

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 7, 2022

Anthony Santi
Dekker/ Perich/ Sabatini
7601 Jefferson St. NE
Albuquerque, NM 87123

**Re: PresNow on Menaul
7400 Menaul Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 09-02-2022 (H19-D055B)**

Dear Mr. Rodriguez,

The TCL submittal received 10-04-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

DATE SUBMITTED: 10/3/2022



REVISIONS	
10/4/2022	TCL

DRAWN BY	A. SANTI
REVIEWED BY	
DATE	7/12/2022
PROJECT NO.	21-0220.001
DRAWING NAME	SITE PLAN

GENERAL SHEET NOTES

- ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
- ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
- REPLACE ALL BROKEN OR CRACKED SIDEWALK EXISTING IN THE PUBLIC RIGHT-OF-WAY WITH NEW SIDEWALK CURB AND GUTTER. CURB AND GUTTER TO BE INSTALLED PER CITY STANDARD DETAIL 2415A. SIDEWALK TO BE INSTALLED PER CITY STANDARD DETAIL 2430.

PROJECT DATA

BUILDING AREA: 21,800 SQ. FT.
CONSTRUCTION TYPE: IIB
OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

FIRE FLOW: IFC TABLE 1105.1(2)
MEDICAL OFFICE 3,000x25 = 750 GPM

FIRE HYDRANTS:	REQUIRED	PROVIDED
MEDICAL OFFICE =	1	1 (300' SPACING)

PARKING CALCULATIONS

MEDICAL OFFICE 21,950 S.F. @ 5 SPACES PER 1,000 S.F. =	REQUIRED 110 SPACES	PROVIDED 110 SPACES
ACCESSIBLE PARKING 101-300 SPACES 6 ACCESSIBLE, 2 VAN ACCESSIBLE	REQUIRED 8	PROVIDED 8
MOTORCYCLE SPACES 101-150 SPACES	REQUIRED 4	PROVIDED 4
BICYCLE PARKING 10% OF REQUIRED OFF-STREET PARKING	REQUIRED 11	PROVIDED 6

SHEET KEYED NOTES

- AMBULANCE/LOADING AREA
- CANOPY OVERHEAD
- TRASH / RECYCLE ENCLOSURE. SEE DETAIL E1/AS501
- BIKE RACK (2 SPACES). SEE DETAIL A4/AS501
- TRANSFORMER/GENERATOR ENCLOSURE. SEE DETAIL E4/AS501
- BUILDING MOUNTED SIGN
- HC PARKING. SEE DETAIL D4/AS501
- HC PARKING SIGN. SEE B4/AS501
- CONCRETE SIDEWALK. SEE D6/AS501
- LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- GRAY LINE INDICATES FLUSH CONCRETE SIDEWALK. SEE DETAIL E6/AS501
- EXISTING DRIVEWAY
- MOTORCYCLE PARKING ONLY SIGN. SEE B4/AS501
- LABEL "MC" AT THE BACK OF MOTORCYCLE SPACES AND "COMPACT" AT THE BACK OF COMPACT SPACES.
- CONCRETE CURB AND GUTTER. SEE C6/AS501
- 6' HIGH SPLIT FACE CMU SCREEN WALL. SEE A6/AS501
- CMU RETAINING WALL. SEE B6/AS501
- ORNAMENTAL BOLLARD. SEE B3/AS501
- ORNAMENTAL LIT BOLLARD. SEE ELECTRICAL AND B3/AS501

EASEMENT KEYED NOTES

- EXISTING 25' PUBLIC WATER AND SEWER EASEMENT (08/15/2013, 2013C-08)
- EXISTING 40' PRIVATE ACCESS EASEMENT (09/17/2013, 2013C-108)
- EXISTING 10'X10' PUBLIC WATER EASEMENT (09/17/2013, 2013C-108)
- EXISTING BLANKET PUBLIC DRAINAGE EASEMENT OVER TRACTS A-1A AND A-1B (08/15/2013)
- EXISTING PRIVATE BLANKET DRAINAGE EASEMENT OVER TRACTS A-1A AND A-1B EXCLUDING ANY FUTURE BUILDINGS (09/17/2013, 2013C-108)
- EXISTING 11'X20' PUBLIC BUS SHELTER EASEMENT (09/17/2013, 2013C-108)
- EXISTING 6' PUBLIC SIDEWALK EASEMENT (06/11/2009, 2009C-91)
- EXISTING 10' UTILITY AND DRAINAGE EASEMENT (12/12/1990, D-104)

LEGEND

	PROPERTY LINE
	LANDSCAPE BUFFER
	LANDSCAPE AREA
	POLE LIGHT (20' MAX HEIGHT), SEE DETAIL A5/AS501
	SIDEWALK RAMP (ARROW POINTS DOWN)
	FIRE HYDRANT
	MOTORCYCLE SPACE, 4' X 8' MINIMUM, UNLESS NOTED OTHERWISE
	COMPACT CAR SPACE, 7.5' X 15' MINIMUM, UNLESS NOTED OTHERWISE
	EMERGENCY BACK-UP GENERATOR
	ELECTRICAL TRANSFORMER
	PARKING COUNT

KEYPLAN

VICINITY MAP

ZONE ATLAS PAGE:



