

**Drainage Plan for Lot 12A, Block 1, Chipotle Restaurant**

The project property is located at 6810 Menaul Boulevard, NE, with street frontage on Menaul Blvd. and Louisiana Blvd., and a 20' Alley bordering the south. Zone Atlas Page H-18-Z and H-19-Z depicts the SU-3 zoned property encompassing approximately 1.13 acres. This site is currently developed and contains Shoney's restaurant and parking lot. This project proposes to redevelop the property for use as Chipotle Restaurant and medical/dental office space by demolishing the existing Shoney's building and constructing a new two-tenant building of approximately 5,234 square feet.

The property lies outside the 100-year floodplain, as indicated by FIRM map 35001C0352G. The site gently slopes from the northeast corner toward the southwest corner of the property where a majority of the sites 100-year peak discharge of 5.44 CFS currently drains to the drop inlet on Louisiana Blvd..

The existing building and portions of the existing landscape will be removed, with proposed minimal grading to accommodate a parking lot, new building, flatwork, and landscaping for the redeveloped site. The developed condition peak flow is essentially equal to current conditions, decreasing slightly to a peak discharge of 5.43 CFS for the 100-year storm. The discharge point will remain at the southwest corner of the site by surface drainage to the drop inlet on Louisiana Boulevard. The grading design provides for positive drainage to be maintained around the building in all directions.

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

WEIGHTED-E METHOD													
ZONE 3 Existing and Redeveloped Basin													
Basin	Area (sf)	Area (acres)	Area (sq miles)	Treatment A %	Treatment B %	Treatment C %	Treatment D %	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
Existing	49121.00	1.128	0.00176	0%	0%	0%	0%	0.000	12.4%	0.13983	87.5%	0.988	2.227
Redeveloped	49121.00	1.128	0.00176	0%	0%	0%	0%	0.000	12.8%	0.144341	87.2%	0.983	2.223
EQUATIONS: Weighted E = E <sub>1</sub> A <sub>1</sub> + E <sub>2</sub> A <sub>2</sub> + E <sub>3</sub> A <sub>3</sub> + E <sub>4</sub> A <sub>4</sub> / (Total Area) Volume = Weighted E * Total Area Flow = Q <sub>a</sub> * A <sub>s</sub> + Q <sub>b</sub> * A <sub>b</sub> + Q <sub>c</sub> * A <sub>c</sub> + Q <sub>d</sub> * A <sub>d</sub>													

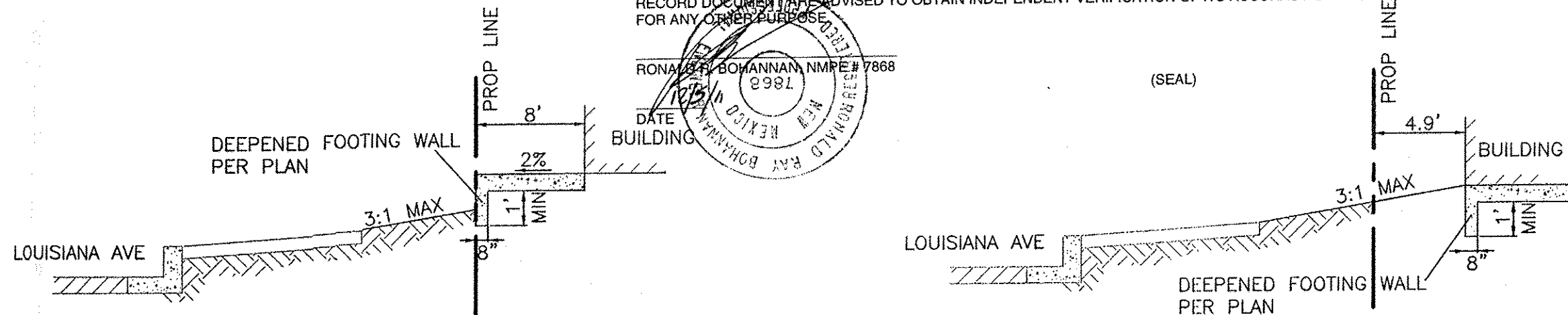
**DRAINAGE CERTIFICATION WITH SURVEY WORK DONE BY PROFESSIONAL SURVEYOR**

I, RONALD R. BOHANNAN, NMPE 7868, OF THE FIRM, TIERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 7/11/11. RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CHARLES GALA, NMPLS 31184, OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 11/17/2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR THE PERMANENT CERTIFICATE OF OCCUPANCY.

NO EXCEPTIONS TAKEN

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

RONALD R. BOHANNAN, NMPE 7868  
DATE 11-17-2011  
SIGNATURE



SECTION A-A

SECTION B-B

**LEGEND**

- CURB & GUTTER
- ROW/BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SCREEN WALL
- RETAINING WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- SPOT ELEVATION
- FLOW ARROW
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING CONTOUR MAJOR
- EXISTING CONTOUR MINOR
- EXISTING SPOT ELEVATION
- EXISTING INLET

**EROSION CONTROL NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OF ON SITE DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

**KEYED NOTES**

- DEPRESSED LANDSCAPE AREA NOT TO EXCEED 6" IN DEPTH
- DUMPSTER DRAIN ROUTED THROUGH GREASE INTERCEPTOR, SEE MASTER UTILITY PLAN SHEET 4

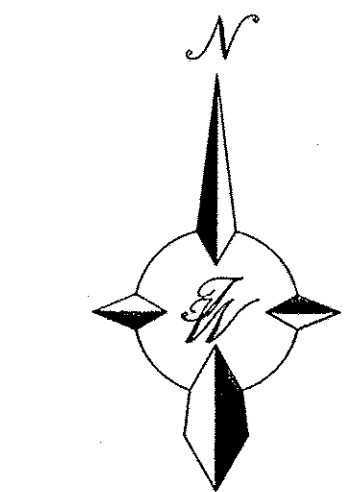
RECD. 11-17-2011

SUPERVISED BY: R.C.W.

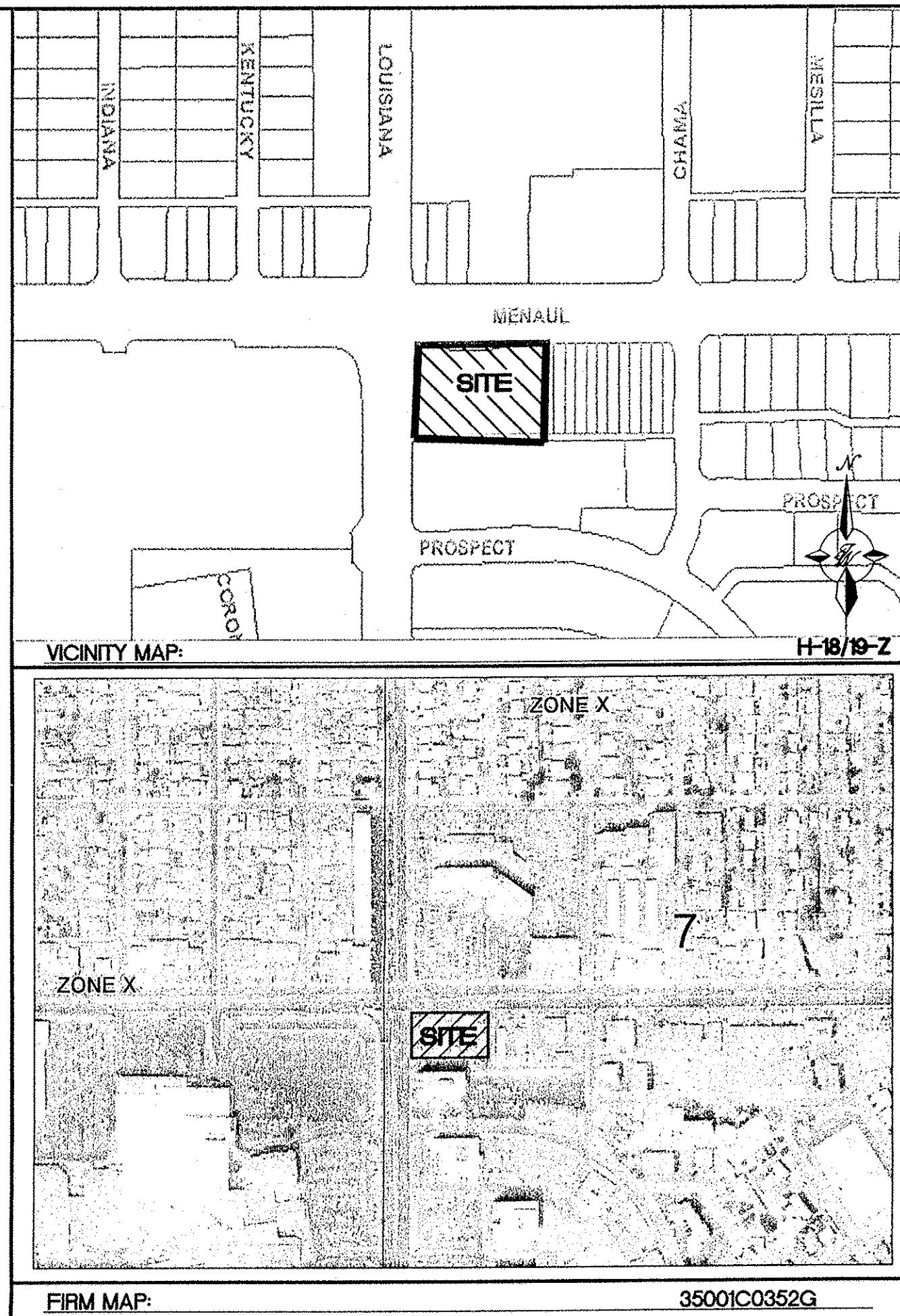
CHECKED BY: C.G.C. 11/18/11

DATE 11-17-2011

SIN 2011-0221



GRAPHIC SCALE



**LEGAL DESCRIPTION:**

LOTS 1 TO 12 BLOCK 1 EVA J ROBERTS ADDITION

**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME
INSPECTOR	

**ROUGH GRADING APPROVAL**

DATE

ENGINEER'S SEAL	<b>CHIPOTLE RESTAURANT</b> <b>MENAU AND LOUISIANA</b>  <b>AA - GRADING AND DRAINAGE PLAN</b>	DRAWN BY BJF
		DATE 7/11/11
		2011015-GRB-AA
		SHEET # <b>3</b>
RONALD R. BOHANNAN P.E. #7868	 <b>TIERRA WEST, LLC</b> 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	JOB # 2011015