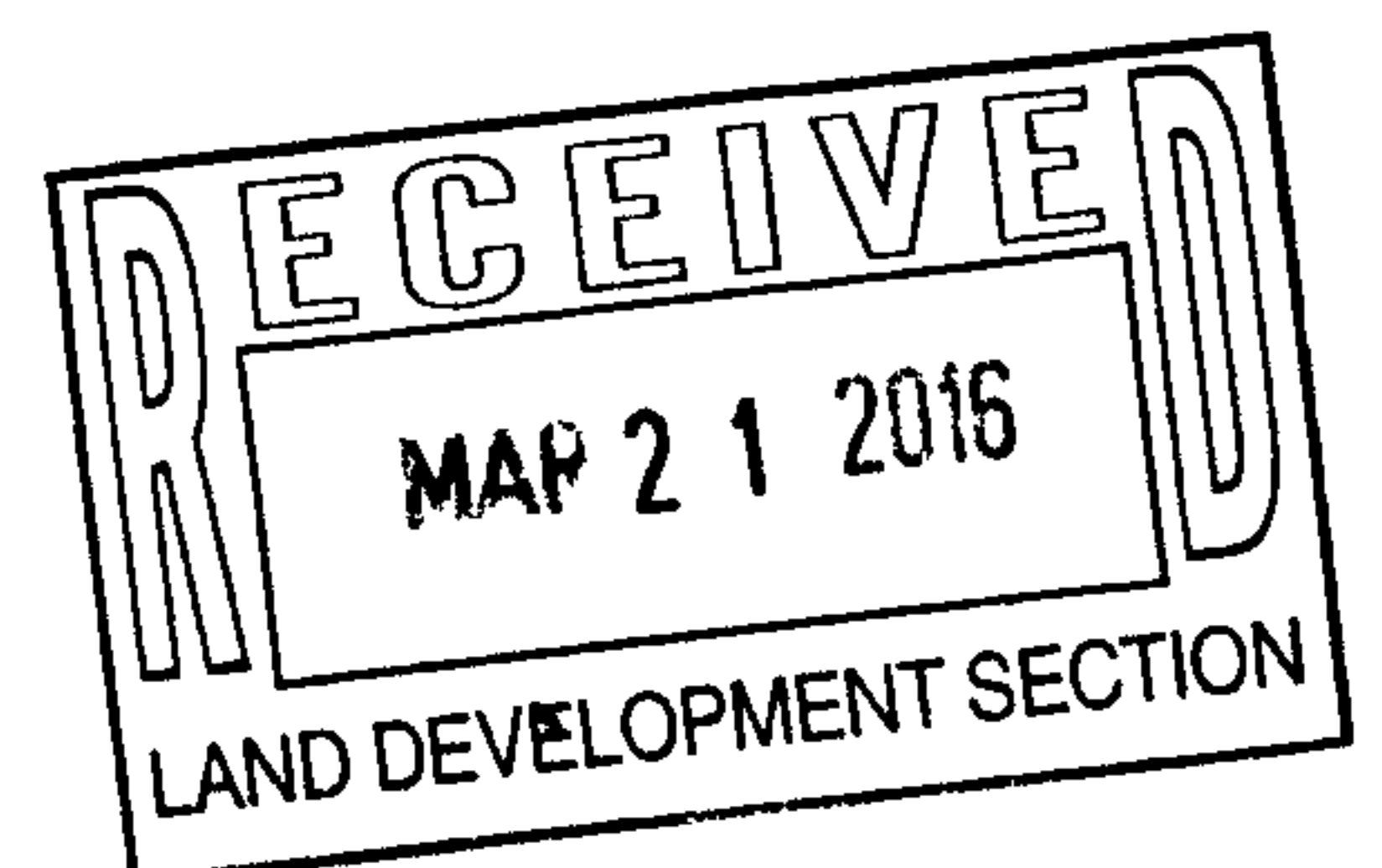
I, Mark Baczek, NMRA 2159, of the firm Breen & Baczek Architects hereby certify that this project, a new 2-story building for MAIN BANK @ 7300 Menaul Blvd., is in accordance with the design intent of the approved Site Plan, DRB Project No. 1007099, dated 8/28/14, signed 1/28/2015. I further certify that I have personally visited the site on 3/20/16 and have determined by visual inspection that the approved Site Plan, DRB Project No. 1007099, dated 8/28/14, signed 1/28/2015, is representative of actual site conditions and is true and correct to the best of my knowledge and belief. this certification is submitted in support of a request for a Certificate of Occupancy for the subject new 2 story building.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
Signature of Engineer or Architect

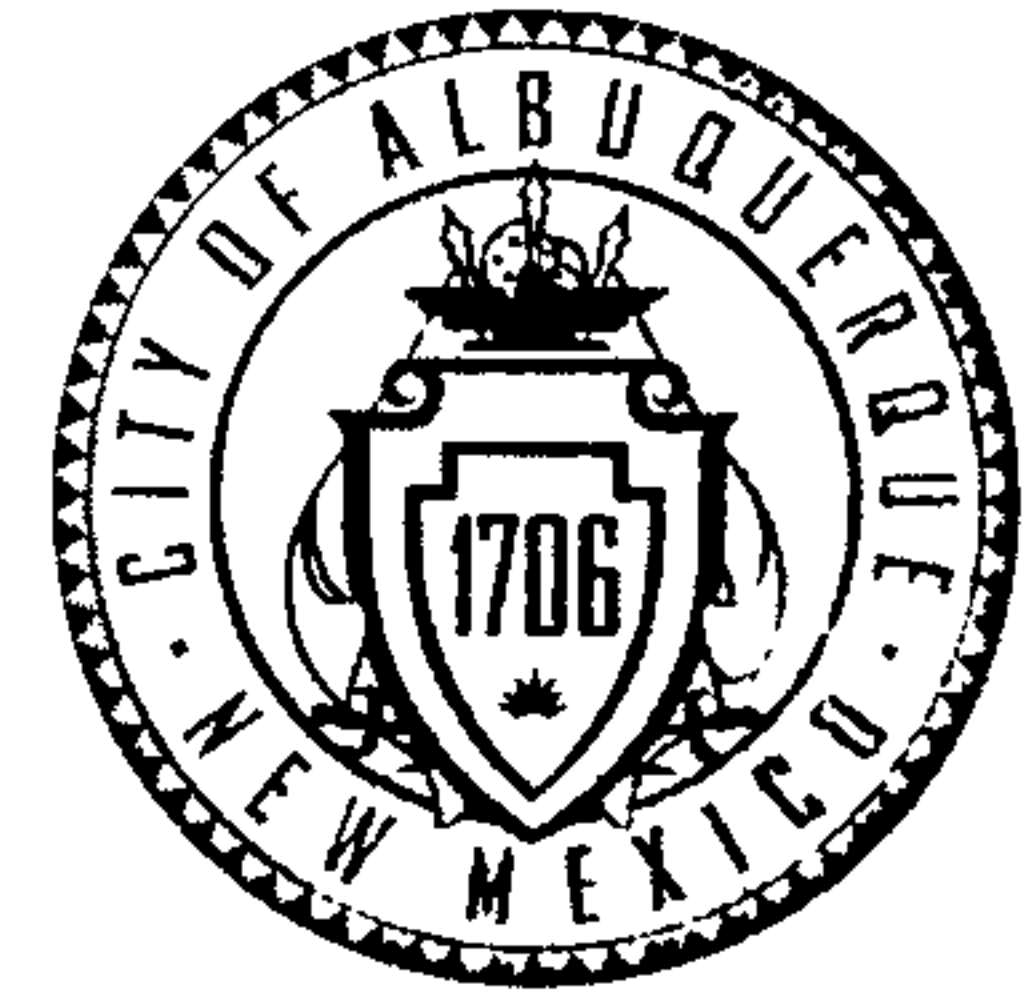
ENGINEER'S OR ARCHITECT'S STAMP

3/20/16  
Date



# CITY OF ALBUQUERQUE

*Planning Department*  
Suzanne Lubar, Director



*Mayor Richard J. Berry*

March 21, 2016

Fred C. Arfman, P.E.  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

Re: **Main Bank**  
**7300 ~~7402~~ Menaul Blvd. NE**  
**Request Permanent C.O. - Accepted**  
**Engineer's Stamp dated: 3-12-15 (H19D055A)**  
**Certification dated: 3-19-16**

PO Box 1293

Dear Mr. Arfman,

Albuquerque

Based upon the information provided in your submittal received 3/21/2016, the above referenced Certification received is acceptable for the release of permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

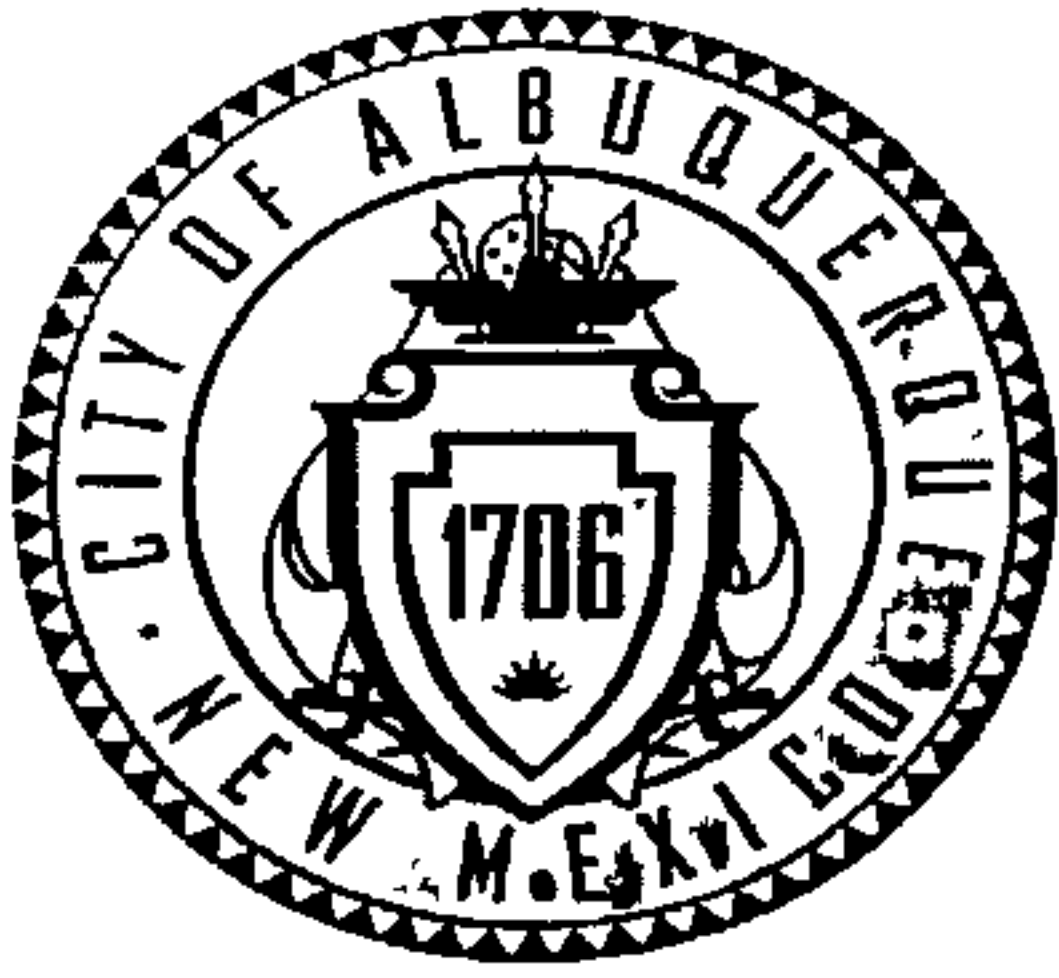
Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

TE/RH

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker, Lois





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank Building Permit #: \_\_\_\_\_ City Drainage #: H19D055A  
DRB#: 14-70378 EPC#: \_\_\_\_\_ Work Order#: 762385  
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addition  
City Address: 7402 Menaul Blvd. NE

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman  
Address: 128 Monroe Street NE - Albuquerque, NM 87108  
Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: Main Bank Contact: Alan Shuttleworth  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dorman Breen Architects Contact: Laurence Breen  
Address: P.O. Box 11608 - Albuquerque, NM 87192  
Phone#: (505) 299-5940 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg  
Address: 9384 Valley View Drive NW - Albuquerque, NM 87108  
Phone#: (505) 897-3366 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

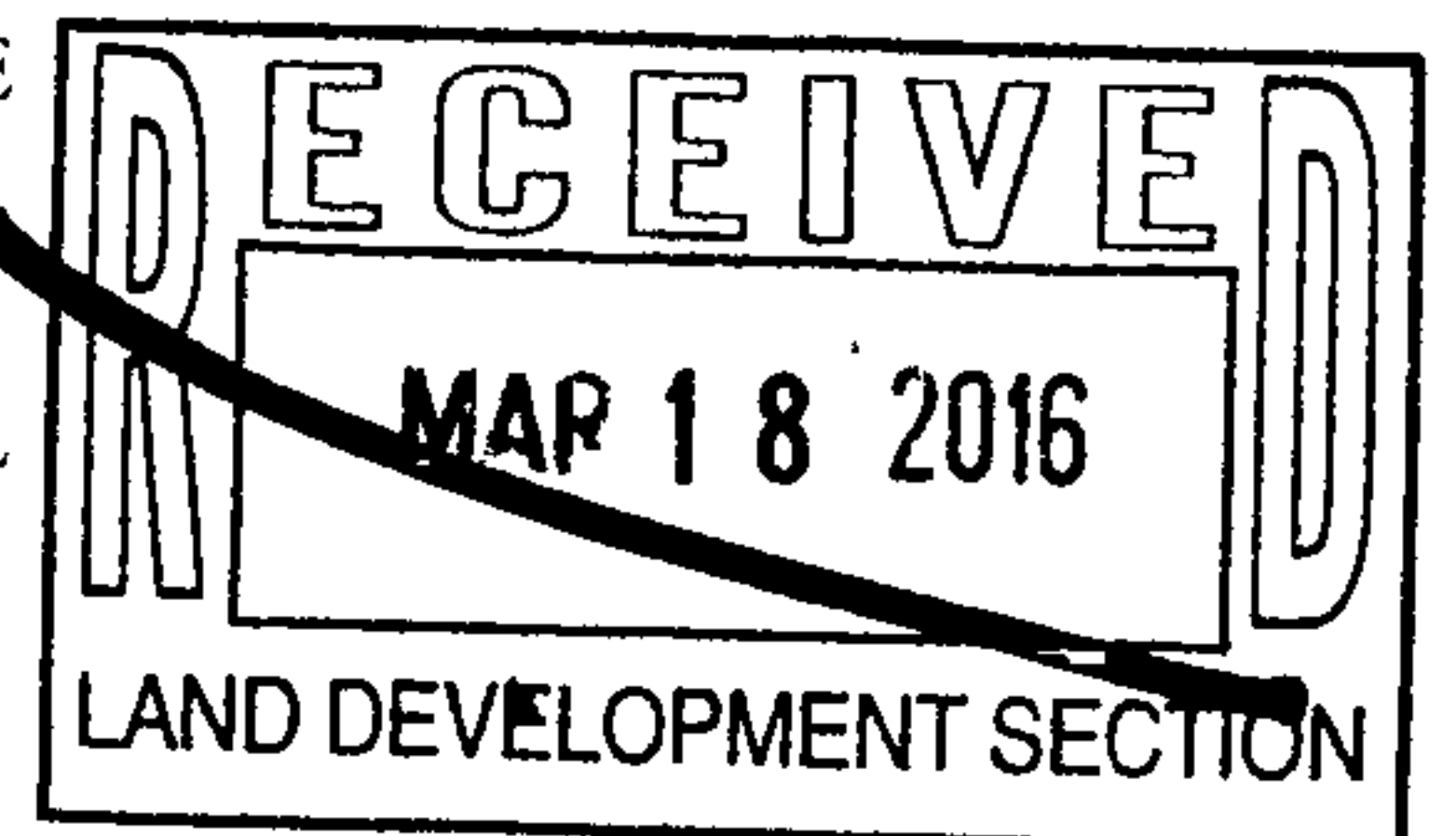
Contractor: MV Industries, Inc. Contact: Mike Vigil  
Address: 2920 Stanford Dr. NE, Albuquerque, NM 87107  
Phone#: (505) 884-6947 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☒ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_

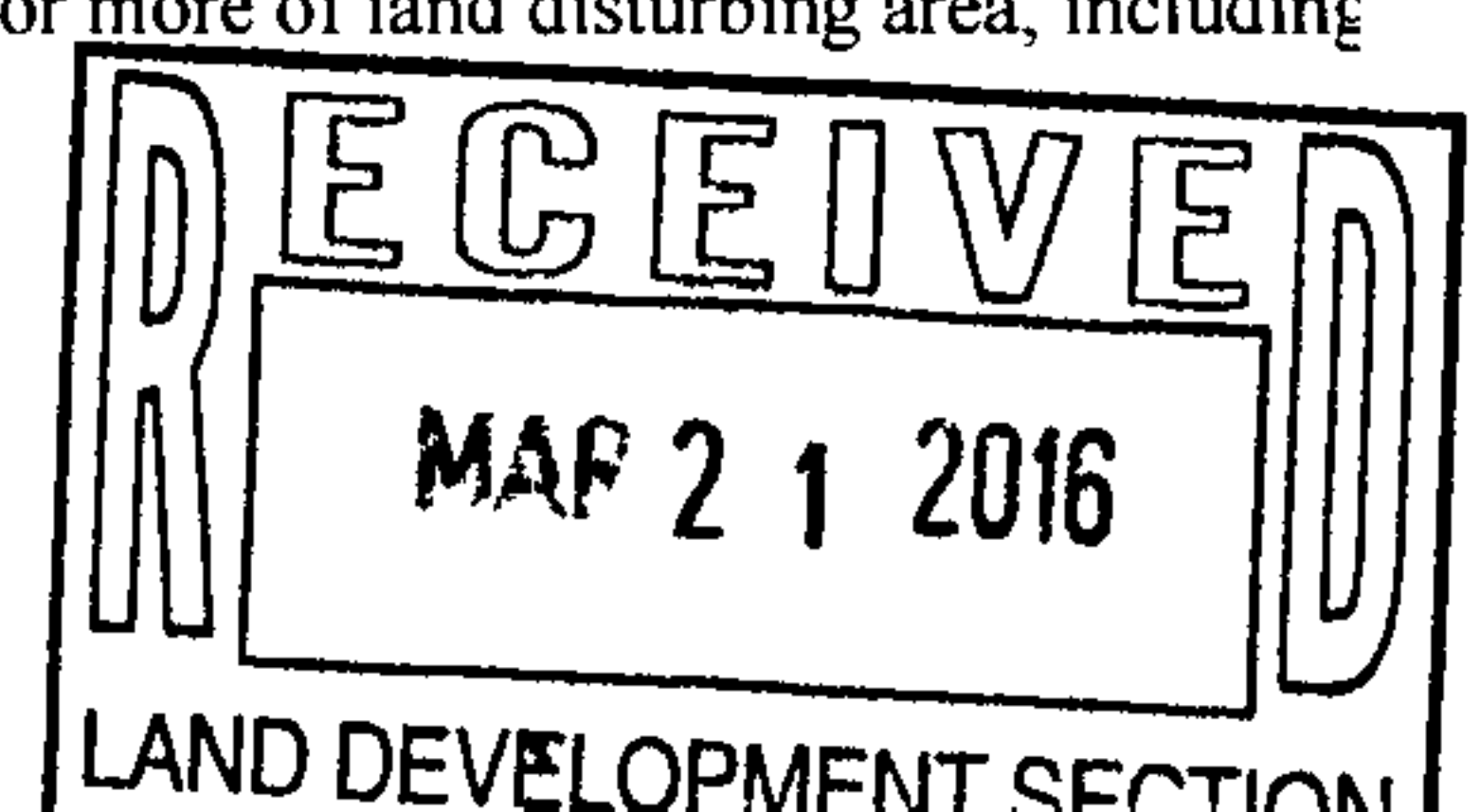


WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: March 19, 2016 By: Fred C. Arfman  
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



**Figure 6: Notice of DRC Session**

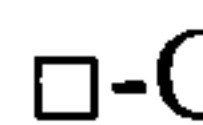
Processing Date \_\_\_\_\_

Project#: 762385Zone Atlas: H-19DRB#: 1007099Project Name: Main BankScheduled with DRC on Wednesday Jan 21 at 2:30

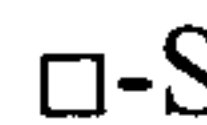
No DRC Meeting Scheduled. Please return at comments by \_\_\_\_\_

Project Location: Menan and Mesilla NE**TYPE OF PROJECT:**

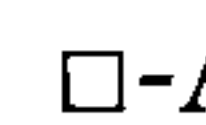
AHBA



CIP



SAD/PID



ABCWUA

**PROJECT COORDINATOR:** \_\_\_\_\_

Phone: \_\_\_\_\_

Company: \_\_\_\_\_

Design Engineer: Isaacson & ArtmanPhone: 268-8828

Company: \_\_\_\_\_

Fred Artman**The Project Is Scheduled For the Following DRC Session:**☐ Pre-Design Review☐ Final Plan Review☐ \_\_\_\_\_☒ Preliminary Plan Review☐ Signature Review☐ Route for Signature**The Project Relates to City Infrastructure Systems:**☐ Water☐ San. Sewer☒ Paving☒ Storm Drainage☐ \_\_\_\_\_**The Attached Package Includes:**

Indicated below are the Departments/Divisions that have received project documents and/or are invited to attend. (It will be the Project Coordinator's responsibility to notify consulting engineering firms of date and time of scheduled DRC meetings).

**D- Drawings****MU- Markups****M- Memo Only****E- Estimate****R- Report**

			<b>D</b>	<b>MU</b>	<b>M</b>	<b>E</b>	<b>R</b>
DRC Chairman <u>Stephen</u>	Design Review Section		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Traffic Dev. <u>Racquel</u>	Transportation Development		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Utility Dev. <u>Kristopher/Alan</u>	Utility Development		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Utility Des. <u>(CIP)Kris</u>							
<u>Utility Design</u>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Hydr. Dev. Rita</u>	<u>Hydrology Development</u>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Hydr. Des. <u>(CIP)</u>	Hydrology Design		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Const. Mgmnt _____	Construction Division		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Const. Div. <u>(CIP)Dave Harrison</u>	Construction Division		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jesse Valdez / Matt Yannoni	Traffic Operations Division		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Brett Frauenglass	Risk Management		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stephen James	City Architect		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Parks & Rec. _____	Parks & Recreation Department		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Project Manager _____			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Notified \_\_\_\_\_ of DRC meeting date &amp; time on \_\_\_\_\_ at \_\_\_\_\_ via \_\_\_\_\_

ORIGINAL

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

DRB Application No.: 14 - 70378

[illegible]



listing. The Items listed below are subject to the standard SIA requirements.							Construction Certification		
Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Private	City Cnst	
DRC #	DRC #						Inspector	P.E.	
<input type="text"/>	<input type="text"/>						/	/	
<input type="text"/>	<input type="text"/>						/	/	
							Approval of Creditable Items:		
							Approval of Creditable Items:		
							Impact Fee Administrator Signature      Date		
							City User Dept. Signature      Date		

#### NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

1

2

3

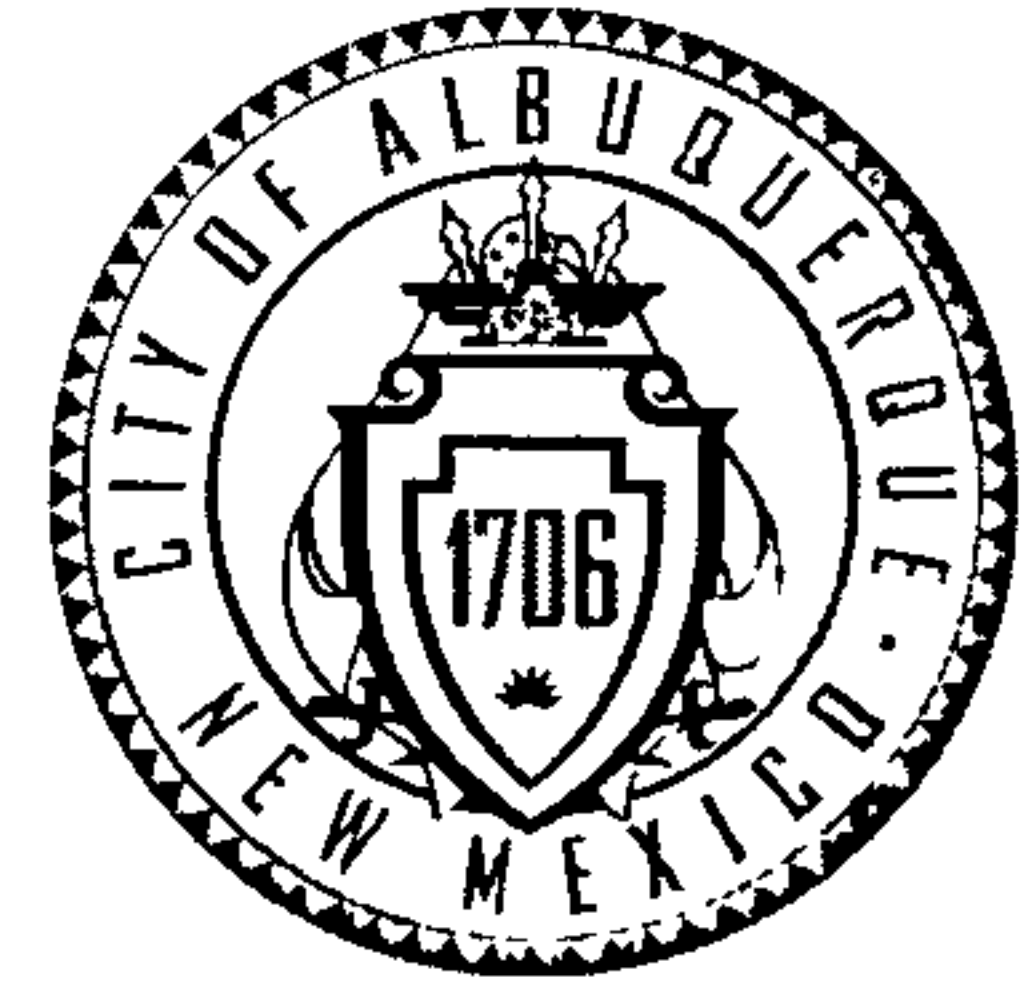
AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS	
Fred C. Arfman, PE NAME (print)	<i>[Signature]</i> 11-19-14 DRB CHAIR - date	<i>[Signature]</i> 11-19-14 PARKS & GENERAL RECREATION - date
Isaacson & Arfman, P.A. FIRM	<i>[Signature]</i> 11/19/14 TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
<i>[Signature]</i> 11-18-14 SIGNATURE - date	<i>[Signature]</i> 11/19/14 UTILITY DEVELOPMENT - date	- date
	<i>[Signature]</i> 11-19-14 CITY ENGINEER - date	- date

DESIGN REVIEW COMMITTEE REVISIONS				
REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



March 16, 2015

Fred Arfman, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

Richard J. Berry, Mayor

RE: **Main Bank, (File: H19D055A)**  
**Grading & Drainage Plan, Engineer's Stamp Date 3-12-2015**  
**Supplemental Calculations, Engineer's Stamp Date 3-12-2015**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 3-2-15 and 3-12-15, the above referenced submittals are approved for Building Permit and Work Order. Please attach a copy of this approved plan in the construction sets when submitting for a building permit.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

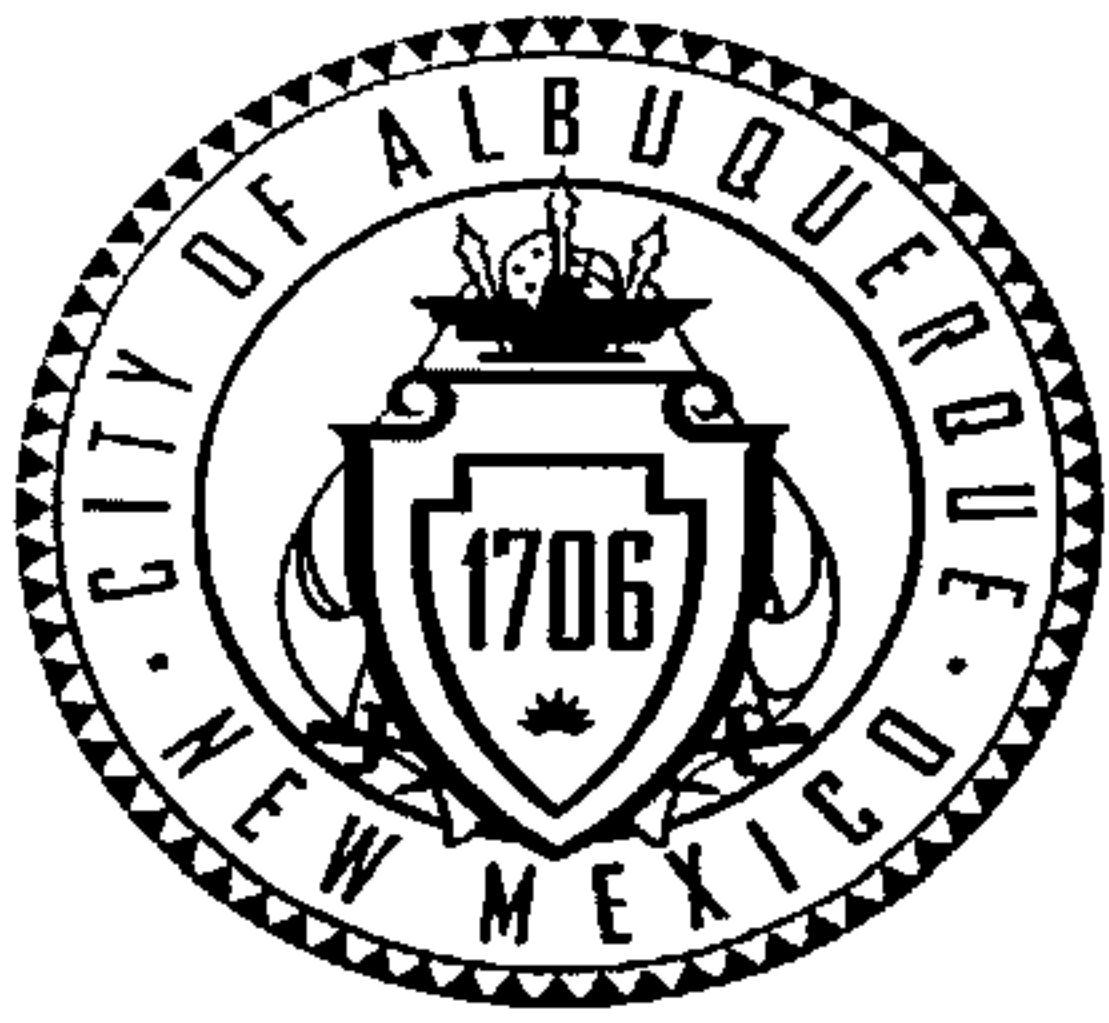
New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf: via Email: Recipient, Monica Ortiz



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank Building Permit #: \_\_\_\_\_ City Drainage #: H19D055A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addition

City Address: 7402 Menaul Blvd. NE

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: Main Bank Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dorman Breen Architects Contact: Laurence Breen

Address: P.O. Box 11608 - Albuquerque, NM 87192

Phone#: (505) 299-5940 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg

Address: 9384 Valley View Drive NW - Albuquerque, NM 87108

Phone#: (505) 897-3366 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

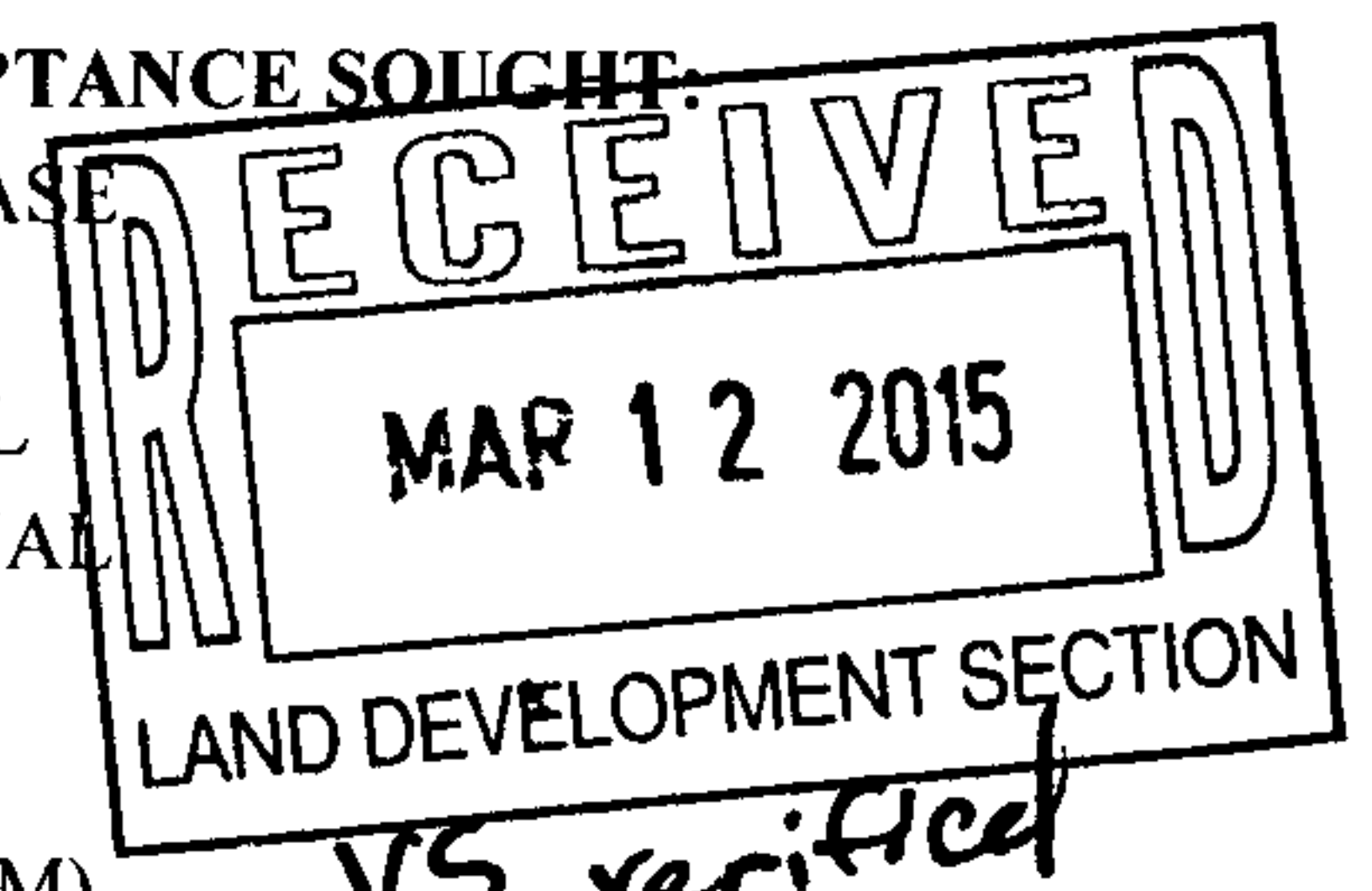
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☒ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: March 12, 2015 By: Fred C. Arfman

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## **Bryan Bobrick**

---

**From:** Bryan Bobrick <bryanb@iacivil.com>  
**Sent:** Thursday, March 12, 2015 11:00 AM  
**To:** 'Ortiz, Monica'; 'Harmon Rita T.'  
**Cc:** 'Fred Arfman'  
**Subject:** Main Bank - Resubmittal  
**Attachments:** 2072 MAIN BANK BUILDING PERMIT.pdf

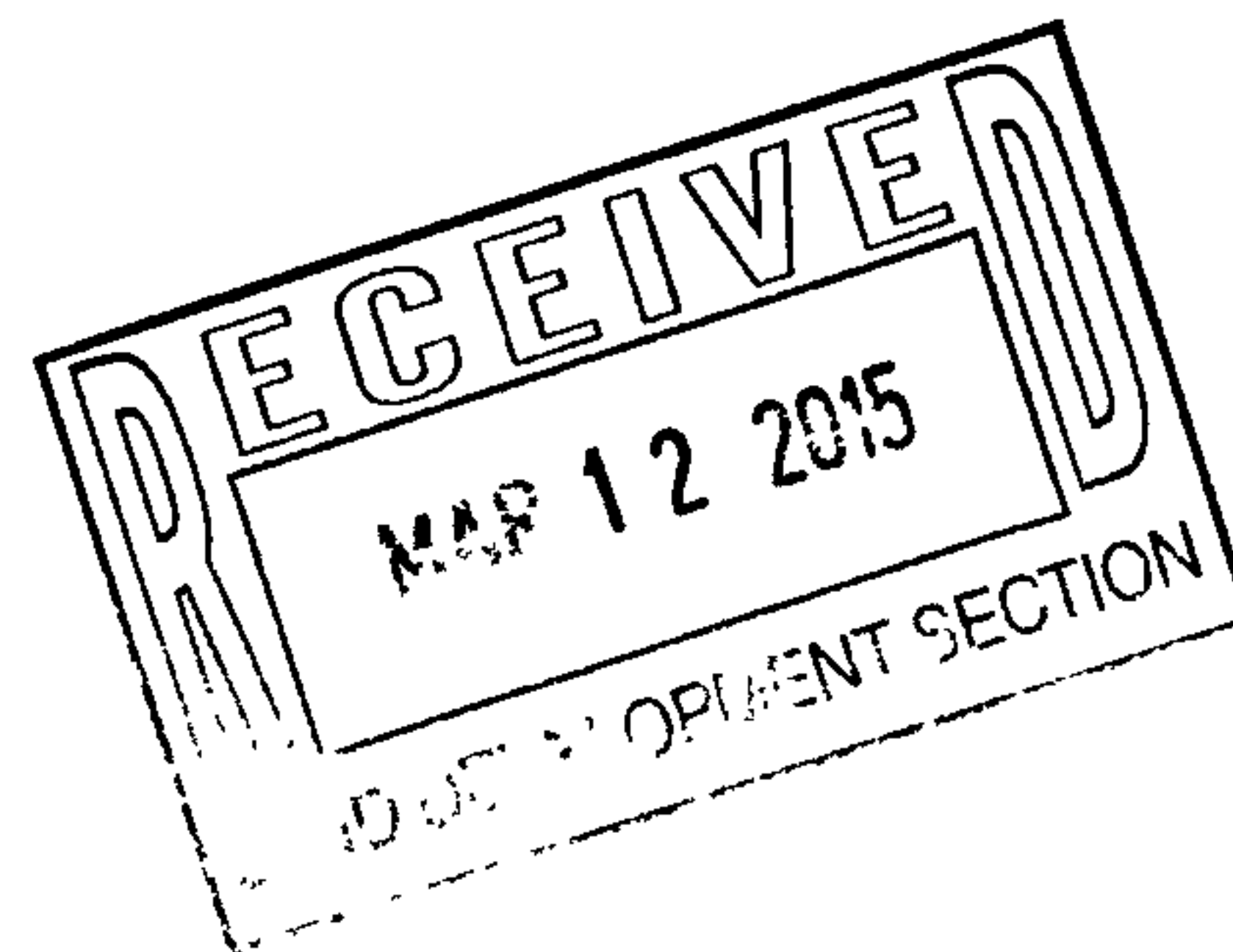
Rita,

Attached is the Main Bank plan resubmittal – the only change is the addition of the Engineer's Certification requirement note on CG-101.

Thanks

### **Bryan J. Bobrick**

Isaacson & Arfman, P.A.  
Consulting Engineering Associates  
128 Monroe St. N.E.  
Albuquerque, NM 87108  
Phone: (505)268-8828  
Fax: (505)268-2632  
[bryanb@iacivil.com](mailto:bryanb@iacivil.com)



MARCH 16, 2015

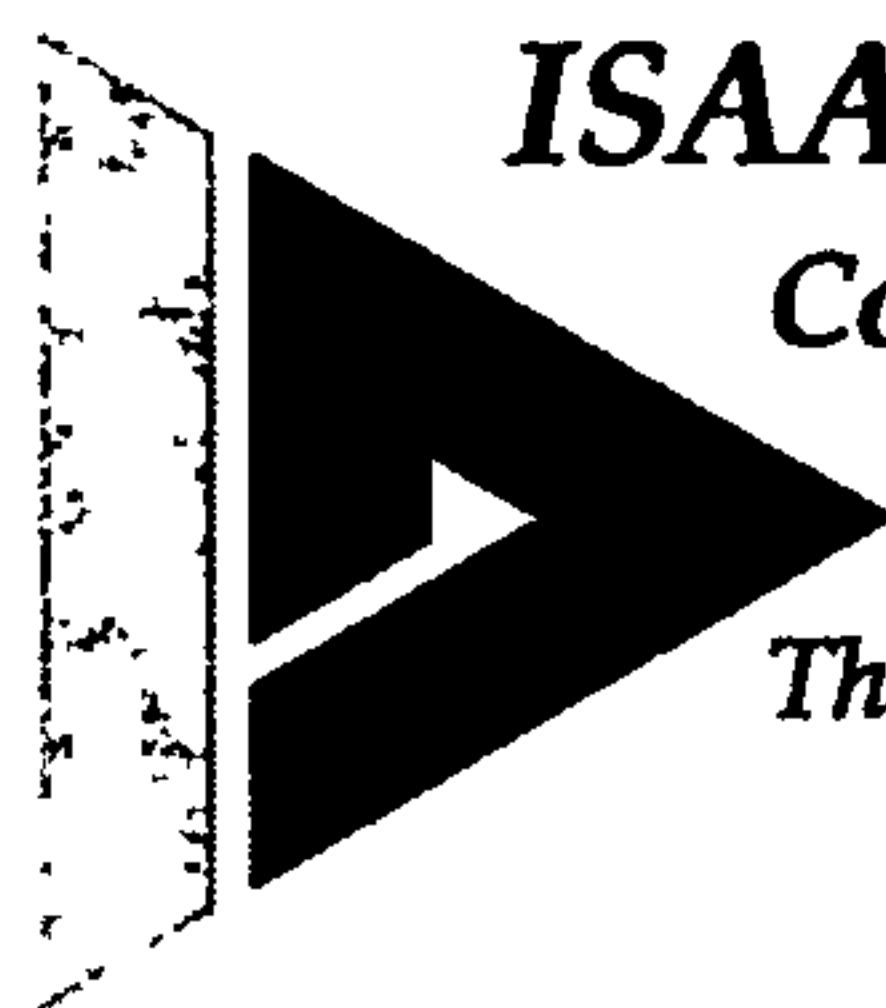
## Supplemental Information

for

Main Bank

Grading and Drainage Plan for Building Permit

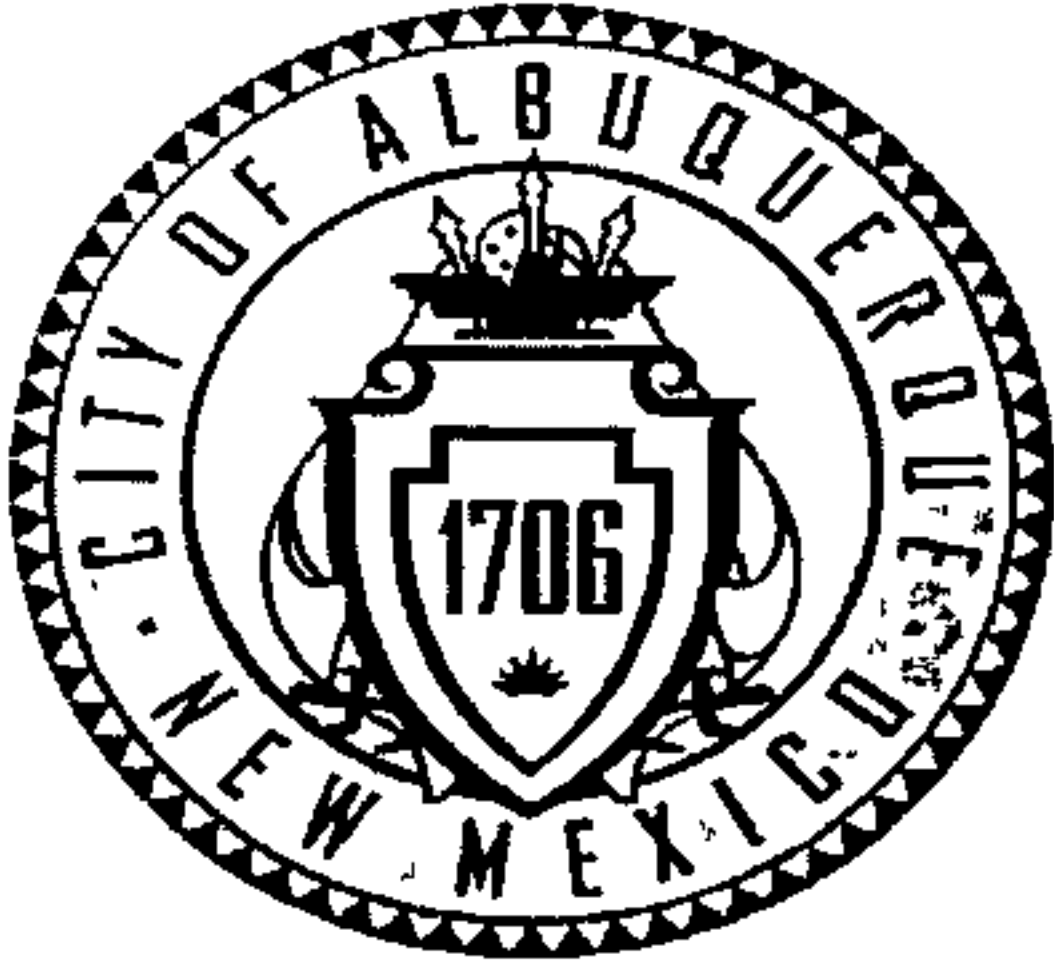
by



**ISAACSON & ARFMAN, P.A.**  
*Consulting Engineering Associates*

*Thomas O. Isaacson, PE(RET.) & LS(RET.)*  
*Fred C. Arfman, PE*  
*Åsa Nilsson-Weber, PE*





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank Building Permit #: \_\_\_\_\_ City Drainage #: H19D055A  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addition  
City Address: 7402 Menaul Blvd. NE

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman  
Address: 128 Monroe Street NE - Albuquerque, NM 87108  
Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: Main Bank Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dorman Breen Architects Contact: Laurence Breen  
Address: P.O. Box 11608 - Albuquerque, NM 87192  
Phone#: (505) 299-5940 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg  
Address: 9384 Valley View Drive NW - Albuquerque, NM 87108  
Phone#: (505) 897-3366 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

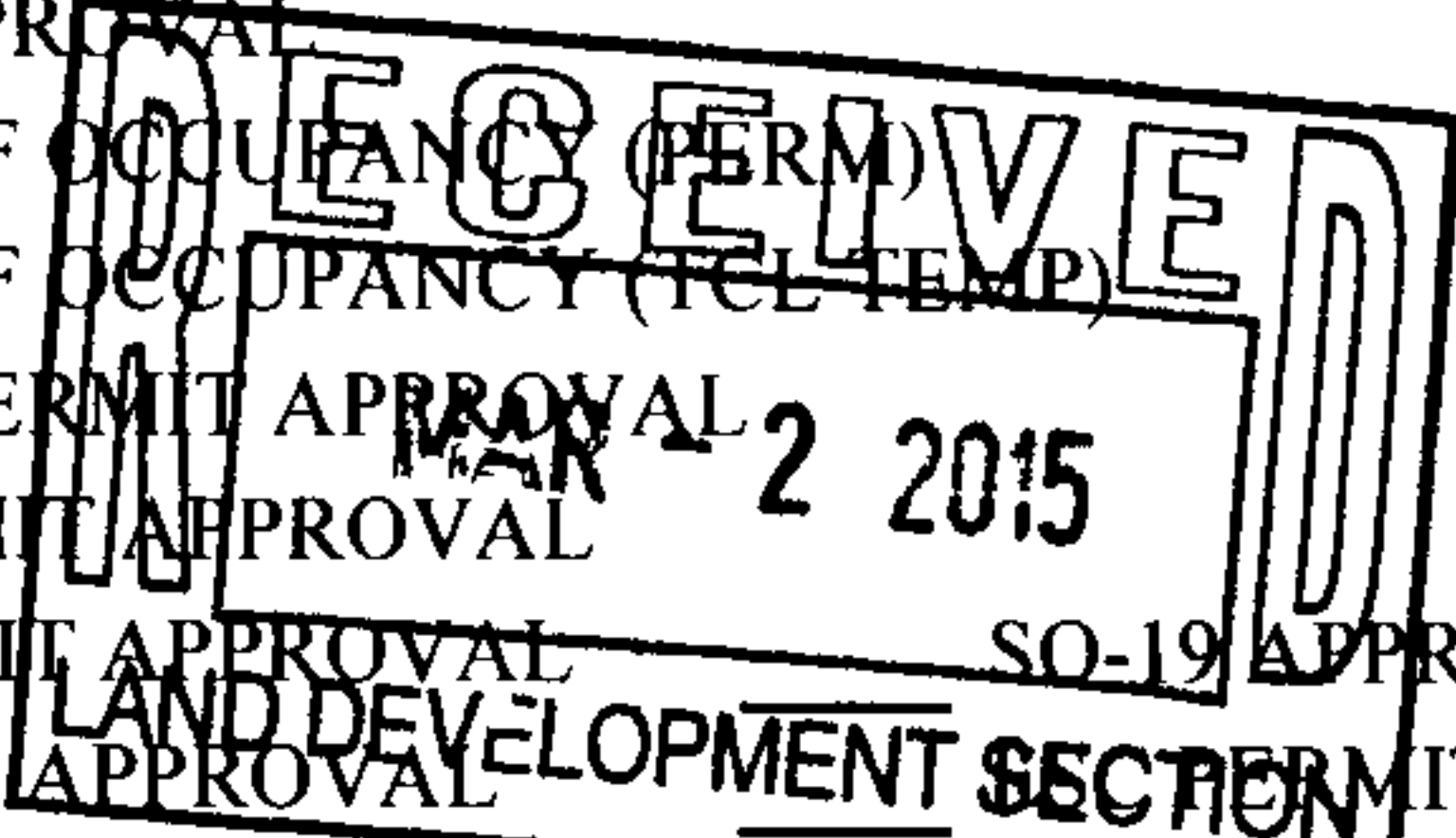
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☒ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ ENGINEER'S CERT (DRB SITE PLAN)
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### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
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- ☐ SO-19 APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



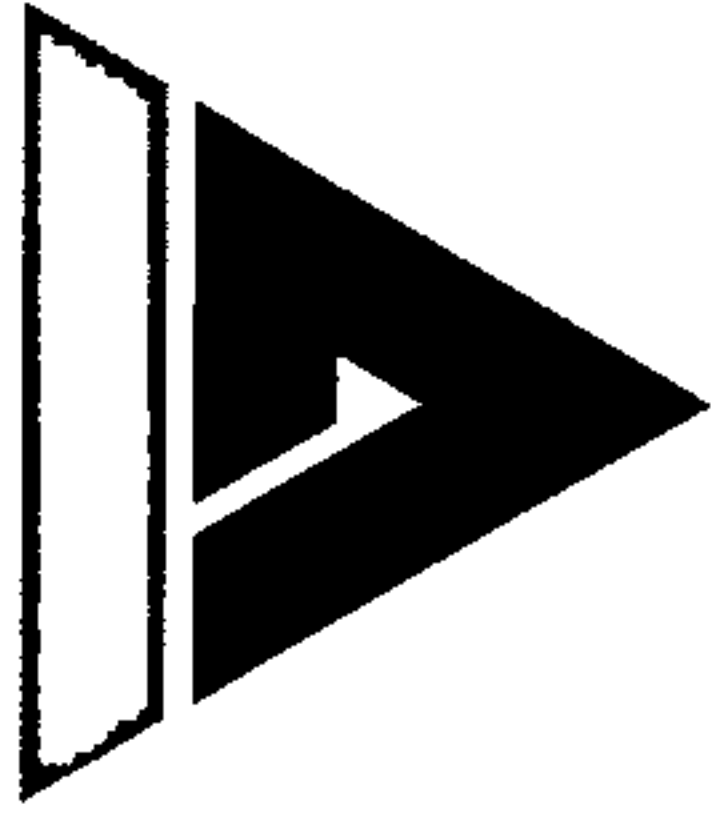
WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: February 27, 2015 By: Fred C. Arfman

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
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- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



February 27, 2015

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services  
City of Albuquerque

**RE: MAIN BANK REVISED GRADING AND DRAINAGE PLAN (H19/D055A)**

Dear Ms. Harmon,

Attached with this letter is one copy of the revised Grading and Drainage Plan for your review. Revisions were made based on your comments dated February 26, 2015. The numbered responses reference each of your comments in order:

- ✓ 1. Drainage concept, off-site flow and 'first flush' narratives added to plans.
- ✓ 2. The off-site flows were calculated as part of COA Project No. 762382 (Sheet 6 of 7: "Offsite Drainage Basin Exhibit" from this plan set is attached.)
- ✓ 3. Calculations for the 18" storm drain are attached.
- ✓ 4. Basin B1 and B2 have been updated to include the portion of roof discharging north and west.
- ✓ 5. The curb cuts along the west edge of the parking area will accept stormwater until they fill. The 'U' shaped concrete channel at the south end will pass excess flow to the access drive and then to Mesilla Blvd. The concrete channel was key noted on the plan (#8) but the site plan provided by the architect did not include the line-work. This has been corrected.
- ✓ 6. The property is located in a fully developed part of the city. The Conceptual Grading and Drainage Plan approved by COA Hydrology specifically noted that the site will free discharge with the majority exiting the site to Mesilla Ave. We are unaware of any Master Drainage Report for this fully developed area. In addition, Fred Arfman and Curtis Cherne concurred that the public storm drainage characteristic would be enhanced by short circuiting the drainage path by intercepting the storm waters and accepting them into the storm drain system rather than having them discharge onto Menaul Blvd.; then traveling west and there they entering onto Mesilla Ave. The storm waters are eventually accepted into what appears to be an overtaxed catch basins approximately 400 to the south (see attached aerial image with the storm drain identified).
- ✓ 7. The curved line has been keynoted on the revised plan. It is intended to be a 12" retaining boulder (or equal) landscape wall which would deflect emergency overflow back to the pavement in the event the public storm drain inlet failed.

8. Inlet capacity calculations for the Double 'C' inlet is attached.

Please don't hesitate to call with any other questions or concerns.

Sincerely,  
Isaacson & Arfman, PA

  
Fred C. Arfman, PE

FEBRUARY 27, 2015

# Supplemental Information

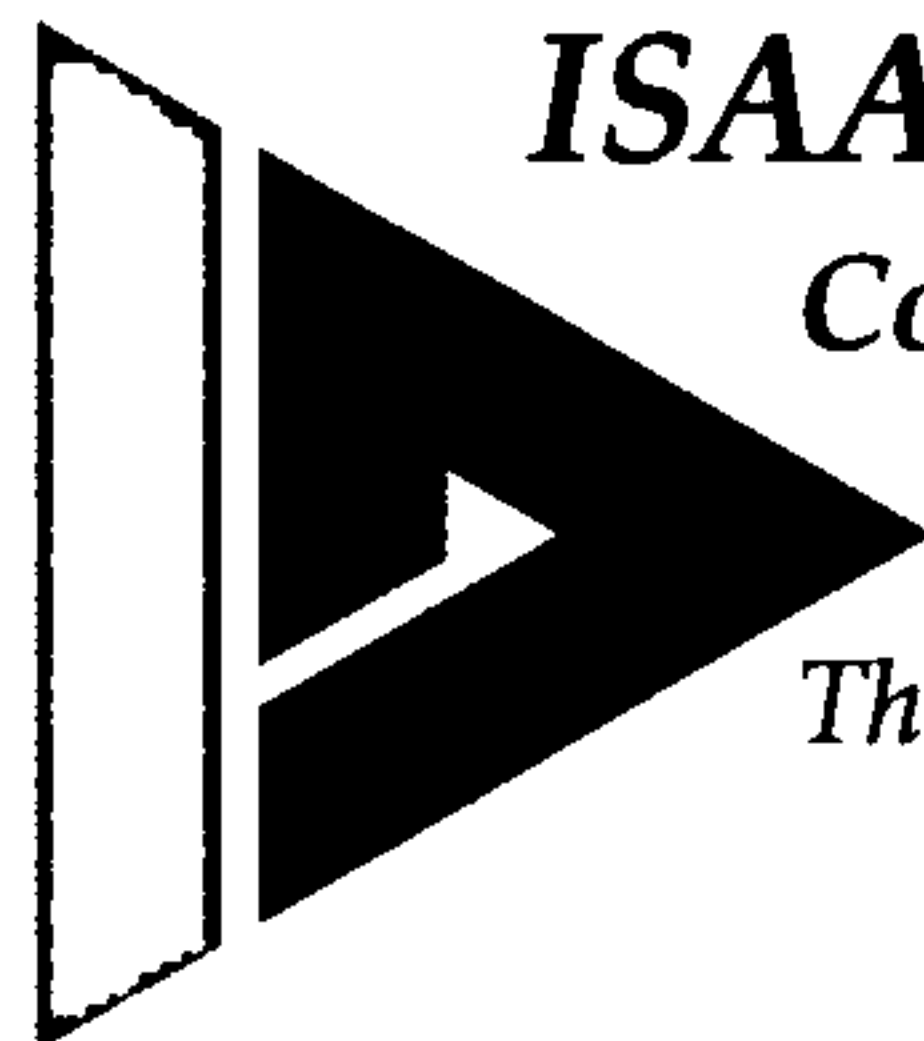
for

Main Bank

Grading and Drainage Plan for Building Permit



by



**ISAACSON & ARFMAN, P.A.**  
*Consulting Engineering Associates*

*Thomas O. Isaacson, PE(RET.) & LS(RET.)*  
*Fred C. Arfman, PE*  
*Åsa Nilsson-Weber, PE*



## Contents:

Double 'C' Inlet Capacity Calculations

18" Storm Drain Calculations

Roof Drainage Exhibit

Off-site Drainage Basin Exhibit

#2072 MAIN BANK -- MENAUL

## ANALYZE SUMP INLETS

### GRATE OPEN AREA:

(per COA std dwg #2220, single grate)

$$\begin{aligned}\text{GROSS AREA FOR ONE GRATE} &= (25 \text{ in}/12)(40 \text{ in}/12) = & 6.94 \text{ SF} \\ \text{LESS BEARING BARS} &= (0.5 \text{ in}/12)(3.33 \text{ ft})(13) = & 1.80 \text{ SF} \\ \text{LESS CROSS BARS} &= (0.5 \text{ in}/12)(7)[(25 \text{ in}/12)-(13)(0.5 \text{ in}/12)] = & \underline{0.45 \text{ SF}}\end{aligned}$$

$$\text{NET GRATE OPEN AREA} = 4.69 \text{ SF}$$

$$\text{GRATE OPEN AREA (assuming 50\% clogging factor)} = 2.35 \text{ SF}$$

### ORIFICE EQUATION:

$$Q = CA(2gh)^{1/2}$$

Where:

$$C = 0.67$$

$$A = 2.35 \text{ ft}^2$$

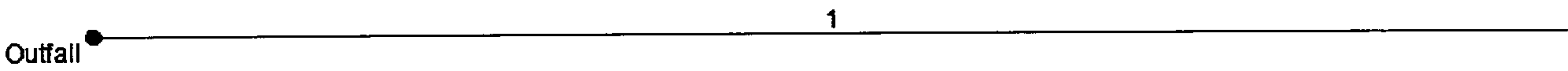
$$g = 32.2 \text{ ft/sec}^2$$

$h$  = height of the water surface above the grate

### CAPACITY CALCULATIONS:

<u>INLET # DOUBLE C</u>	
LOCATION:	
$h = $ <input type="text" value="0.5"/> $\text{ft}$	
$Q_{(\text{capacity})} = $ <input type="text" value="8.9"/> $\text{cfs}$	$\text{REQUIRED } Q = $ <input type="text" value="17.8"/> $\text{cfs}$
NUMBER OF GRATES REQUIRED =	<u><u>2</u></u>

Double @ inlet

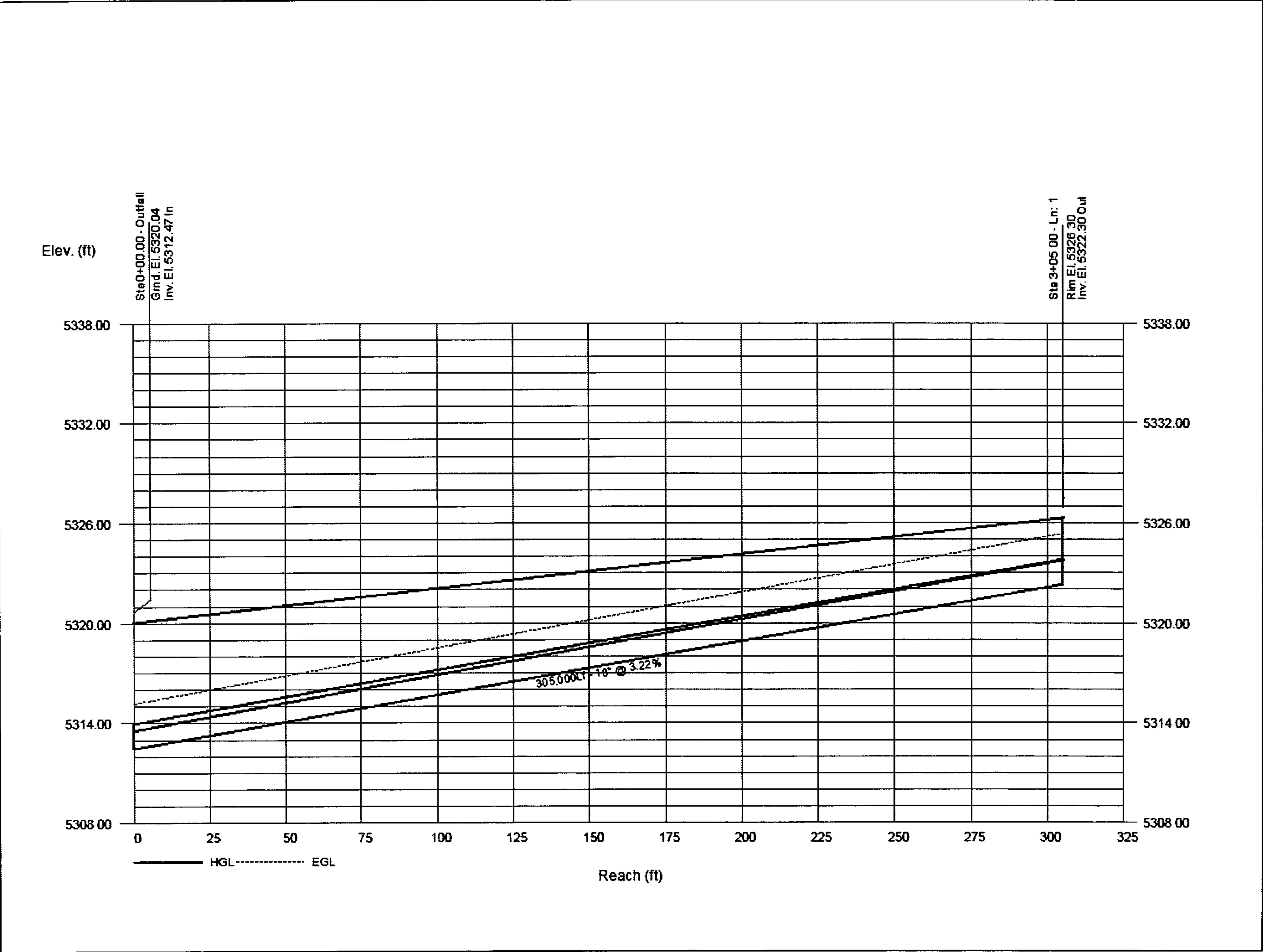


Line No.	Flow Rate (cfs)	Line Size (in)	Line Length (ft)	Line Slope (%)	Invert Dn (ft)	Invert Up (ft)	HGL Dn (ft)	HGL Up (ft)	HGL Jnct (ft)	Flow Rate (cfs)	Gnd/Rim El Dn (ft)	Gnd/Rim El Up (ft)	Junct Type	Known Q (cfs)	n-val Pipe	Minor Loss (ft)	Total Runoff (cfs)	Vel Dn (ft/s)	Vel Up (ft/s)	
1	17.80	18	305.000	3.22	5312.47	5322.30	5313.55	5323.75	5323.75	17.80	5320.04	5326.30	MH	17.80	0.012	n/a	0.00	13.02	10.18	
2072 SD													Number of lines: 1				Date: 2/27/2015			
NOTES: ** Critical depth																				



Storm Sewer Profile

Proj. file: 2072 SD.stm



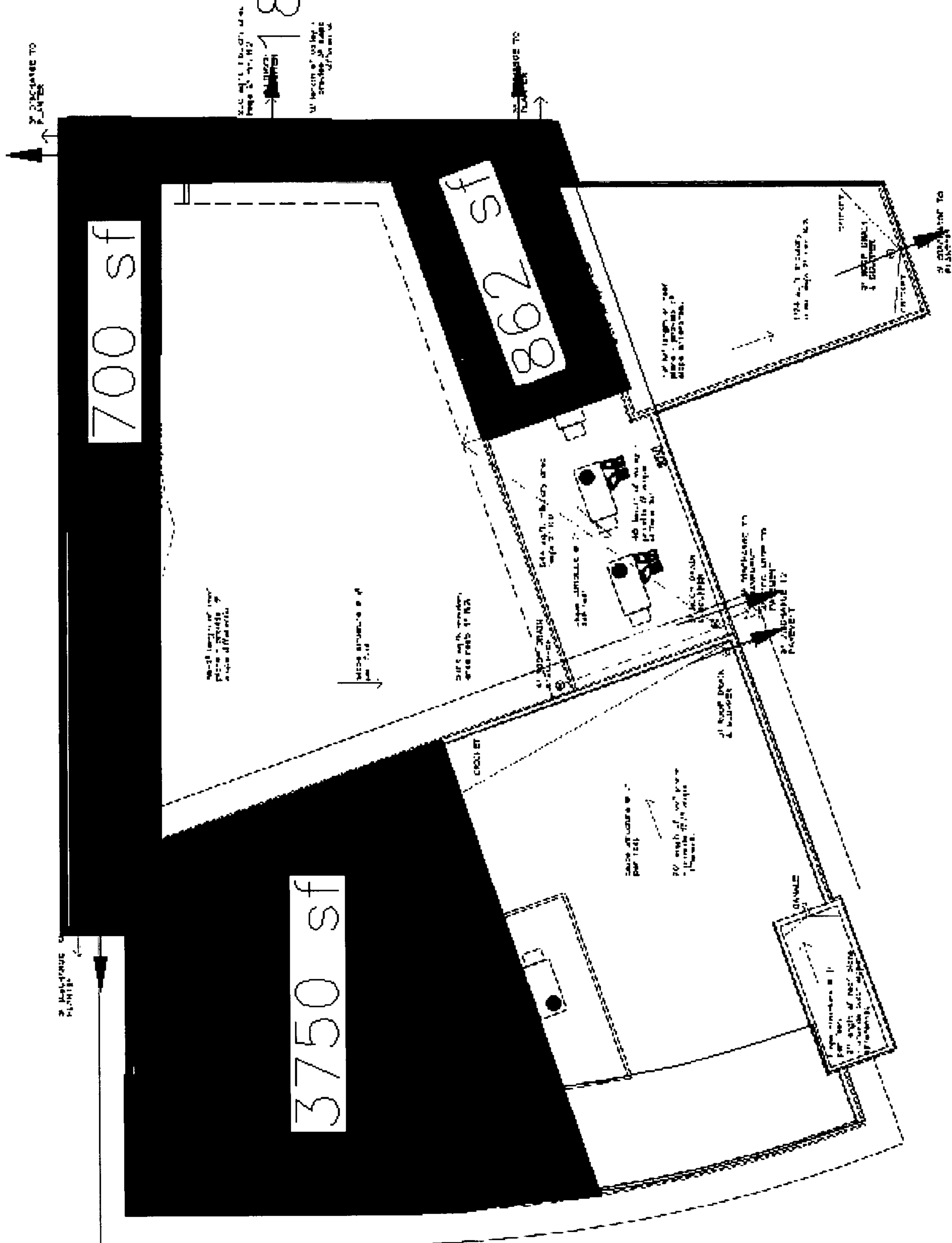
70075

45

88

006254

3750 sf















**Main Bank Site**

**Existing SD Inlet**







## **Cherne, Curtis**

---

**From:** Cherne, Curtis  
**Sent:** Friday, February 20, 2015 4:43 PM  
**To:** Ortiz, Monica  
**Cc:** Fred Arfman (freda@iacivil.com)  
**Subject:** foundation only permit 7402 Menaul NE-Mian Bank

Monica,

I have reviewed the grading plan and even though it is not approved yet, the finished floor elevation is acceptable and it is OK to approve the foundation only permit.

Curtis

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



February 26, 2015

Fred Arfman, P.E.  
**Isaacson & Arfman, P.A.**  
128 Monroe Street N.E.  
Albuquerque, NM 87108

Richard J. Berry, Mayor

RE: **Main Bank**  
**Grading & Drainage Plan**  
**Engineer's Stamp Date 1-23-2015 (File: H19D055A)**

Dear Mr. Arfman:

Based upon the information provided in your submittal received 1-26-2015, the above referenced cannot be approved for Building Permit until the following comments are addressed:

- ✓1. Provide a narrative explaining drainage concept, and "first flush" and offsite flows.
- ✓2. How are the offsite flows (17.8 cfs) determined. Provide documentation or calculations.
- ✓3. Provide calculations for 18" Storm Drain.
- ✓4. Roof Drains discharging to private access road indicate the basin boundary passes thru the building.
- ✓5. The 8' wide curb cuts seem fine at the parking islands to capture flow. However, at the west side of the parking lot, most of the flow would discharge out the curb cuts, overfill the ponds, and then over the Sidewalk. The curb cuts should limit the discharge to the capacity of the ponds.
- ✓6. There is 3.7 cfs increase to Mesilla. Is there capacity? Is there a Master Drainage Report?
- ✓7. What is the meaning of the curved lines between pond A and Pond B1?
8. Provide inlet capacity calculations for Double C inlet.

PO Box 1293

Albuquerque

New Mexico 87103

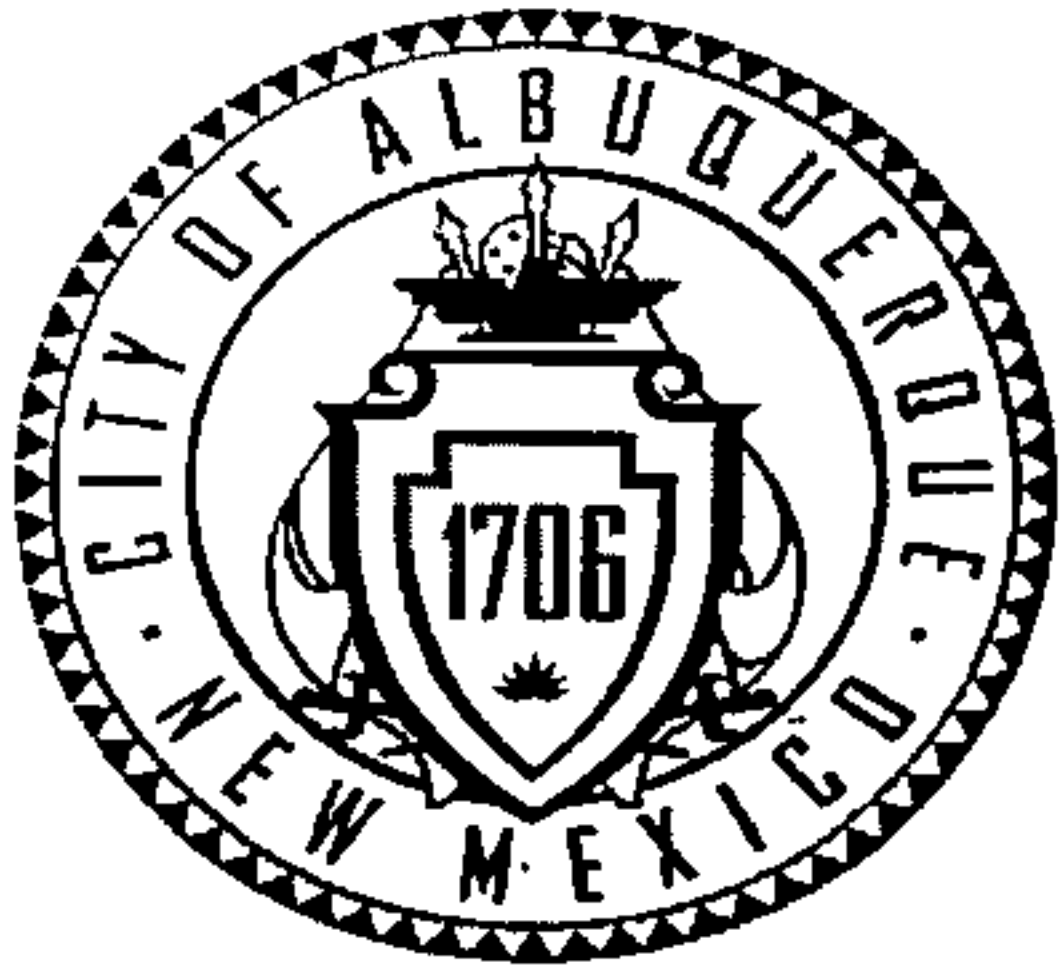
[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank Building Permit #: \_\_\_\_\_ City Drainage #: H19D055A  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addition  
City Address: \_\_\_\_\_

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman  
Address: 128 Monroe Street NE - Albuquerque, NM 87108  
Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: Main Bank Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dorman Breen Architects Contact: Laurence Breen  
Address: P.O. Box 11608 - Albuquerque, NM 87192  
Phone#: (505) 299-5940 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg  
Address: 9384 Valley View Drive NW - Albuquerque, NM 87108  
Phone#: (505) 897-3366 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

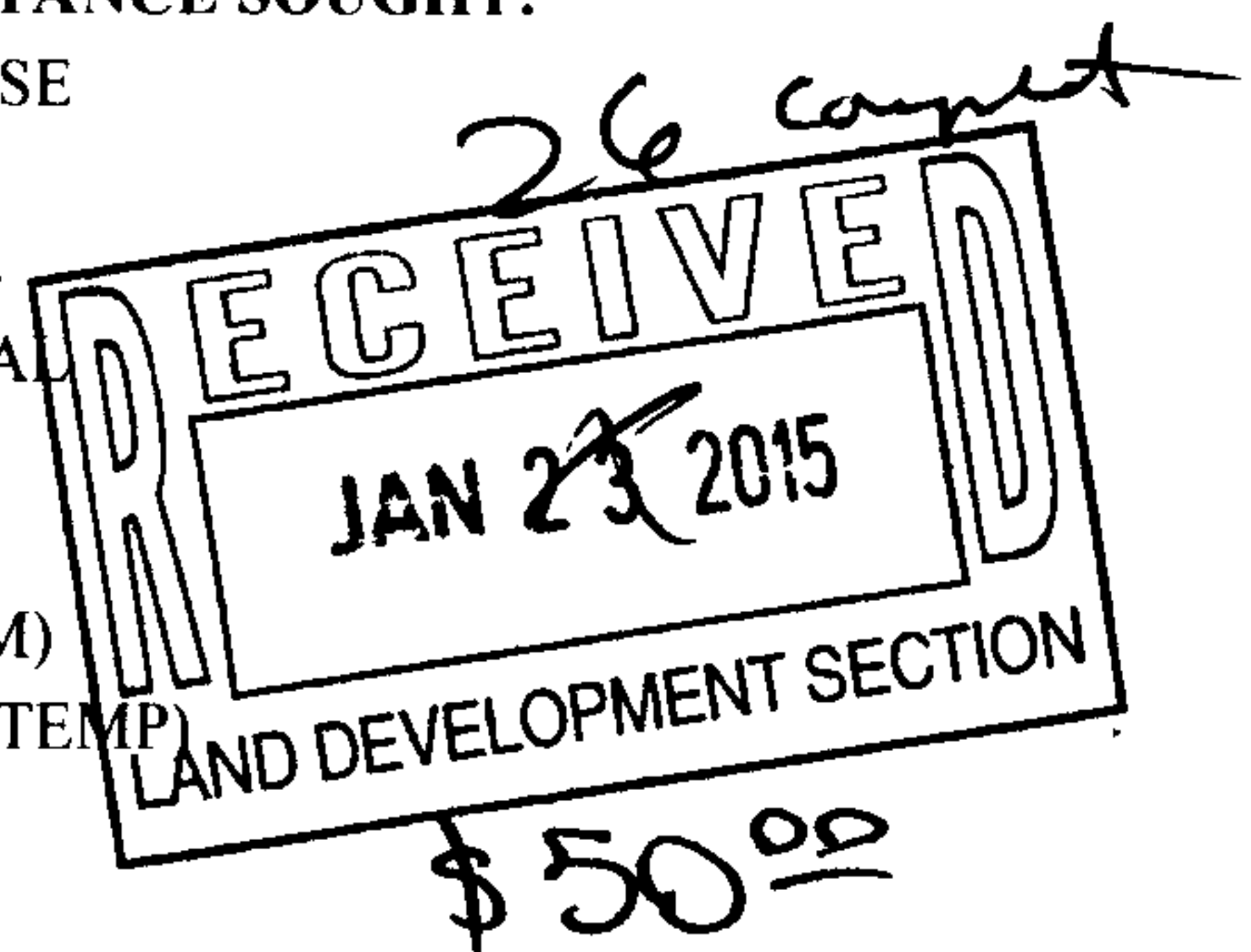
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1st SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ ENGINEER'S CERT (ESC)  
☐ SO-19  
☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
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☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)  
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☐ PAVING PERMIT APPROVAL  
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☐ GRADING CERTIFICATION  
☐ SO-19 APPROVAL  
☐ ESC PERMIT APPROVAL  
☐ ESC CERT. ACCEPTANCE  
☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: January 23, 2015 By: Fred C. Arfman

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



November 17, 2014

Fred Arfman, P.E.  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: Main Bank Conceptual Grading and Drainage Plan  
Engineer's Stamp Date –no stamp- (H19D055A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 11-14-14, the above referenced plan is approved for Site Plan for Building Permit action by the DRB with the following condition: the area between the sidewalk culvert/walk-dip section and the inlet will be concrete and included in the DRC construction plans.

If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Hydrology  
Planning Dept.

C: e-mail

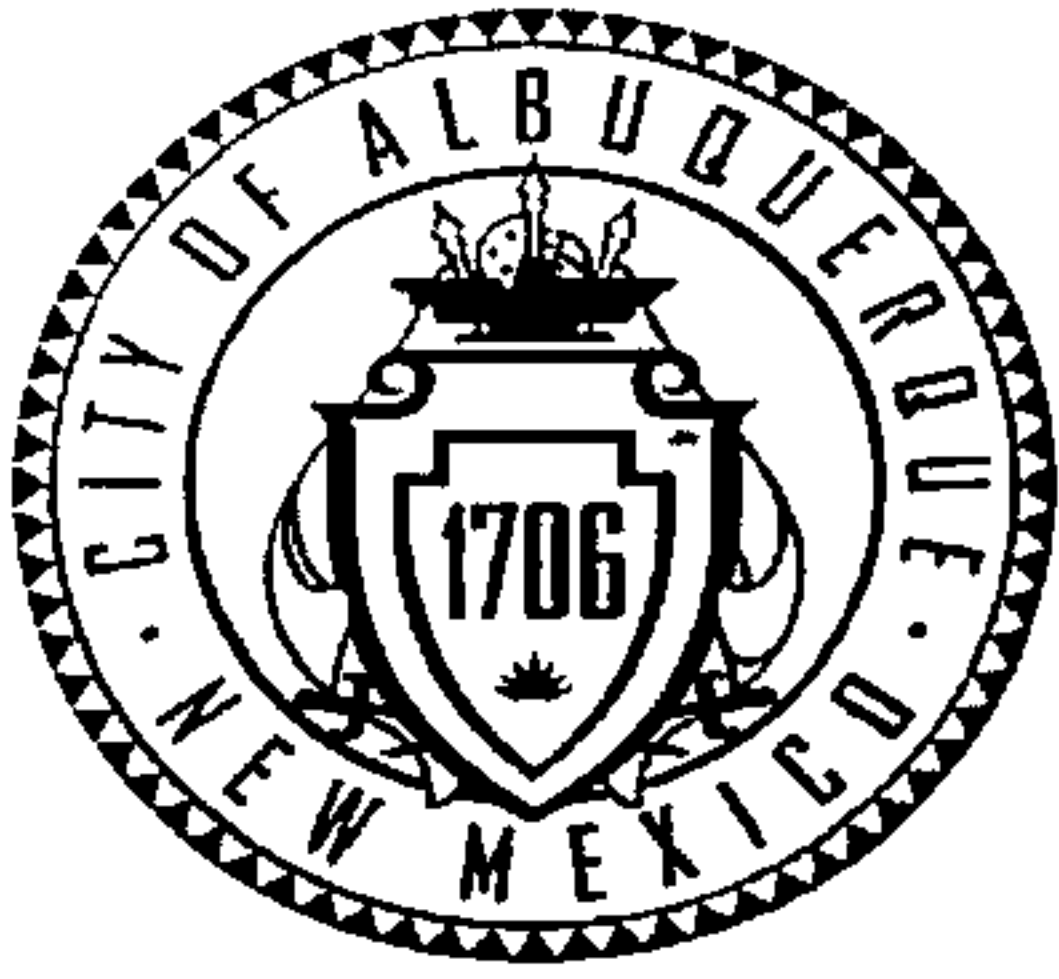


## **Bryan Bobrick**

---

**From:** Bryan Bobrick <bryanb@iacivil.com>  
**Sent:** Friday, November 14, 2014 9:08 AM  
**To:** 'Ortiz, Monica'  
**Subject:** Main Bank - Menaul Blvd - Conceptual G&D Resubmittal  
**Attachments:** 2072 CG-101 CONCEPTUAL-GRADING & DRAINAGE PLAN.pdf

**Bryan J. Bobrick**  
**Project Manager**  
Isaacson & Arfman, P.A.  
Consulting Engineering Associates  
128 Monroe St. N.E.  
Albuquerque, NM 87108  
Phone: (505)268-8828  
Fax: (505)268-2632  
[bryanb@iacivil.com](mailto:bryanb@iacivil.com)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank Building Permit #: \_\_\_\_\_ City Drainage #: H19D055A

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addition

City Address: \_\_\_\_\_

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: Main Bank Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dorman Breen Architects Contact: Laurence Breen

Address: P.O. Box 11608 - Albuquerque, NM 87192

Phone#: (505) 299-5940 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg

Address: 9384 Valley View Drive NW - Albuquerque, NM 87108

Phone#: (505) 897-3366 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

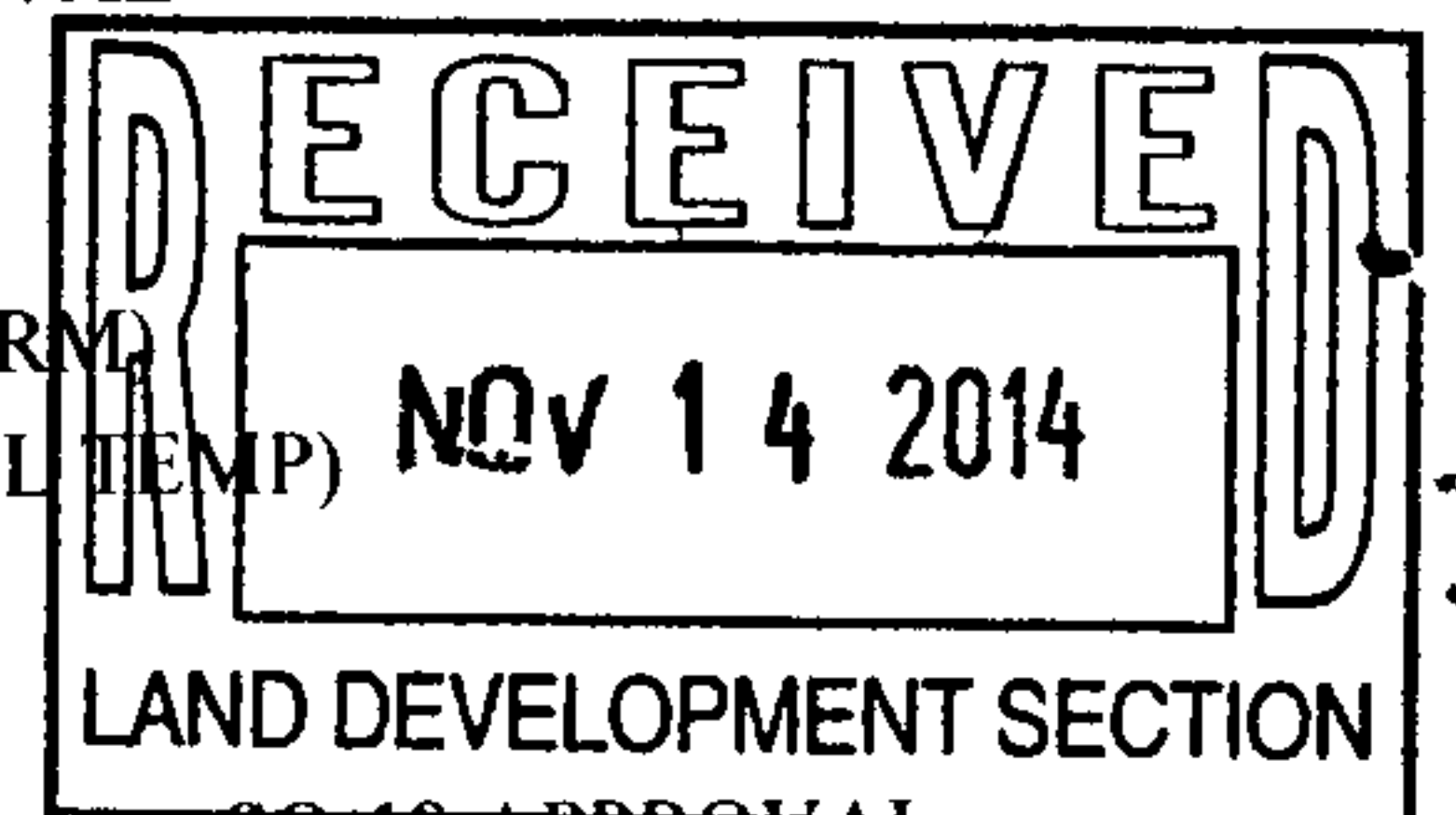
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

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- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

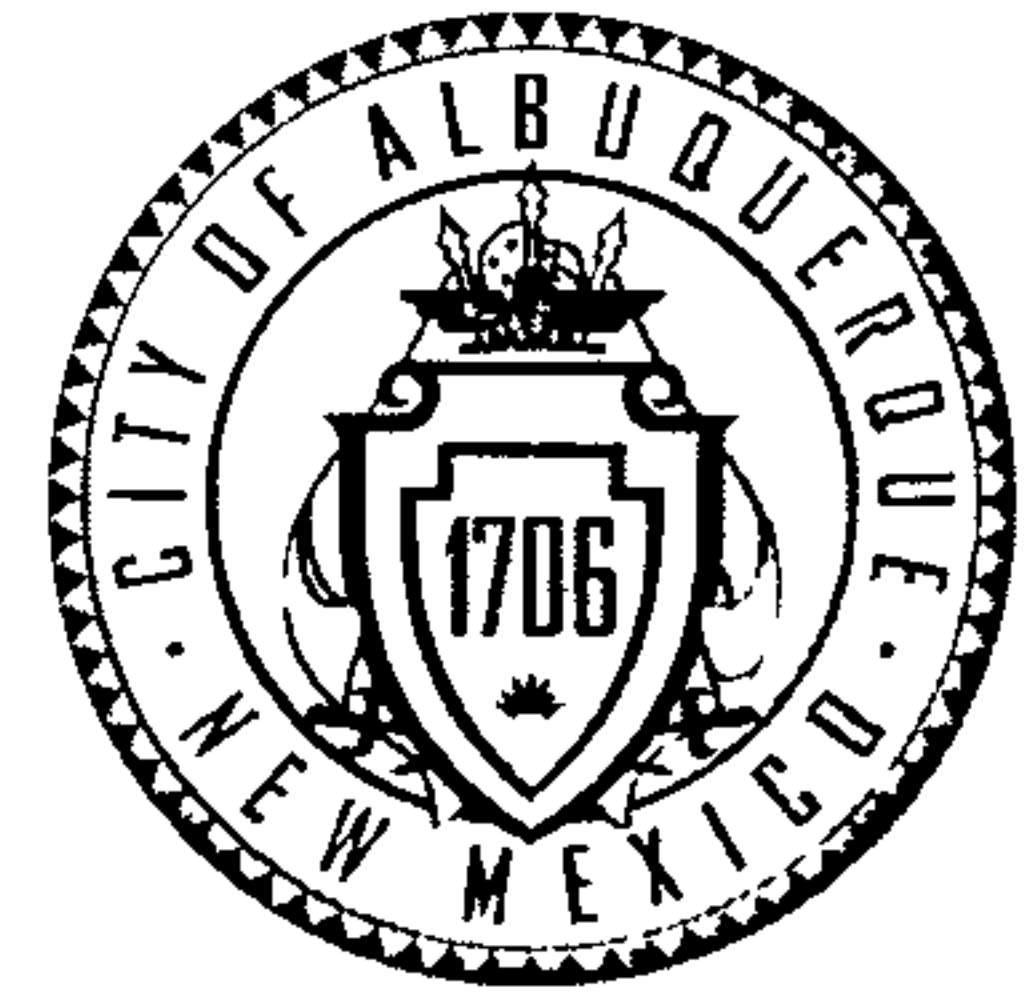
DATE SUBMITTED: November 14, 2014 By: Fred C. Arfman

Isaacson & Arfman, P.A.

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# CITY OF ALBUQUERQUE



November 11, 2014

Fred Arfman, P.E.  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: Main Bank, Conceptual Grading and Drainage Plan  
Engineer's Stamp Date –no stamp- Conceptual (H19D055A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 10-30-14, the above referenced plan cannot be approved for Site Plan for Building Permit action by the DRB until the following comments are addressed:

1. The plan proposes to direct the stormwater leaving Prospect Ave in a 90 degree angle. This is not hydraulically favorable, may increase the depth and create a wave in the cahnnel.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

New Mexico 87103

Curtis Cherne, P.E.  
Principal Engineer, Hydrology  
Planning Dept.

[www.cabq.gov](http://www.cabq.gov)

C: e-mail

10-30-14

Initially,

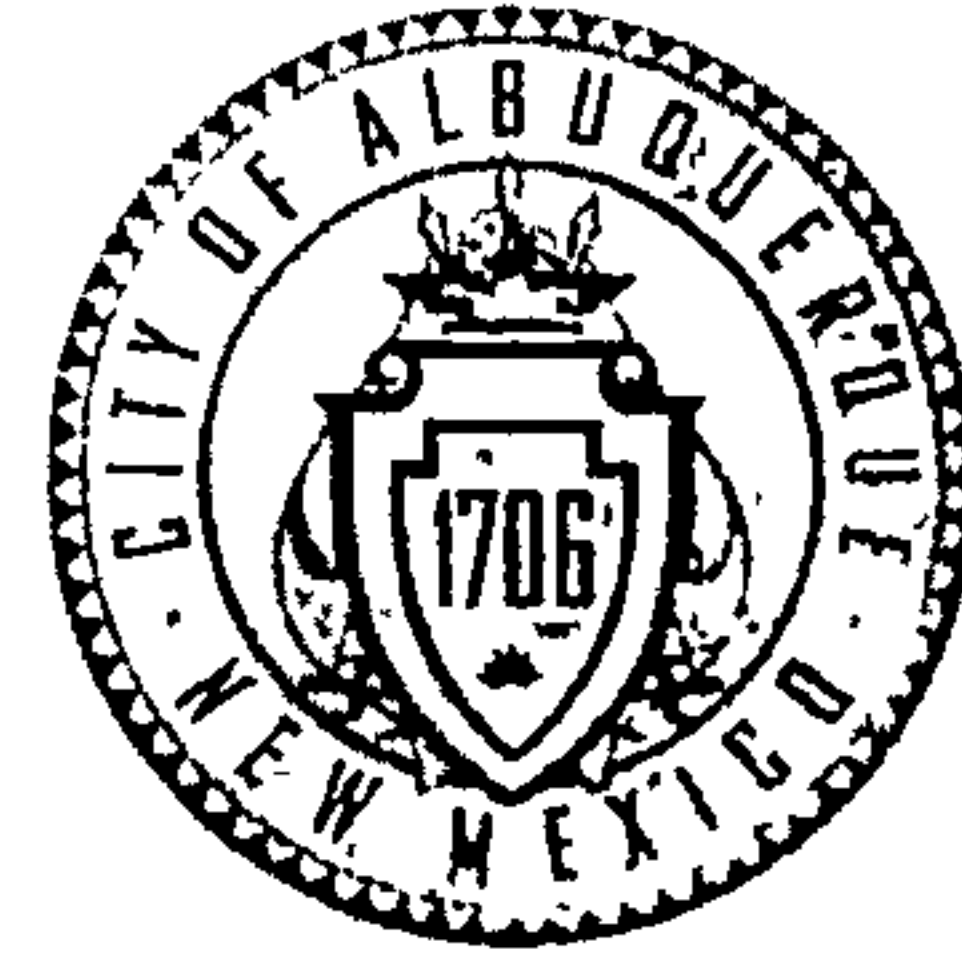
Fred and I discussed  
building an inlet(s) at the north end  
of prospect Ave to collect flows  
prior to entering the site

Somewhere in there, Shahab got involved,  
and Semi-OK'd the concept presented  
here.

See previous plan for subdivision and  
work order to see how the north  
end of prospect is built.

This may work. DB's not appear hydraulically  
favorable where flows go thru wall and hit  
channel wall head on. Also hard to believe  
channel is cheaper than 24" pipe.

# CITY OF ALBUQUERQUE



October 9, 2014

David Thompson, PE  
Thompson Engineering Consultants, Inc.  
PO Box 65760  
Albuquerque, NM 87193

**Re: La Luz Del Oeste, Unit 4  
Lots K-4, K-5  
Request Permanent C.O. - Accepted  
Engineer's Stamp dated: 9-2-14 (F11D002A)  
Certification dated: 10-8-14**

Dear Mr. Thompson,

Based on the Certification received 10/8/2014, the above mentioned lots are acceptable for release of Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695 or Rudy Rael at 924-3977.

PO Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

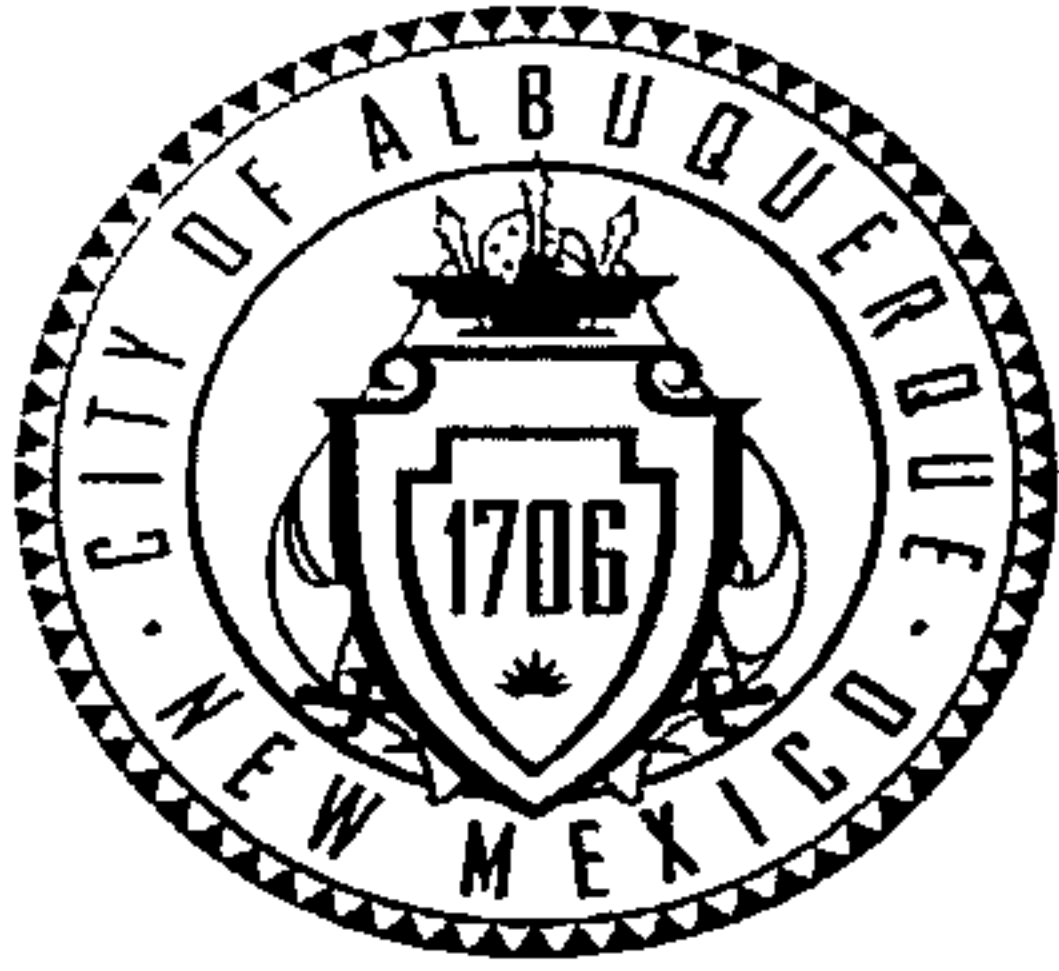
www.cabq.gov C: RR/CC  
email

- Subject line of email  
- Needs address

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- Mobile Home - can be placed in flood zone  
- Eplan





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Main Bank Building Permit #: \_\_\_\_\_ City Drainage #: H19D055A  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addition  
City Address: \_\_\_\_\_

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman  
Address: 128 Monroe Street NE - Albuquerque, NM 87108  
Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: Main Bank Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dorman Breen Architects Contact: Laurence Breen  
Address: P.O. Box 11608 - Albuquerque, NM 87192  
Phone#: (505) 299-5940 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg  
Address: 9384 Valley View Drive NW - Albuquerque, NM 87108  
Phone#: (505) 897-3366 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

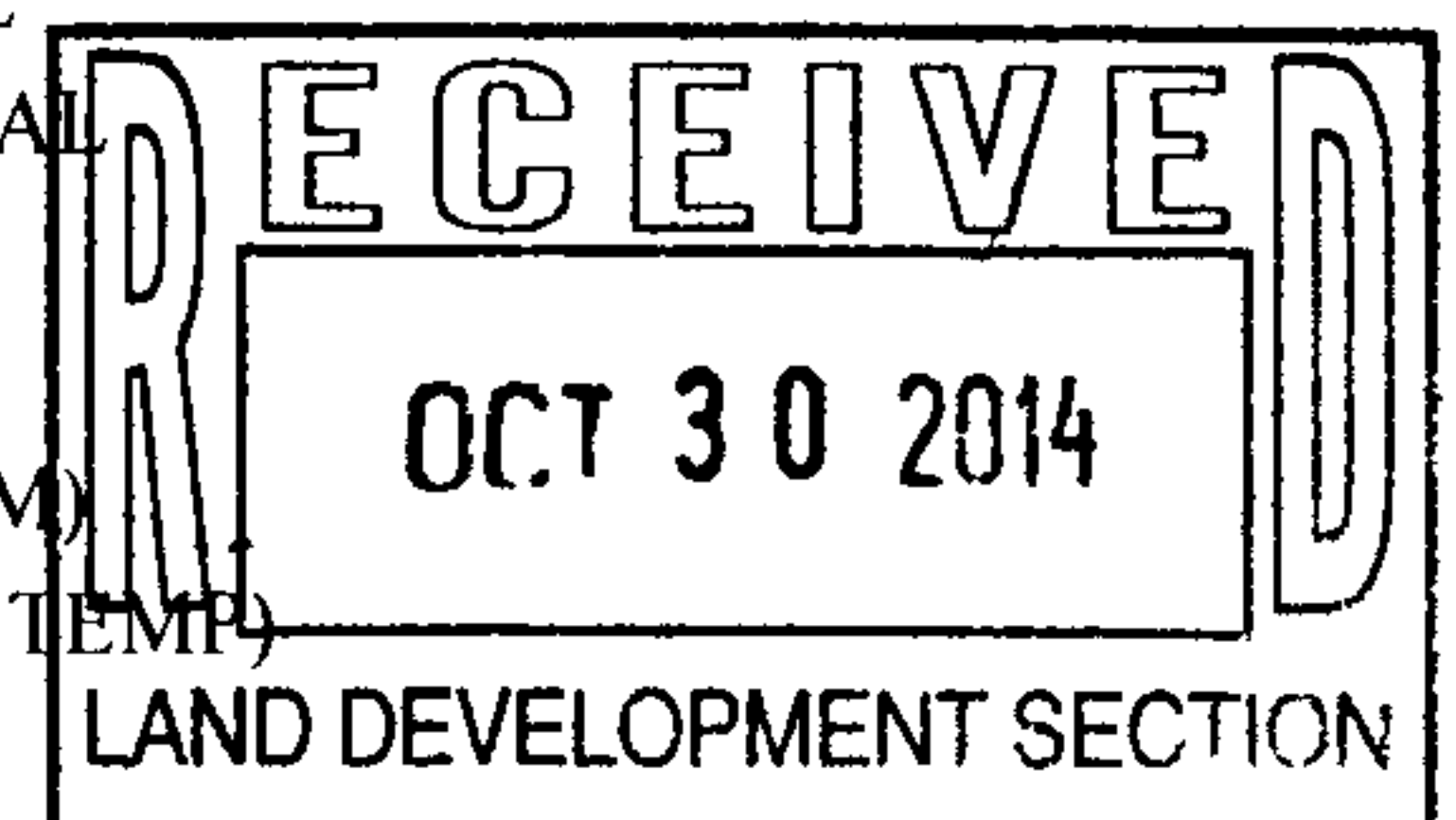
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☒ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: October 29, 2014

By: Fred C. Arfman

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

## Bryan Bobrick

---

**From:** Cherne, Curtis <CCherne@cabq.gov>  
**To:** Bryan Bobrick  
**Sent:** Wednesday, October 29, 2014 2:03 PM  
**Subject:** Read: Main Bank resubmittal - Conceptual Grading and Drainage Plan (H19D055A)

Your message

To: Cherne, Curtis  
Subject: Main Bank resubmittal - Conceptual Grading and Drainage Plan (H19D055A)  
Sent: Wednesday, October 29, 2014 1:35:45 PM (UTC-07:00) Mountain Time (US & Canada)

was read on Wednesday, October 29, 2014 2:03:08 PM (UTC-07:00) Mountain Time (US & Canada).

# Channel Report

<Name>

**Rectangular**

Bottom Width (ft) = 10.00  
Total Depth (ft) = 0.50  
  
Invert Elev (ft) = 27.50  
Slope (%) = 0.80  
N-Value = 0.013

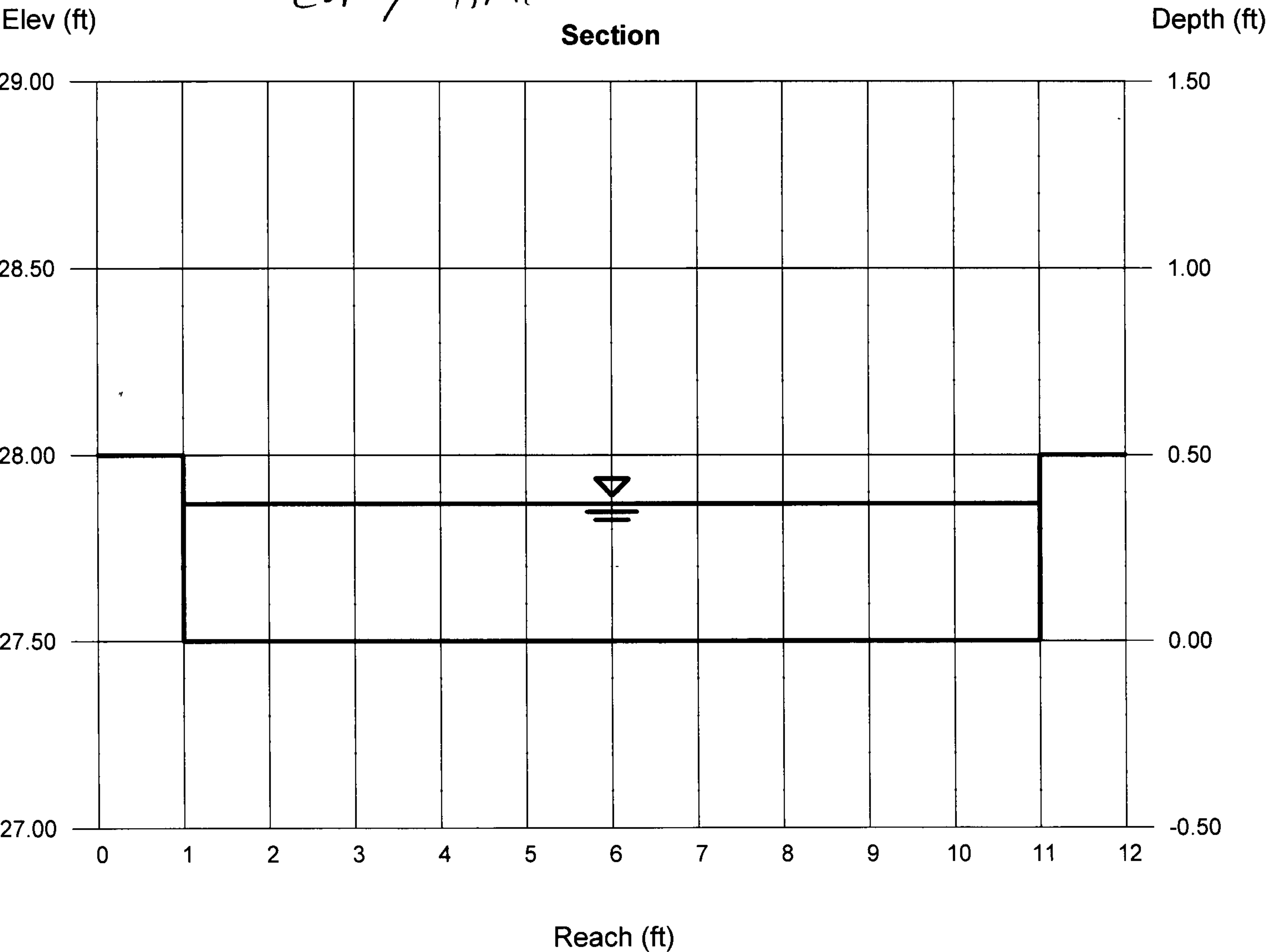
**Highlighted**

Depth (ft) = 0.37  
Q (cfs) = 18.00  
Area (sqft) = 3.70  
Velocity (ft/s) = 4.86  
Wetted Perim (ft) = 10.74  
Crit Depth, Yc (ft) = 0.47  
Top Width (ft) = 10.00  
EGL (ft) = 0.74

**Calculations**

Compute by:  
Known Q (cfs) = 18.00

*Architect asmt  
Larry Brain*



**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION  
DEVELOPMENT REVIEW BOARD MEMO**

**DRB PROJECT NO: 1007099**

**AGENDA ITEM NO: 1**

**SUBJECT:**

Site Plan for Bldg Permit

**ENGINEERING COMMENTS:**

Comments on the drainage plan include:

1. If stormwater is to enter the site, it is not hydraulically favorable to attempt to turn it 90 degrees. When the channel/pipe combination was initially presented, the channel was shown on an angle, which would change the parking layout.
2. The City will maintain a storm drain, with an acceptable easement, however a channel will have to be maintained by the property owner unless it is 10 feet wide. If a channel is approved a minimum width would be 5 feet.
3. A defined easement corridor is required for the public storm drain. The easement can be given prior to Building Permit, but the corridor should be shown on the site plan.
4. A storm drain from Prospect to Mesilla is still the best alternative.

Hydrology will write a letter on the drainage submittal this week.

Comments on the Site Plan:

1. Spaces are required in the wall at the end of Prospect St for drainage emergency overflow or planned drainage.
2. Show the curb cuts in the parking islands. See drainage plan.
3. Show the easement for the public storm drain, once it is defined.

# CITY OF ALBUQUERQUE



September 16, 2014

Fred C. Arfman, PE  
Isaacson & Arfman, PA  
128 Monroe St NE  
Albuquerque, NM 87108

**Re: Main Bank  
Menaul/Prospect  
Conceptual Grading & Drainage Plan (H19D055A)**

Dear Mr. Arfman,

Based upon the information provided in your submittal received 9/27/14, the above referenced plan cannot be approved for Site Plan for Building Permit action by the DRB until the following comments have been addressed.

- Show the inlets and storm drain from Prospect Ave to Mesilla Ave.
- An emergency opening should be provided in the CMU wall at the end of Prospect Ave.

PO Box 1293

When submitting for building permit review, describe how the site will manage the first flush. Also, I noticed that curb openings are not shown in the landscaping for the first flush to enter or exit.

Albuquerque

Note, this review was for Site plan for Building Permit for the DRB, a more detailed review will be accomplished for Building permit according to the DPM.

New Mexico 87103

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Review Services

C: RR/CC  
email



## **Cherne, Curtis**

---

**To:** Dicome, Kym  
**Subject:** EPCOCtober 9th 2014

1000029

Sector Plan Amendment- No adverse comments

1000501

Site Plan Bldg Permit- For DRB approval, submit a grading and drainage plan prepared by a NM Professional Engineer that includes how the site will manage the first flush.

1007099

Site Plan Bldg Permit -18 cfs is a lot of flow for a wall opening and to be draining across the site. This property would be better served if an inlet(s) was constructed in Prospect st and a storm drain constructed from the inlet to the storm drain in Mesilla St. *for DRB*

## Bryan Bobrick

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**From:** Ortiz, Monica <mortiz@cabq.gov>  
**To:** Bryan Bobrick  
**Sent:** Wednesday, August 27, 2014 11:33 AM  
**Subject:** Read: FW: Submittal for Conceptual G&D Plan - Main Bank - Menaul Blvd.

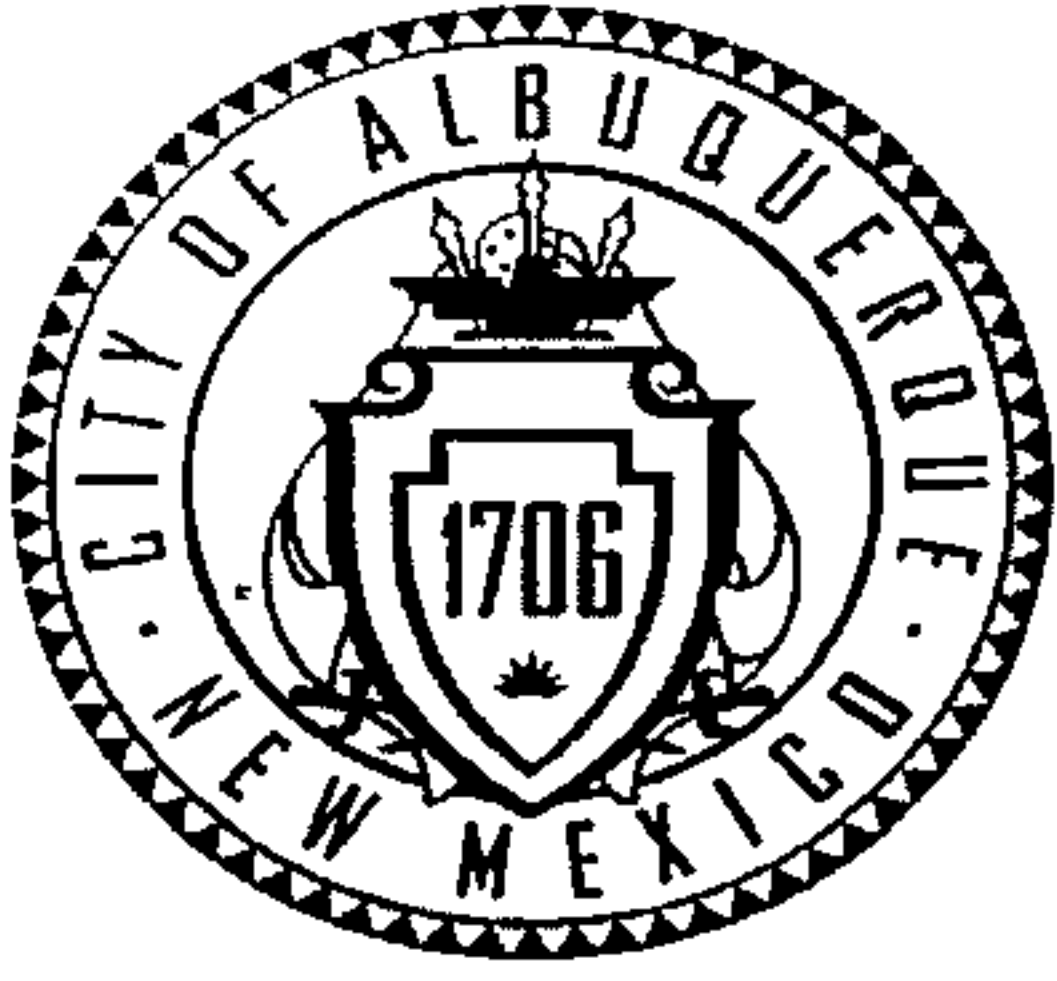
Your message

To: Ortiz, Monica  
Cc: ruthl@iacivil.com  
Subject: FW: Submittal for Conceptual G&D Plan - Main Bank - Menaul Blvd.  
Sent: Wed, 27 Aug 2014 11:31:51 -0600

was read on Wed, 27 Aug 2014 11:32:35 -0600







# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

#190055A

Project Title: Main Bank Building Permit #: \_\_\_\_\_ City Drainage #: H19/  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Tract A-1, Blocks 16 & 17, Zuni Addition  
City Address: \_\_\_\_\_

Engineering Firm: Isaacson & Arfman, P.A. Contact: Fred C. Arfman  
Address: 128 Monroe Street NE - Albuquerque, NM 87108  
Phone#: (505) 268-8828 Fax#: \_\_\_\_\_ E-mail: freda@iacivil.com

Owner: Main Bank Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: Dorman Breen Architects Contact: Laurence Breen  
Address: P.O. Box 11608 - Albuquerque, NM 87192  
Phone#: (505) 299-5940 Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: Surv-Tek, Inc. Contact: Russ P. Hugg  
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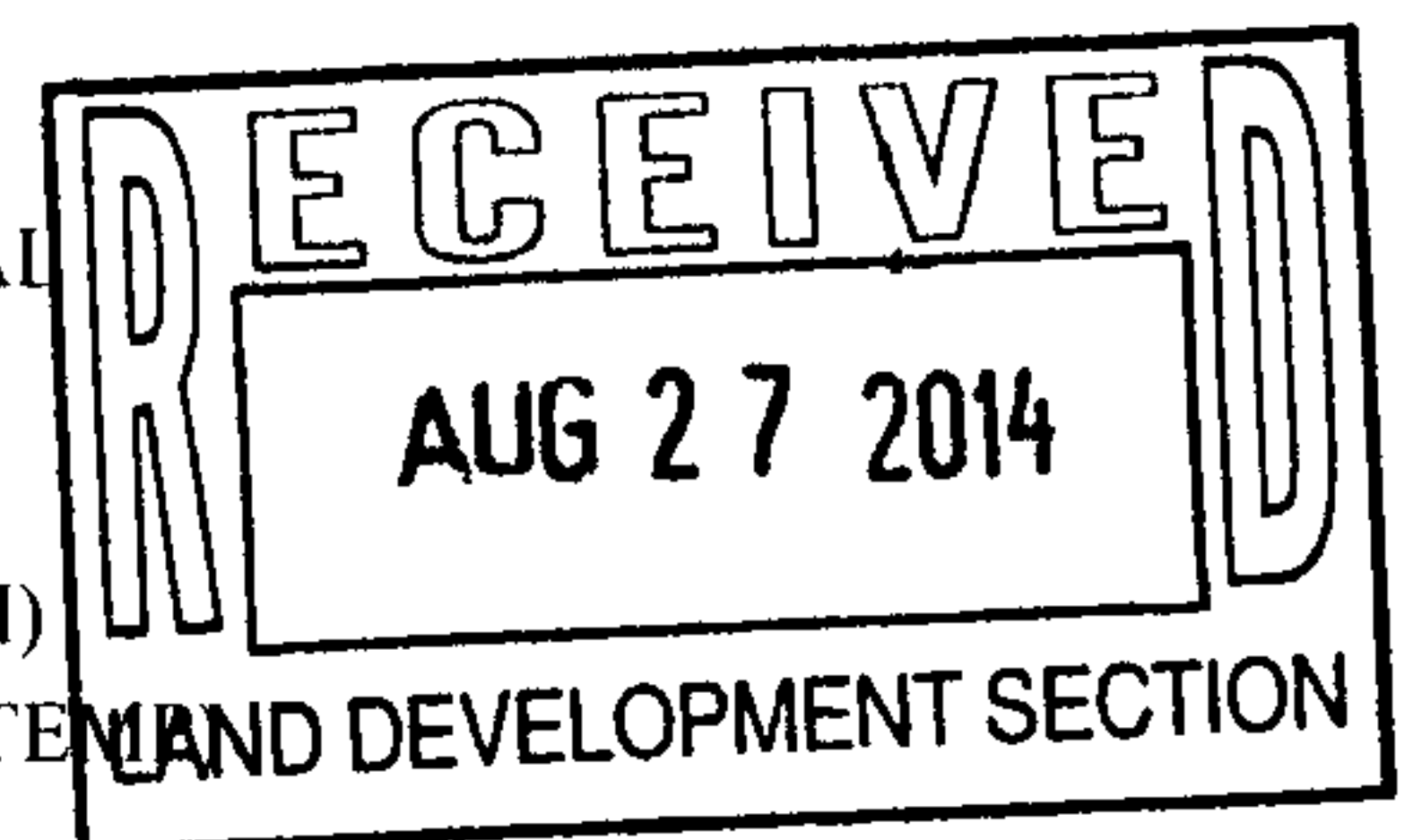
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Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

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- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) \_\_\_\_\_



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: August 27, 2014

By: Fred C. Arfman

Isaacson & Arfman, P.A.

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