

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

October 7, 2022

Anthony Santi
Dekker/ Perich/ Sabatini
7601 Jefferson St. NE
Albuquerque, NM 87123

**Re: PresNow on Menaul
7400 Menaul Blvd. NE
Traffic Circulation Layout
Engineer's Stamp 09-02-2022 (H19-D055B)**

Dear Mr. Rodriguez,

The TCL submittal received 10-04-2022 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

BP-2022-30411

Project Title: PresNow Menaul **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: TR A-1B PLAT OF TRS A-1A & A-1B BLKS 16 & 17 ZUNI ADDN **City Address OR Parcel** 7400 Menaul Blvd. NE

Applicant/Agent: Dekker/Perich/Sabatini **Contact:** Anthony Santi

Address: 7601 Jefferson St. NE, Suite 100 **Phone:** 505-761-9700

Email: anthonys@dpsdesign.org

Applicant/Owner: Presbyterian Healthcare Services **Contact:** Zack Herrera

Address: 1011 Coal Ave. SE **Phone:** 505-563-6634

Email: zherrera@phs.org

TYPE OF DEVELOPMENT: PLAT (#of lots) RESIDENCE DRB SITE ADMIN SITE: X
RE-SUBMITTAL: X YES NO

DEPARTMENT: X TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- X TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- X BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 10/3/2022



REVISIONS

▲	10/4/2022	TCL
▲		
▲		
▲		
▲		

DRAWN BY	A. SANTI
REVIEWED BY	
DATE	7/12/2022
PROJECT NO.	21-0220.001
DRAWING NAME	

GENERAL SHEET NOTES

1. ALL PARKING AREAS DRIVE AISLES AND AUTOMOTIVE CIRCULATION PATHS TO BE ASPHALT PAVING.
2. ALL SIDEWALKS AND RAMPS TO BE CONCRETE.
3. REPLACE ALL BROKEN OR CRACKED SIDEWALK EXISTING IN THE PUBLIC RIGHT-OF-WAY WITH NEW SIDEWALK CURB AND GUTTER. CURB AND GUTTER TO BE INSTALLED PER CITY STANDARD DETAIL 2415A. SIDEWALK TO BE INSTALLED PER CITY STANDARD DETAIL 2430.

PROJECT DATA

BUILDING AREA: 21,800 SQ. FT.
CONSTRUCTION TYPE: IIB
OCCUPANCY TYPE: B

AN AUTOMATIC SPRINKLER AND SMOKE DETECTION SYSTEM SHALL BE INSTALLED THROUGHOUT THE BUILDING. SPRINKLER CONTRACTOR TO SUBMIT SHOP DRAWINGS TO THE AUTHORITY HAVING JURISDICTION. FIRE ALARM SYSTEM TO BE PROVIDED.

FIRE FLOW: IFC TABLE 6105.1(2)
MEDICAL OFFICE 3,000x25 = 750 GPM

FIRE HYDRANTS: REQUIRED 1 PROVIDED 1 (300' SPACING)
MEDICAL OFFICE =

PARKING CALCULATIONS

MEDICAL OFFICE	REQUIRED	PROVIDED
21,950 S.F. @ 5 SPACES PER 1,000 S.F. =	110 SPACES	110 SPACES
ACCESSIBLE PARKING	REQUIRED 8	PROVIDED 8
101-300 SPACES		
6 ACCESSIBLE, 2 VAN ACCESSIBLE		
MOTORCYCLE SPACES	REQUIRED 4	PROVIDED 4
101-150 SPACES		
BICYCLE PARKING	REQUIRED 11	PROVIDED 6
10% OF REQUIRED OFF-STREET PARKING		

SHEET KEYED NOTES

1. AMBULANCE/LOADING AREA
2. CANOPY OVERHEAD
3. TRASH / RECYCLE ENCLOSURE. SEE DETAIL E1/AS501
4. BIKE RACK (2 SPACES). SEE DETAIL A4/AS501
5. TRANSFORMER/GENERATOR ENCLOSURE. SEE DETAIL E4/AS501
6. BUILDING MOUNTED SIGN
7. HC PARKING. SEE DETAIL D1/AS501
8. HC PARKING SIGN. SEE B4/AS501
9. CONCRETE SIDEWALK. SEE D6/AS501
10. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALL, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
11. GRAY LINE INDICATES FLUSH CONCRETE SIDEWALK. SEE DETAIL E6/AS501
12. EXISTING DRIVEWAY
13. MOTORCYCLE PARKING ONLY SIGN. SEE B4/AS501
14. LABEL "MC" AT THE BACK OF MOTORCYCLE SPACES AND "COMPACT" AT THE BACK OF COMPACT SPACES.
15. CONCRETE CURB AND GUTTER. SEE C6/AS501
16. 8" HIGH SPLIT FACE CMU SCREEN WALL. SEE A6/AS501
17. CMU RETAINING WALL. SEE B6/AS501
18. ORNAMENTAL BOLLARD. SEE B3/AS501
19. ORNAMENTAL LIT BOLLARD. SEE ELECTRICAL AND B3/AS501

EASEMENT KEYED NOTES

1. EXISTING 25' PUBLIC WATER AND SEWER EASEMENT (08/15/2013, 2013C-08)
2. EXISTING 40' PRIVATE ACCESS EASEMENT (09/17/2013, 2013C-108)
3. EXISTING 10'X10' PUBLIC WATER EASEMENT (09/17/2013, 2013C-108)
4. EXISTING BLANKET PUBLIC DRAINAGE EASEMENT OVER TRACTS A-1A AND A-1B (08/15/2013)
5. EXISTING PRIVATE BLANKET DRAINAGE EASEMENT OVER TRACTS A-1A AND A-1B EXCLUDING ANY FUTURE BUILDINGS (09/17/2013, 2013C-108)
6. EXISTING 11'X20' PUBLIC BUS SHELTER EASEMENT (09/17/2013, 2013C-108)
7. EXISTING 8' PUBLIC SIDEWALK EASEMENT (06/11/2009, 2009C-91)
8. EXISTING 10' UTILITY AND DRAINAGE EASEMENT (12/12/1990, D-104)

LEGEND

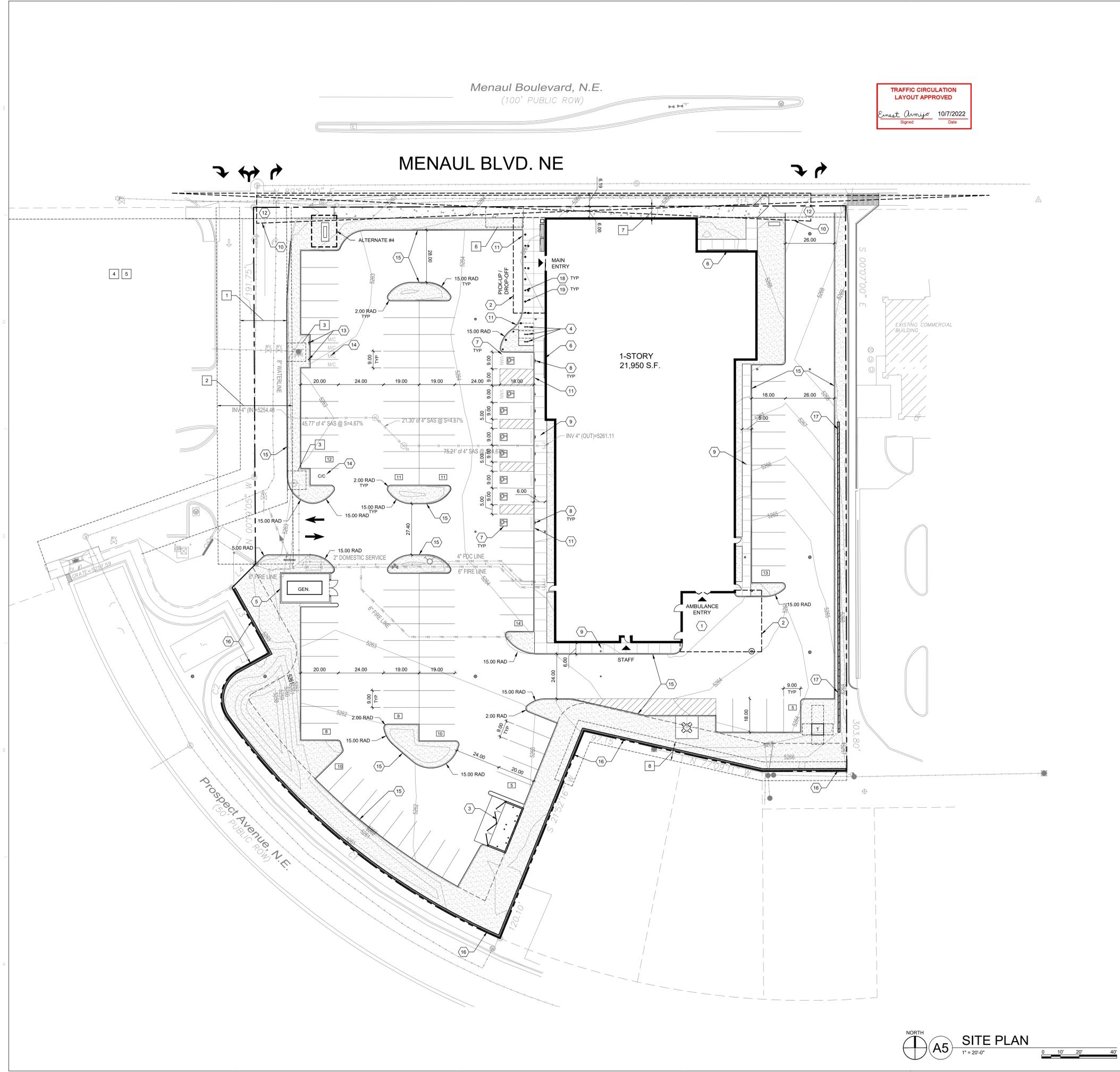
---	PROPERTY LINE
---	LANDSCAPE BUFFER
---	LANDSCAPE AREA
*	POLE LIGHT (20' MAX HEIGHT). SEE DETAIL A5/AS501
↓	SIDEWALK RAMP (ARROW POINTS DOWN)
⊕	FIRE HYDRANT
M/C	MOTORCYCLE SPACE, 4' X 8' MINIMUM, UNLESS NOTED OTHERWISE
C/C	COMPACT CAR SPACE, 7.5' X 15' MINIMUM, UNLESS NOTED OTHERWISE
GEN.	EMERGENCY BACK-UP GENERATOR
T	ELECTRICAL TRANSFORMER
11	PARKING COUNT

KEYPLAN



TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Armijo 10/7/2022
Signed Date



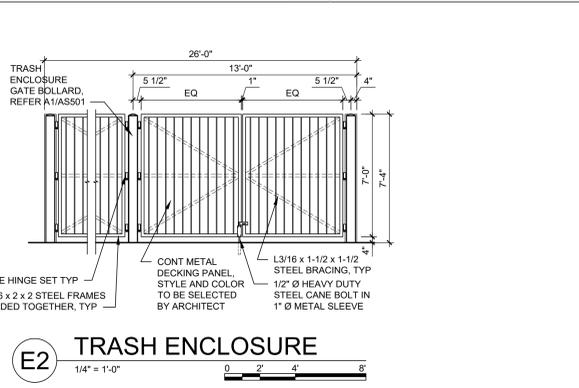
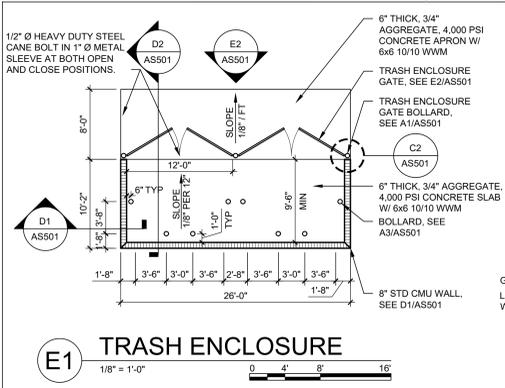


REVISIONS

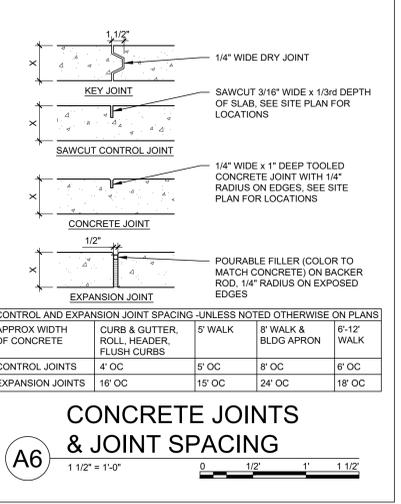
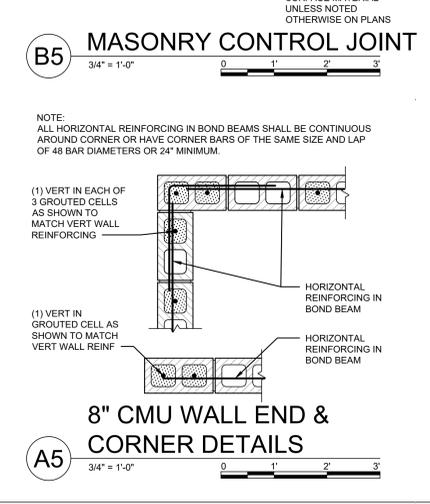
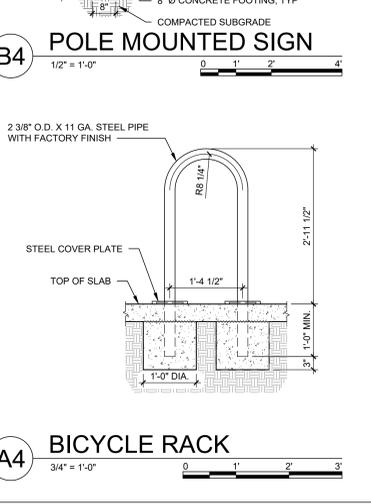
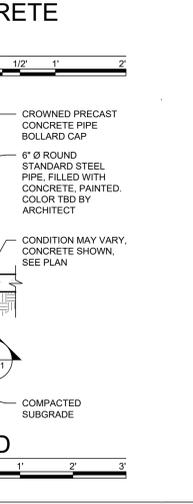
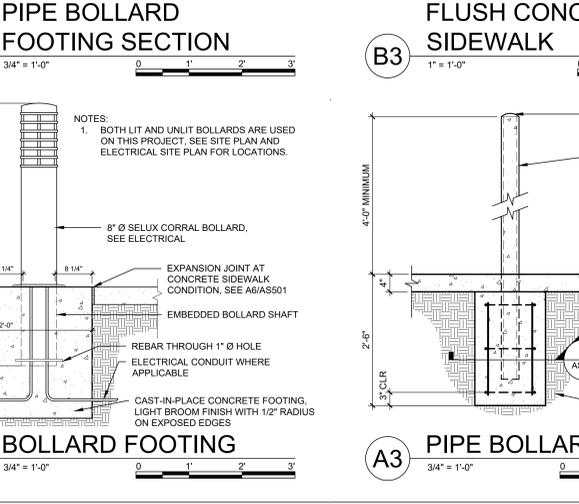
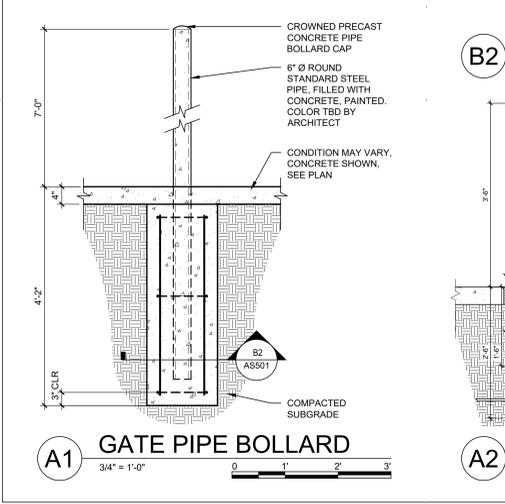
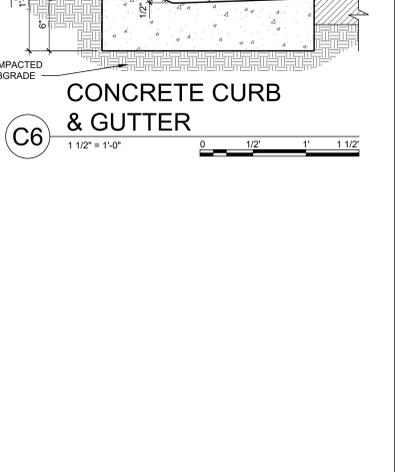
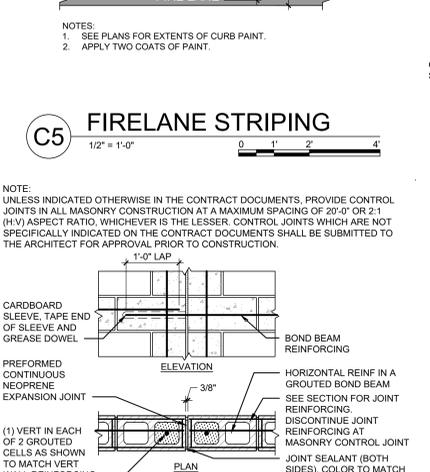
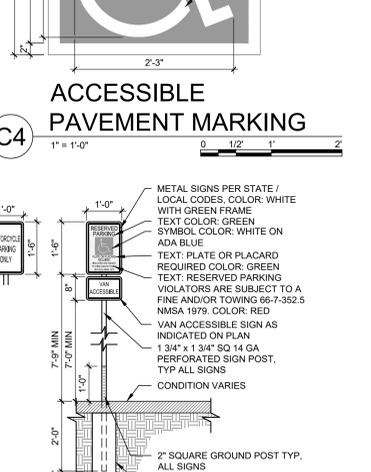
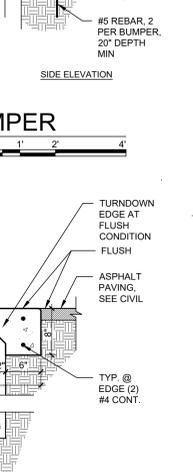
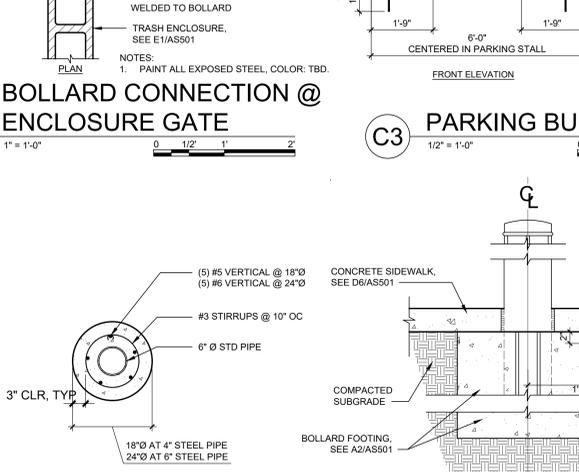
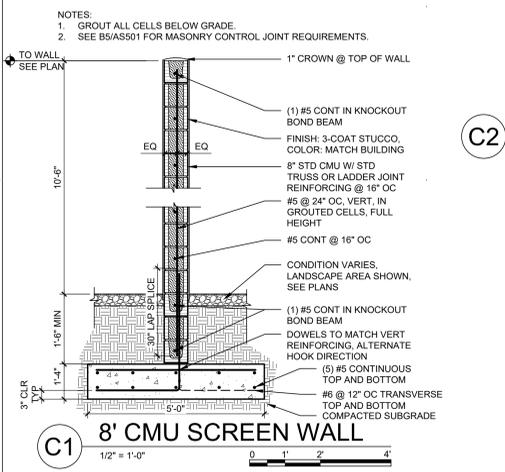
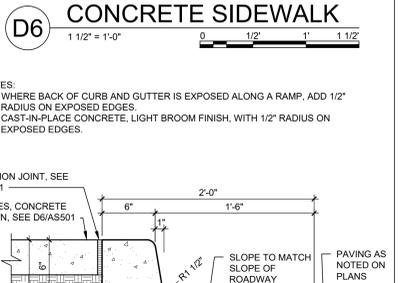
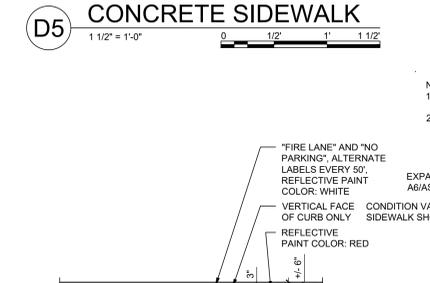
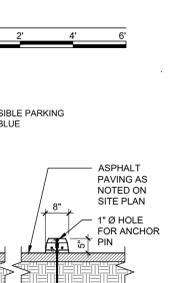
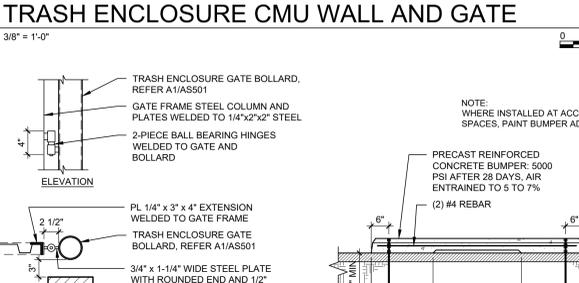
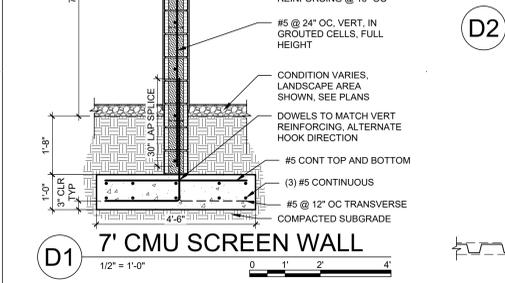
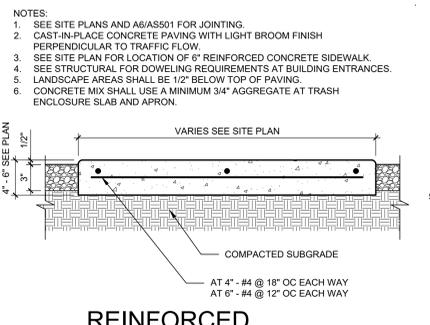
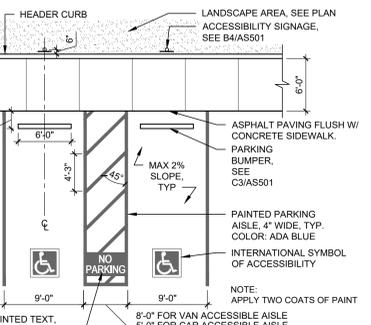
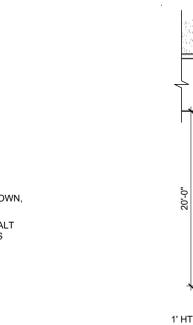
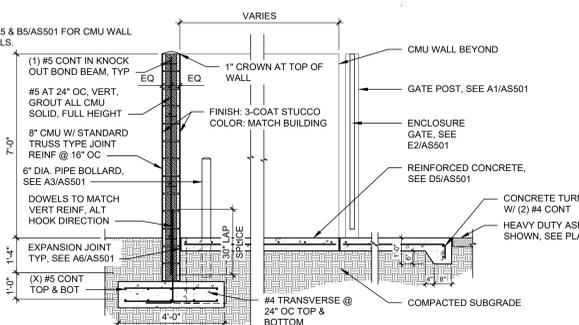
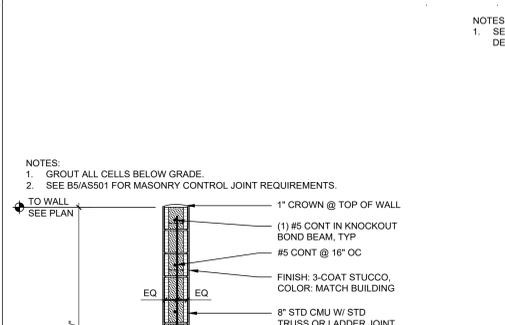
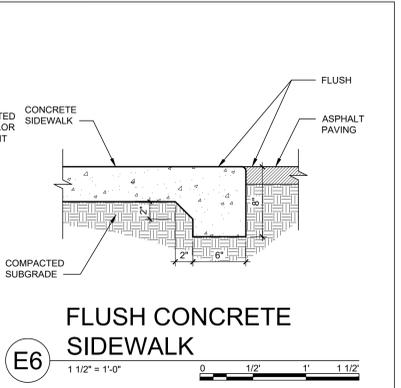
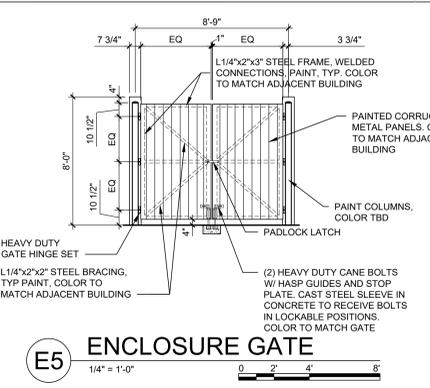
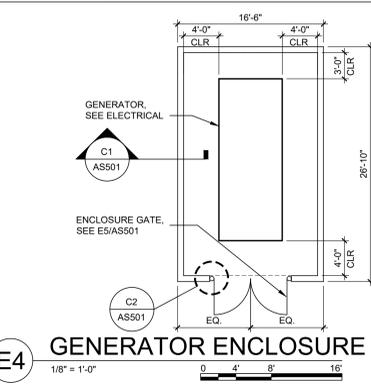
8/10/2022	ADDENDUM 003
8/23/2022	PERMIT REVIEW

DRAWN BY: A. SANTI
REVIEWED BY:
DATE: 7/12/2022
PROJECT NO.: 21-0220.001
DRAWING NAME:

SITE DETAILS



TRAFFIC CIRCULATION LAYOUT APPROVED
10/7/2022
Signed: [Signature]
Date



CONTROL AND EXPANSION JOINT SPACING - UNLESS NOTED OTHERWISE ON PLANS

APPROX WIDTH OF CONCRETE	CURB & GUTTER, ROLL, HEADER, FLUSH CURBS	5' WALK	8' WALK & BLDG APRON	6'-12" WALK
CONTROL JOINTS	4' OC	5' OC	8' OC	6' OC
EXPANSION JOINTS	16' OC	15' OC	24' OC	18' OC