

**Biazar, Shahab**

**From:** Michael Balaskovits [mbalaskovits@bhinc.com]

**Sent:** Tuesday, March 19, 2013 5:06 PM

**To:** Cherne, Curtis

**Cc:** Biazar, Shahab

**Subject:** RE: ABQ Uptown Grading and Drainage Discussion 3-11-2013

H19/D058

I apologize for stating this incorrectly. I must have misunderstood.

2. I thought you had mentioned that there might have to be some exceptions for various sites as some have EPC/DRB site plans which were approved prior to this new ordinance and forcing them to adhere to this requirement of ponding 0.44" over the disturbed area might be tough, as those approved site plans don't take into account possible locations for this new ponding requirement. Let me know so that I can make sure we convey this to the owner.

3. Understood, concerning this comment.

Thanks for taking the time to respond and working to clarify these comments.

Mike Balaskovits, P.E.

Bohannon Huston, Inc.

Community Development and Planning

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**From:** Cherne, Curtis [mailto:CCherne@cabq.gov]

**Sent:** Tuesday, March 19, 2013 4:36 PM

**To:** Michael Balaskovits

**Cc:** Biazar, Shahab

**Subject:** RE: ABQ Uptown Grading and Drainage Discussion 3-11-2013

Mike,

2. I don't remember #2 being discussed. As it will be in an ordinance, I don't see a way around it.

3. It's a downstream capacity constraint. Either you have it or you don't.

Curtis

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**From:** Michael Balaskovits [mailto:mbalaskovits@bhinc.com]

**Sent:** Wednesday, March 13, 2013 3:58 PM

**To:** Cherne, Curtis

**Cc:** Biazar, Shahab; Bruce Stidworthy

**Subject:** ABQ Uptown Grading and Drainage Discussion 3-11-2013

Curtis and Shahab, thanks for taking the time to meet with me Monday to discuss the ABQ Uptown expansion project. We are still in the preliminary phases of the project but the owner is eager to get things moving quickly and their schedule is extremely aggressive. The following is what I took away from our discussion. Please let me know if I have stated anything incorrectly or feel free to add anything I might have missed.

1. Shahab expressed his concerns about the amount of landscape being removed and that this might be an issue for zoning and drainage. He suggested we look into this to ensure we are able to meet the requirements.
2. I brought up the pending COA storm water ordinance, the timing of this project and the chance it might fall under the new requirements set forth within that ordinance (requiring the site to fully retain 0.44" of storm drainage over the area disturbed). Given the density of the development, the constraints the site has and the fact that a site plan was previously approved through EPC and DRB, City hydrology would have a hard time requiring this site to retain 0.44" and adhere to the new requirements.
3. However, Curtis did mention that if the original drainage analysis proved that the expansion will increase the percentage of impervious area on the site from the original approved plan, than additional analysis of the current system will be required to ensure safe passage of the 100yr storm event. If the land treatments are similar to what has been designed, no additional ponding or drainage mitigation will be required.
4. When we submit for the Amendment to the Site Plan, our conceptual Grading and Drainage Plan shall show this

3/20/2013

analysis and clearly show how we intend to safely pass the 100Yr storm event.

The time you took to meet with me was greatly appreciated and since this project is so complex and occurring while the ordinance is looming, it was much needed. I'm sure I will be picking your brains a bit more in the future concerning additional details as we progress.

Mike Balaskovits, P.E., LEED AP  
Project Manager  
Community Development and Planning

**Bohannon  Huston**

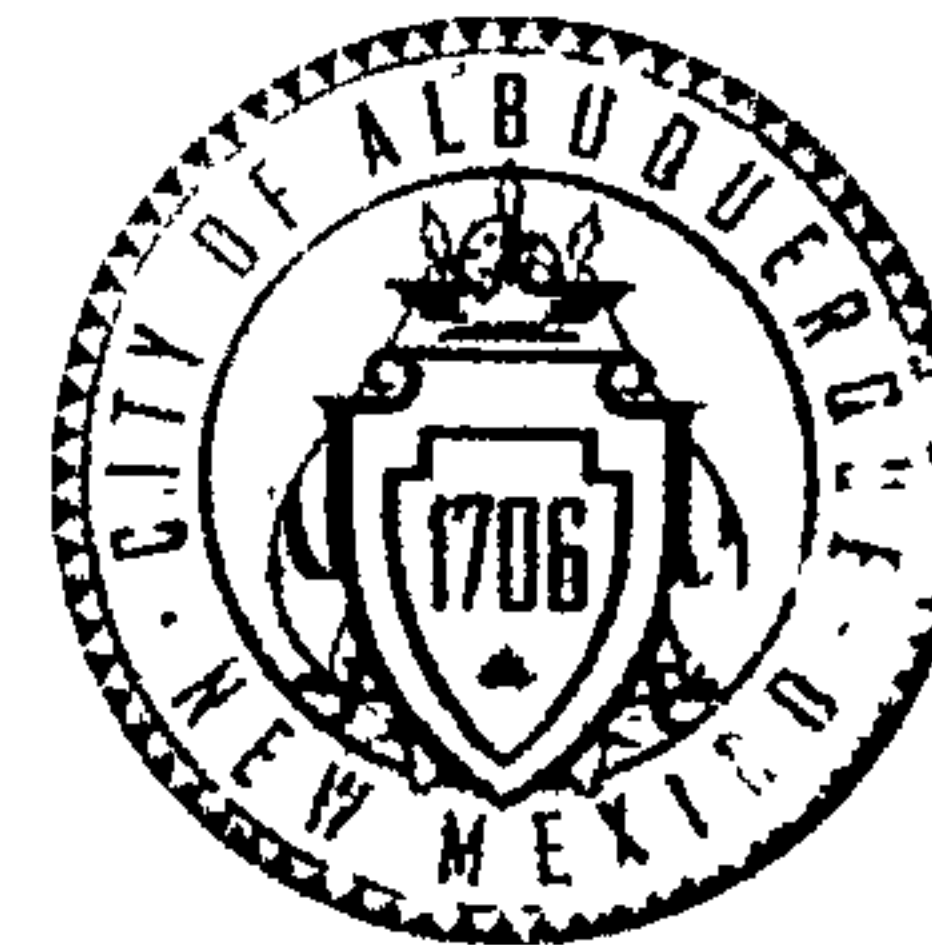
Courtyard I  
7500 Jefferson St. NE  
Albuquerque, NM 87109-4335  
**[www.bhinc.com](http://www.bhinc.com)**

**voice:** 505.823.1000 **facsimile:** 505.798.7988 **toll free:** 800.877.5332

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3/20/2013

# CITY OF ALBUQUERQUE



January 6, 2011

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Chipotle Grill, 6810 Menaul Blvd NE**  
**Permanent Certificate of Occupancy – Transportation Development**  
**Engineer's Stamp dated 01-05-12 (H19-D058)**  
**Certification dated 01-05-12**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 01-06-12, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

H-19/0058

PROJECT TITLE: ABQ Uptown Chipotle  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE # H-18-Z and H-19-Z  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION Lot 1-12-A, Block 1, Eva J Roberts Subdivision  
CITY ADDRESS: 6810 Menaul Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 5571 Midway Park Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon  
PHONE: (505) 858-3100  
ZIP CODE: 87109

OWNER: Legend Group  
ADDRESS: 5150 E. Yale Circle, Suite 400  
CITY, STATE: Denver, CO

CONTACT: Rick Will  
PHONE: 720-529-2993  
ZIP CODE: 88222

ARCHITECT: Dungan Design Group, LLC  
ADDRESS: 8826 Santa Fe Drive, Suite 304  
CITY, STATE: Overland Park, KS

CONTACT: Deanna Raithel  
PHONE: 913-341-2466  
ZIP CODE: 66212

SURVEYOR: Precision Surveys, Inc.  
ADDRESS: 5571 Midway Park Place, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 505-856-5700  
ZIP CODE: 87109

CONTRACTOR: Haworth Corporation  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: 'daryl@haworthcorp.com'  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

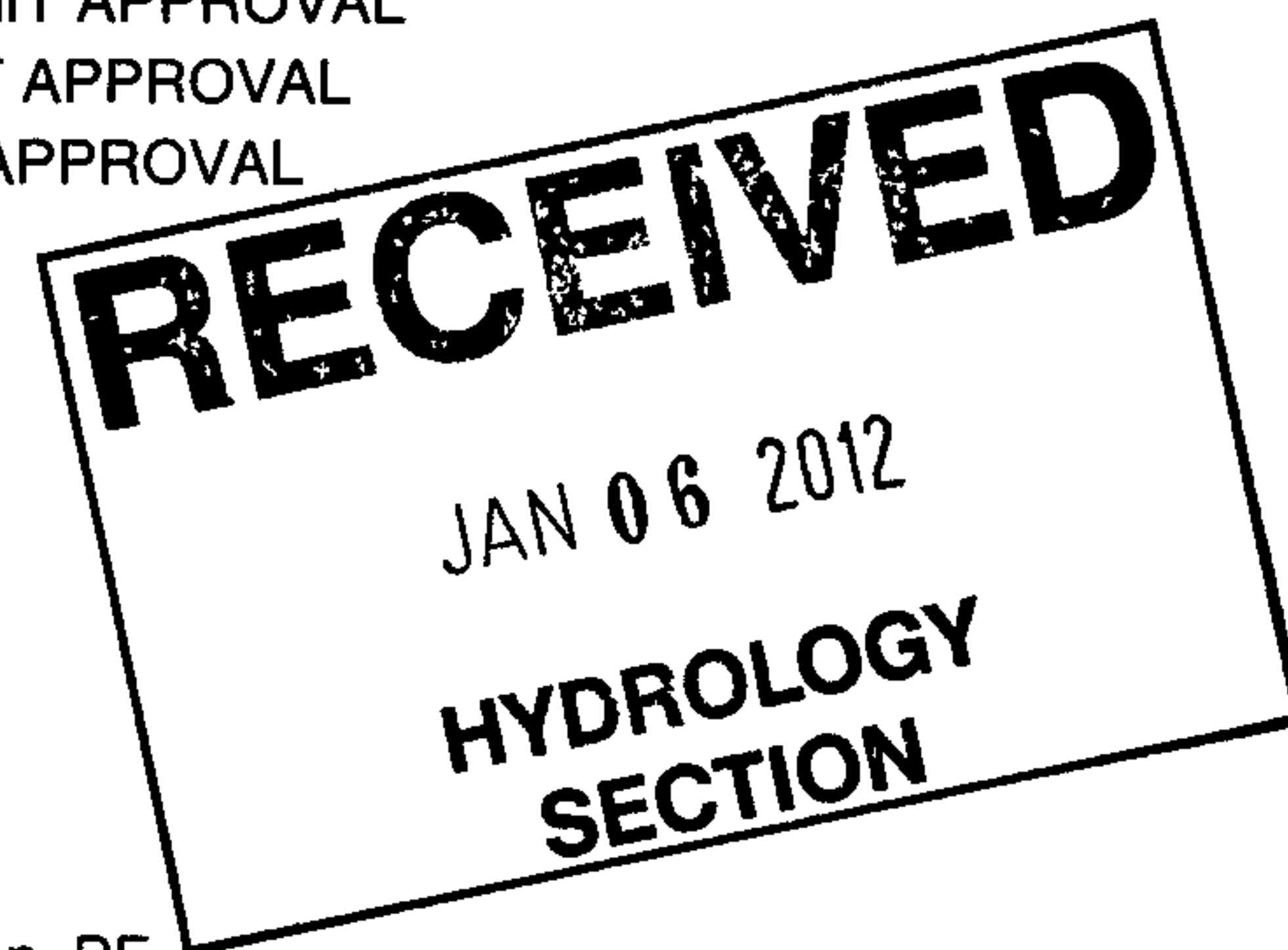
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER (AA Approved Site Plan for Building Permit)

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ SO-19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 1/5/2012 BY: Ronald R. Bohannan, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



5571 Midway Park Place NE  
(505) 858-3100  
Albuquerque, NM 87109  
Fax (505) 858-1118  
1-800-245-3102  
tierrawestllc.com

# TIERRA WEST, LLC

January 05, 2012

Ms. Kristal Metro, P.E.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: AA SITE PLAN FOR BUILDING PERMIT  
CERTIFICATION FOR PERMANENT CERTIFICATE OF OCCUPANCY  
CHIPOTLE GRILL, 6810 MANUAL BLVD. NE**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby request approval of the AA Site Plan for Building Permit for issuance of the Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on January 05, 2012, and is in accordance with the design intent of the Approved Administrative Amended Site Plan for Building Permit dated 9/15/11. This certification is submitted in support of the request for Permanent Certificate of Occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Administrative Amended Site Plan for Building Permit. Therefore, we request approval of the as-built Approved Administrative Amended Site Plan for Building Permit for a Permanent Certificate of Occupancy

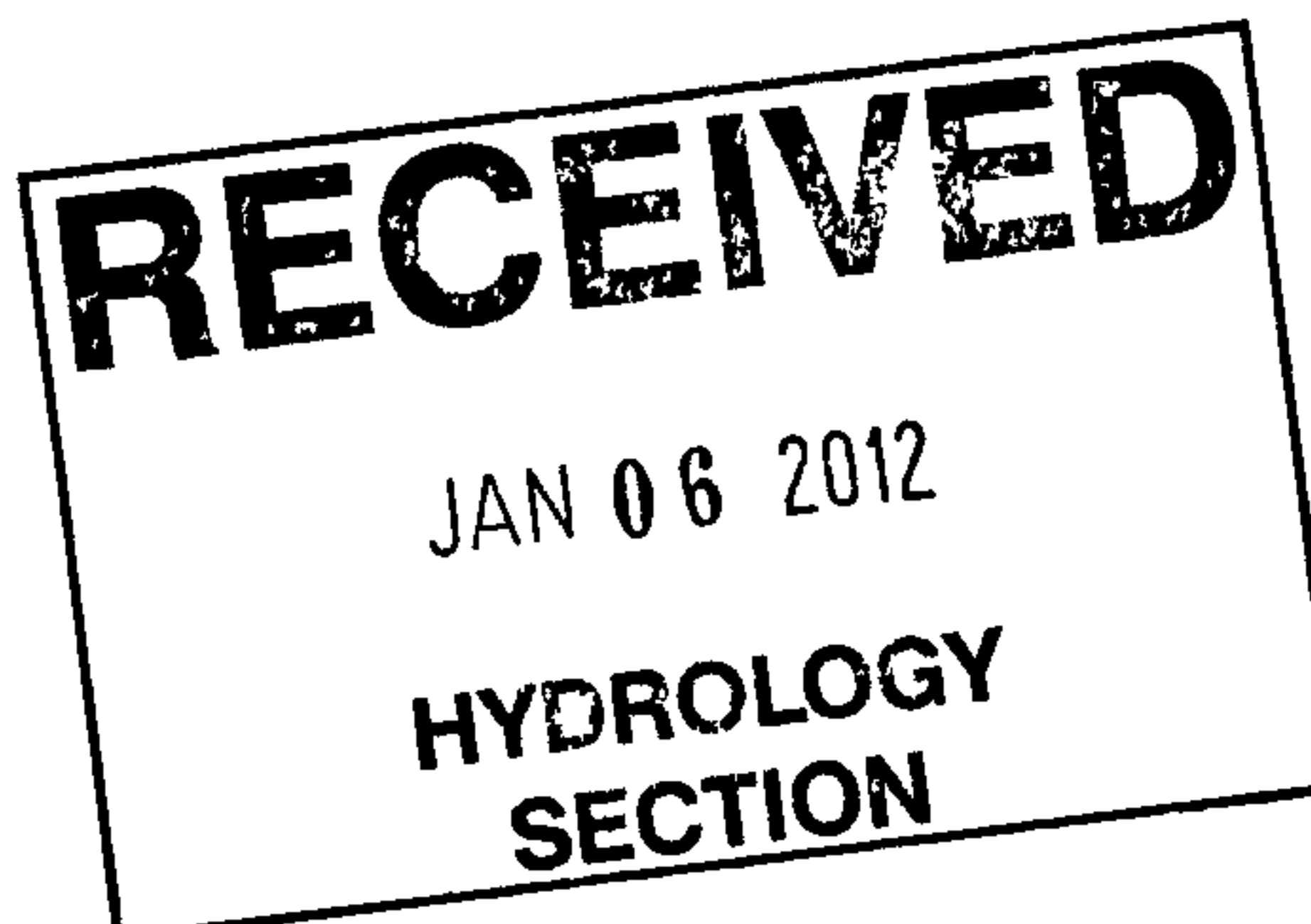
If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,

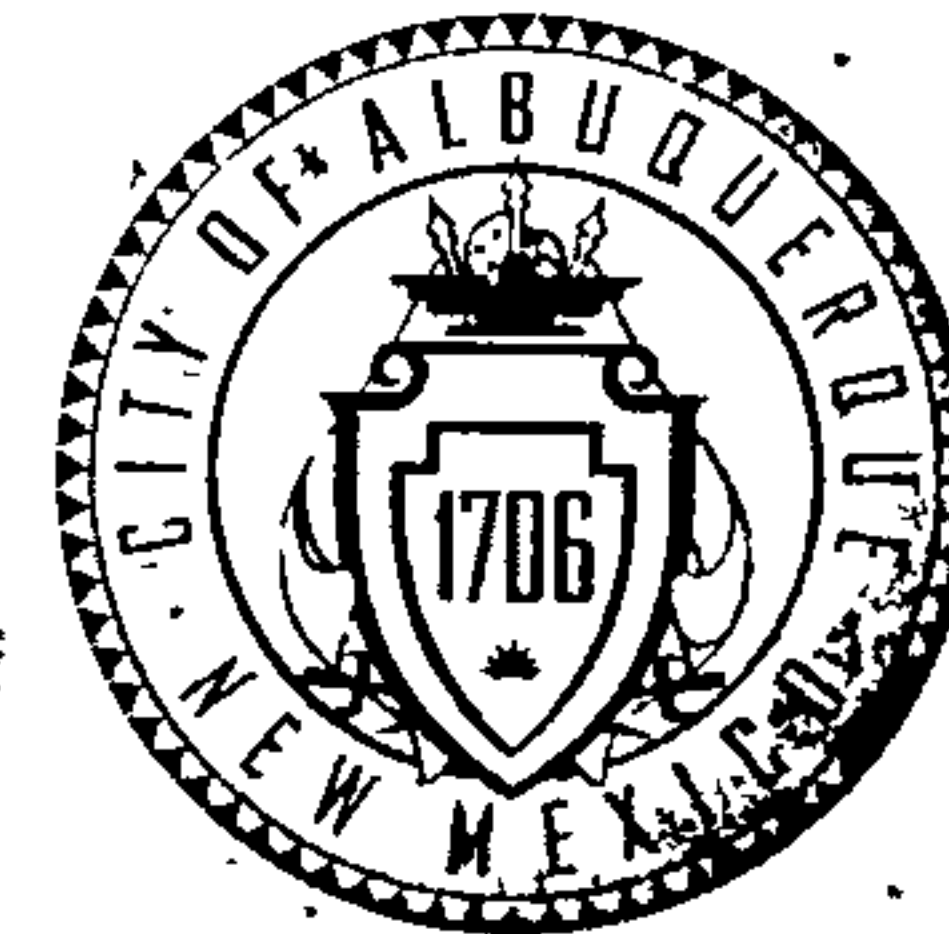
Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2011015  
RRB/BF/cla



# CITY OF ALBUQUERQUE



December 6, 2011

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

**Re: Chipotle Grill, 6810 Menaul Blvd NE**  
**Temporary Certificate of Occupancy – Transportation Development**  
**Engineer's Stamp dated 11-15-11 (H19-D058)**  
**Certification dated 12-02-11**

Dear Mr. Bohannon,

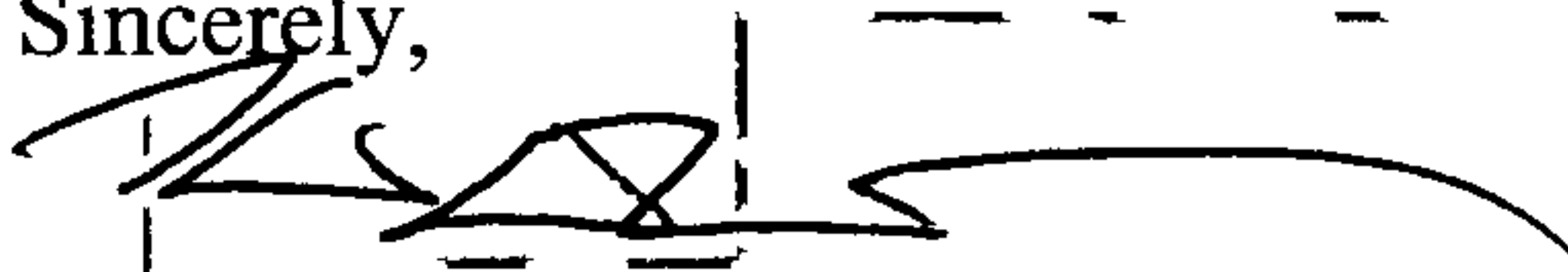
Based upon the information provided in your submittal received 12-05-11, Transportation Development has no objection to the issuance of a 30-day Temporary Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- All "punch list" items must be corrected, and a recertification must be submitted.

If you have any questions, you can contact me at 924-3991.

Sincerely,

  
Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

6810 Menaul

PROJECT TITLE: ABQ Uptown Chipotle ZONE MAP/DRG. FILE # H-18-Z and H-19-Z  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION Lot 1-12-A, Block 1, Eva J Roberts Subdivision  
CITY ADDRESS: 6810 Menaul Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC CONTACT: Ron Bohannon  
ADDRESS: 5571 Midway Park Place NE PHONE: (505) 858-3100  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Legend Group CONTACT: Rick Will  
ADDRESS: 5150 E. Yale Circle, Suite 400 PHONE: 720-529-2993  
CITY, STATE: Denver, CO ZIP CODE: 88222

ARCHITECT: Dungan Design Group, LLC CONTACT: Deanna Raithel  
ADDRESS: 8826 Santa Fe Drive, Suite 304 PHONE: 913-341-2466  
CITY, STATE: Overland Park, KS ZIP CODE: 66212

SURVEYOR: Precision Surveys, Inc. CONTACT: Larry Medrano  
ADDRESS: 5571 Midway Park Place, NE PHONE: 505-856-5700  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Haworth Corporation CONTACT: 'daryl@haworthcorp.com'  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

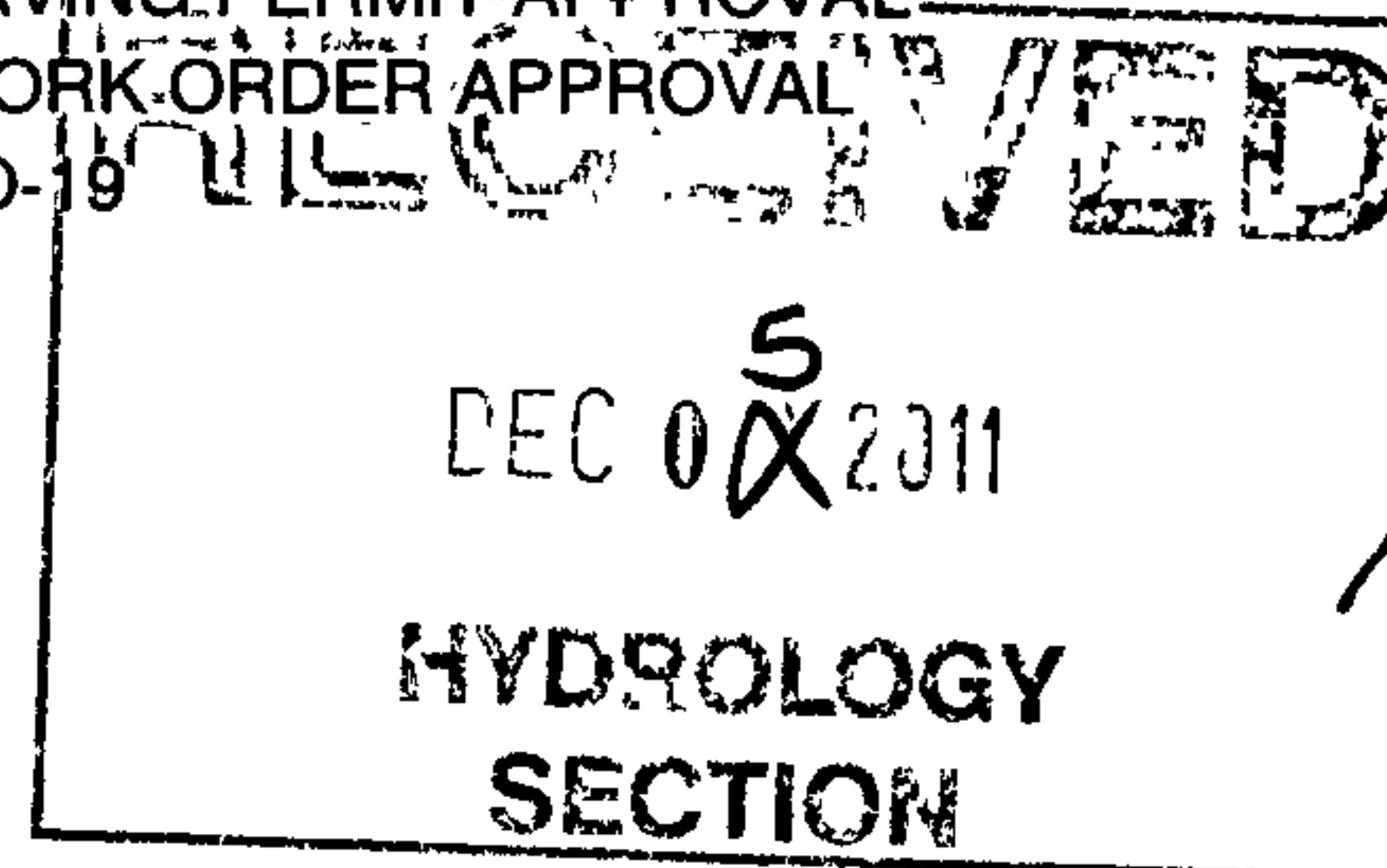
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER (AA Approved Site Plan for Building Permit)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ SO-19



DATE SUBMITTED: 12/2/2011 BY: Ronald R. Bohannon, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# TIERRA WEST, LLC

5571 Midway Park Place NE  
Albuquerque, NM 87109

Phone: 505-858-3100  
Fax: 505-858-1118

## MEMO

TO: Haworth Corporation

ATTN: Site Superintendant

FROM: Brad Frosch

SUBJECT: Chipotle Grill

Punch List / Temporary Certificate of occupancy for Transportation

JN: 2011015

DATE: 12/2/2011

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The following is the final punch list for the above referenced project:

### Transportation Punch List Items

- ~~1). Complete installation of truncated domes as per plan.~~
- ~~2). Install concrete nose at peninsula curb at east drive aisle.~~
- ~~3). Complete decorative borders site wide.~~
- 4). Re-stripe crosswalk with 6" width striping.
- ~~5). Install seat boulders and bench.~~
- ~~6). Install grease trap covers.~~
- 7). Correct south H/C parking space to be ADA compliant. (Exceeds 2%)
- 8). Flush asphalt to sidewalk at 5' ADA access.
- ~~9). Install parking bumpers at landscape planters.~~

All items must be completed prior to issuance of the Permanent Certificate of Occupancy.

Should you have any questions regarding the above punch list, please do not hesitate to contact me.



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# TIERRA WEST, LLC

December 02, 2011

Ms. Kristal Metro, P.E.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: AA SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY  
CHIPOTLE GRILL, 6800 MANUAL BLVD. NE**

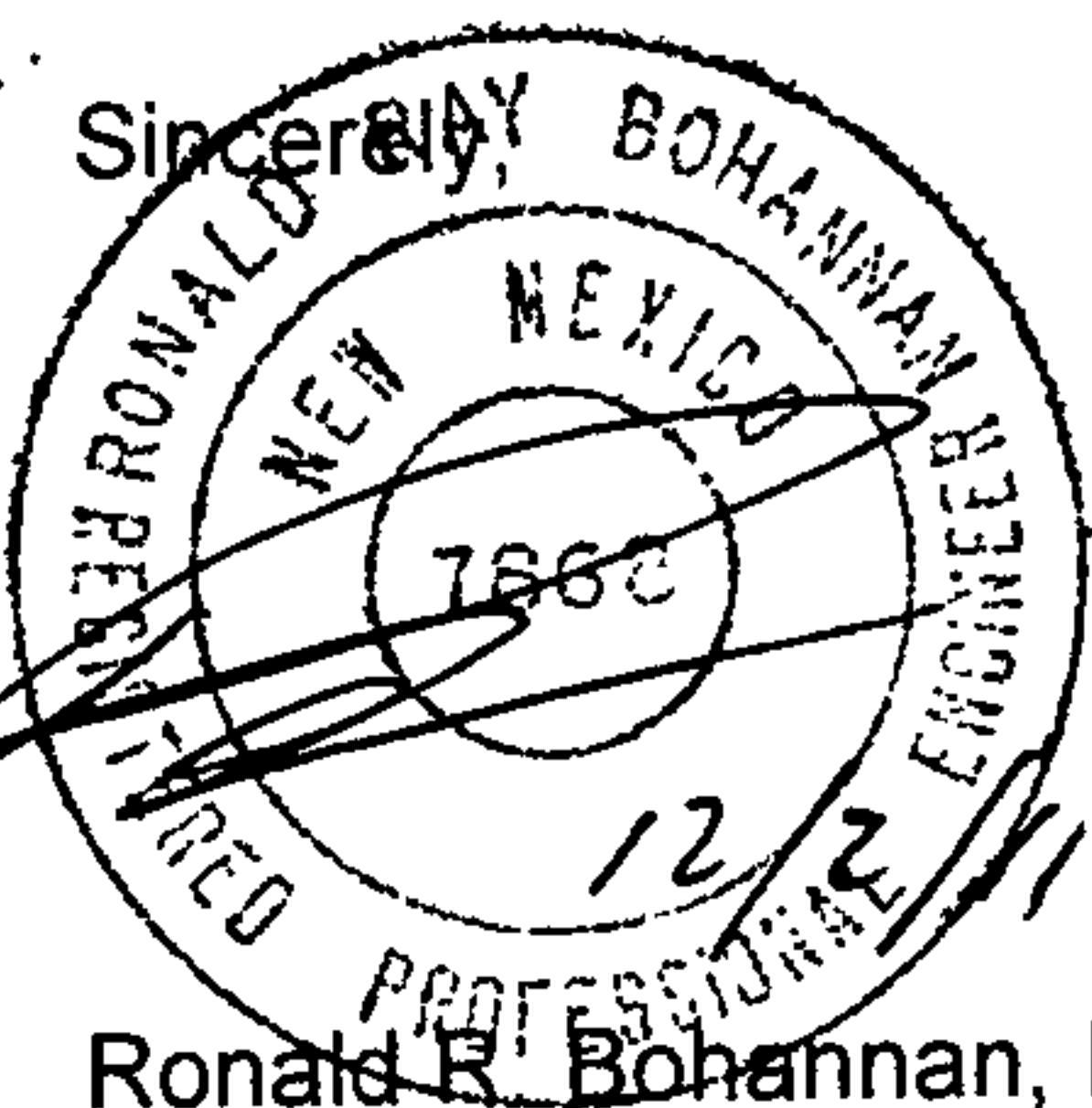
Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby request a temporary Certificate of Occupancy for the project referenced above. Traffic drive aisles have been cleared and the project is in substantial compliance as inspected on December 2, 2011, and is in accordance with the design intent of the Approved Administrative Amended Site Development Plan for Building Permit dated 9/15/11. This certification is submitted in support of a request for Temporary Certificate of Occupancy to allow the contractor to complete the remaining items per the attached punchlist.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet, the updated punchlist and the as-built Approved Administrative Amended Site Development Plan for Building Permit. Therefore, we request approval of the as-built Approved Administrative Amended Site Development Plan for Building Permit for a Temporary Certificate of Occupancy

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.



Ronald R. Bohannon, P.E.

Enclosure/s

JN: 2011015  
RRB/BF/cla

## Brad Frosch

**From:** Daryl Koepnick [daryl@haworthcorp.com]

**Sent:** Friday, December 02, 2011 11:01 AM

**To:** Brad Frosch

**Subject:** 6810 Menaul NE

Brad , the construction is completed on Chipotle and shell building at 6810 Menaul NE.  
The build out TI in the shell should start in 2012.

Thank You!

Daryl Koepnick  
Construction Manager  
[daryl@haworthcorp.com](mailto:daryl@haworthcorp.com)

P: (702) 822-2622  
F: (602) 861-4222  
C: (702) 528-1613

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1110 E MISSOURI AVE., SUITE 200 PHOENIX AZ 85014

AZ | CA | NV | NM | TX

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12/2/2011

# CITY OF ALBUQUERQUE



December 05, 2011

Ronald Ray Bohannon, P.E.  
**Tierra West, LLC.**  
5571 Midway Park Place N.E.  
Albuquerque, NM 87109

**Re: Chipolte Restaurant, 6810 Menaul Blvd. NE,**  
**Request for Permanent C.O. - Approved**  
**Engineer's Stamp dated: 07-12-11 (H-19/D058)**  
**Certification dated: 12-05-11**

Dear Mr. Bohannon,

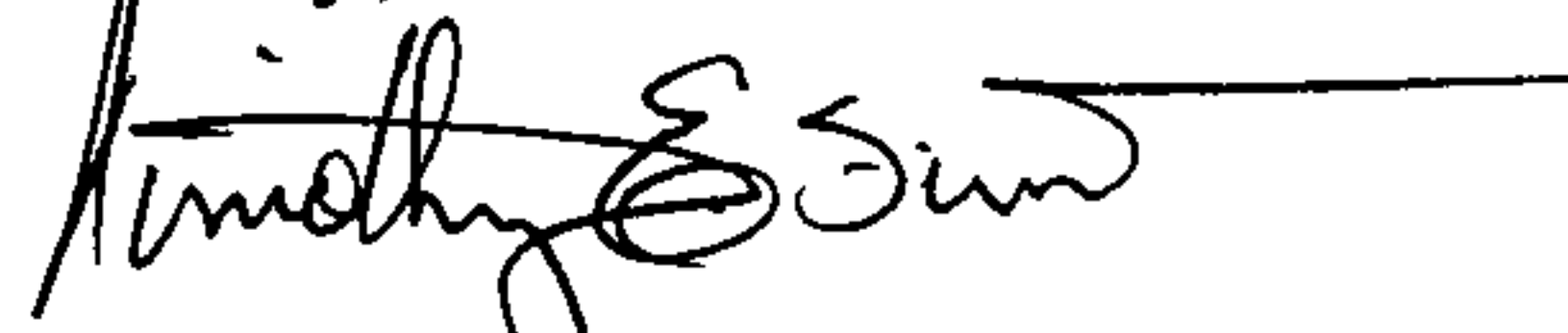
Based upon the information provided in the Certification received 12-05-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

The northwest corner of the site, along Menaul and Louisiana, a swale was constructed to convey the roof drains from Chipotle to Louisiana. Unfortunately, at the time of approval this was not anticipated. Per the DPM nuisance flow is not allowed to discharge over the sidewalk. Any future issues with this design will need to be mitigated through your office.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records. This certification can be e-mailed to me at: [tsims@cabq.gov](mailto:tsims@cabq.gov).

If you have any questions, you can contact me at 924-3982.

Sincerely,

  
Timothy E. Sims,  
Plan Checker—Hydrology Section  
Development and Building Services

C: CO Clerk—Katrina Sigala  
File

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: ABQ Uptown Chipotle  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE # H-18-Z and H-19-Z  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION Lot 1-12-A, Block 1, Eva J Roberts Subdivision  
CITY ADDRESS: 6810 Menaul Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 5571 Midway Park Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon  
PHONE: (505) 858-3100  
ZIP CODE: 87109

OWNER: Legend Group  
ADDRESS: 5150 E. Yale Circle, Suite 400  
CITY, STATE: Denver, CO

CONTACT: Rick Will  
PHONE: 720-529-2993  
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ARCHITECT: Dungan Design Group, LLC  
ADDRESS: 8826 Santa Fe Drive, Suite 304  
CITY, STATE: Overland Park, KS

CONTACT: Deanna Raithel  
PHONE: 913-341-2466  
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CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 505-856-5700  
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CONTRACTOR: Haworth Corporation  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: 'daryl@haworthcorp.com'  
PHONE: \_\_\_\_\_  
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## CHECK TYPE OF SUBMITTAL:

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- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
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- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
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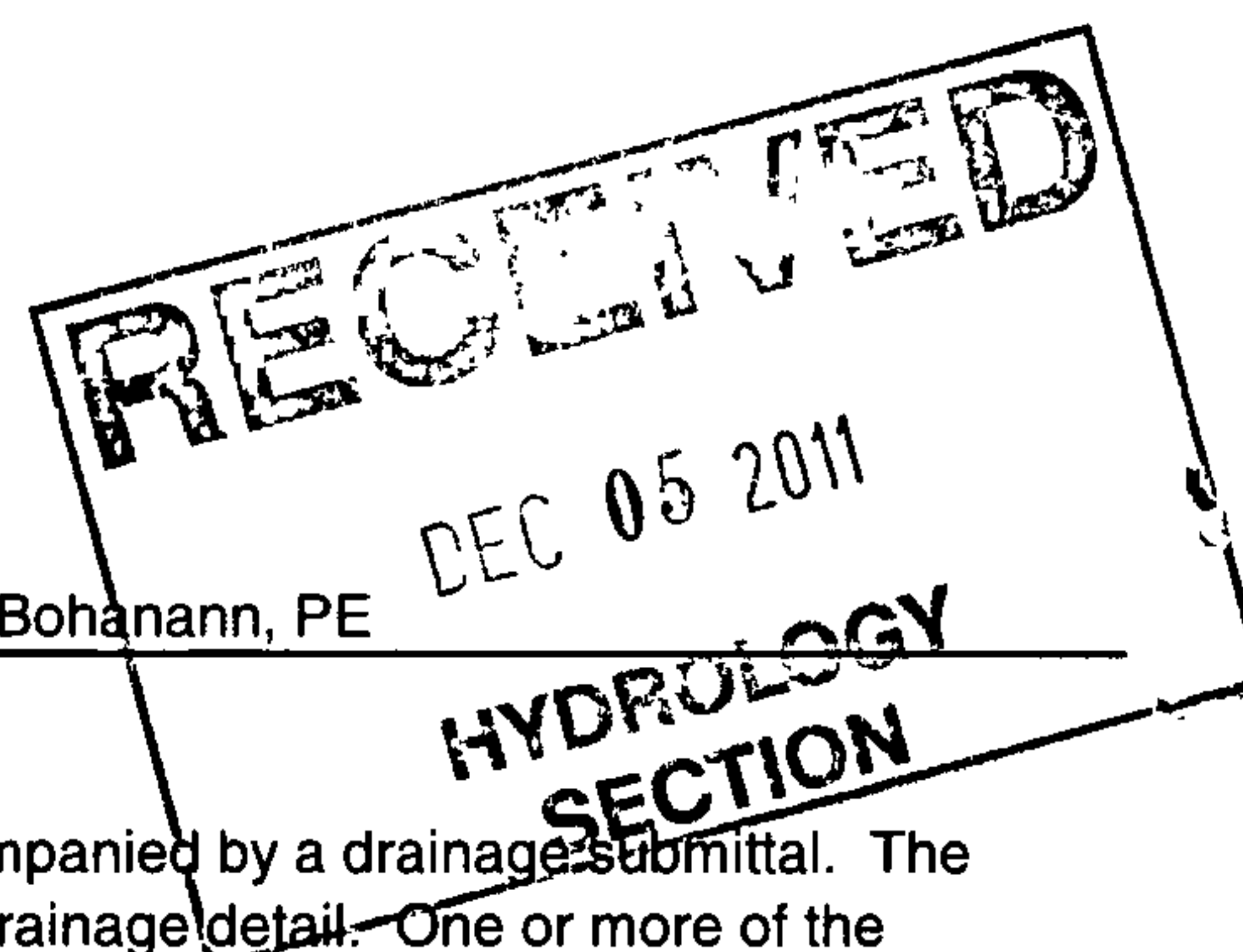
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- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ SO-19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 12/5/2011

BY: Ronald R. Bohannan, PE

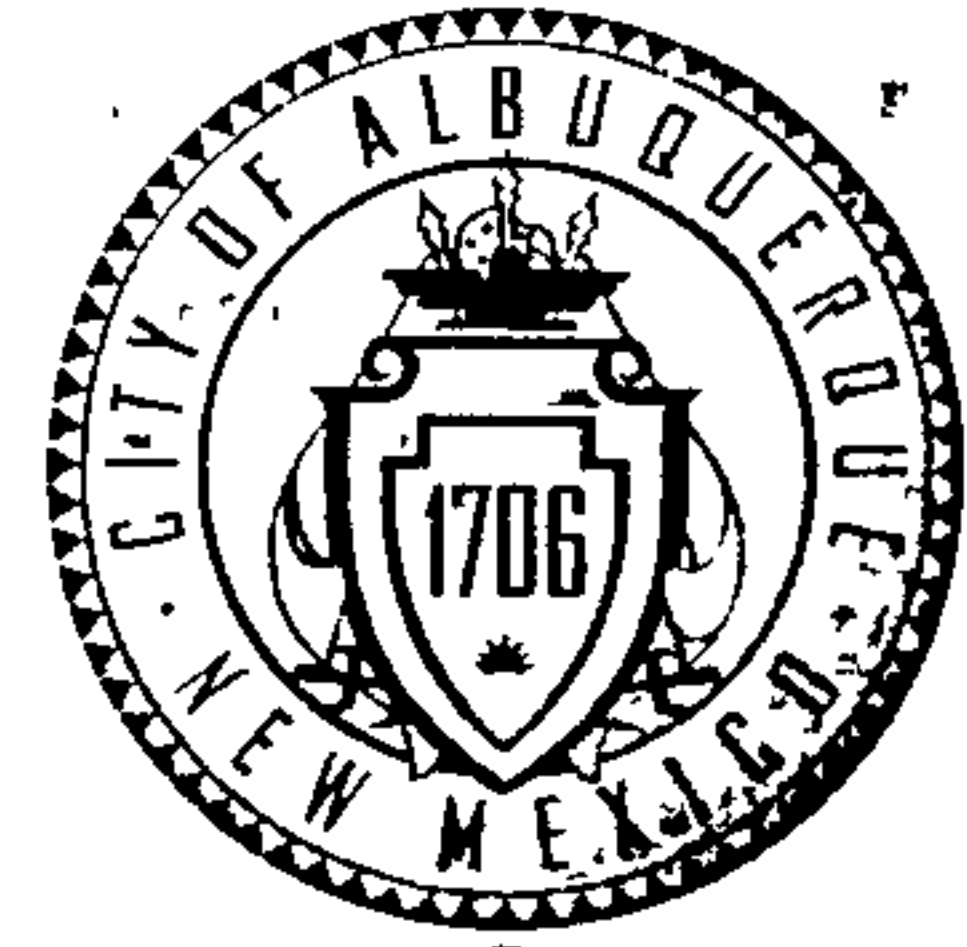


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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

November 28, 2011

Ronald Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park Place NE  
Albuquerque, NM 87109

Re: Certification Submittal for Certificate of Occupancy for  
ABQ Uptown Chipotle Restaurant, Menaul and Louisiana  
Engineer's Stamp dated 11-15-11 (H19-D058)  
DRB Number 1008766, Certification dated 11-22-11

Dear Mr. Bohannon,

The Letter of Certification submitted on 11-23-11 is not sufficient for acceptance by this office for Certificate of Occupancy (C.O.). The following items need to be addressed:

- Differing site addresses are provided. Please clearly define the address for this site.
- It was noted at a recent site visit (11-28-11) that a significant amount of construction debris, including a temporary dumpster, have not been removed from the site. This debris is currently encroaching upon the parking stalls and drive aisle, and must be removed prior to certificate of occupancy. In addition, a significant amount of construction appears to be underway at the Medical/Dental office onsite. Clarify the timeline for this construction, and detail how the Chipotle site will operate safely while the construction is underway.
- A number of uncompleted items are listed with this certification. Please address these remaining items prior to the next certification.

Please resubmit a revised certification package along with a revised Drainage Information Sheet to front counter personnel for log in and evaluation by Transportation.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

**DRAINAGE AND TRANSPORTATION SHEET**  
(REV. 1/28/2003rd)

H-19 / D058

PROJECT TITLE: ABQ Uptown Chipotle ZONE MAP/DRG. FILE # H-18-Z and H-19-Z  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION 6800 Menaul Blvd. NE, Lots 1 to 12, Block 1, Eva J Roberts Addition  
CITY ADDRESS: 6810 Menaul Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC CONTACT: Ron Bohannon  
ADDRESS: 5571 Midway Park Place NE PHONE: (505) 858-3100  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Legend Group CONTACT: Rick Will  
ADDRESS: 5150 E. Yale Circle, Suite 400 PHONE: 720-529-2993  
CITY, STATE: Denver, CO ZIP CODE: 88222

ARCHITECT: Dungan Design Group, LLC CONTACT: Deanna Raithe  
ADDRESS: 8826 Santa Fe Drive, Suite 304 PHONE: 913-341-2466  
CITY, STATE: Overland Park, KS ZIP CODE: 66212

SURVEYOR: Precision Surveys, Inc. CONTACT: Larry Medrano  
ADDRESS: 5571 Midway Park Place, NE PHONE: 505-856-5700  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Haworth CONTACT: Dayl  
ADDRESS: \_\_\_\_\_ PHONE: 702 528-1613  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☒ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☒ OTHER

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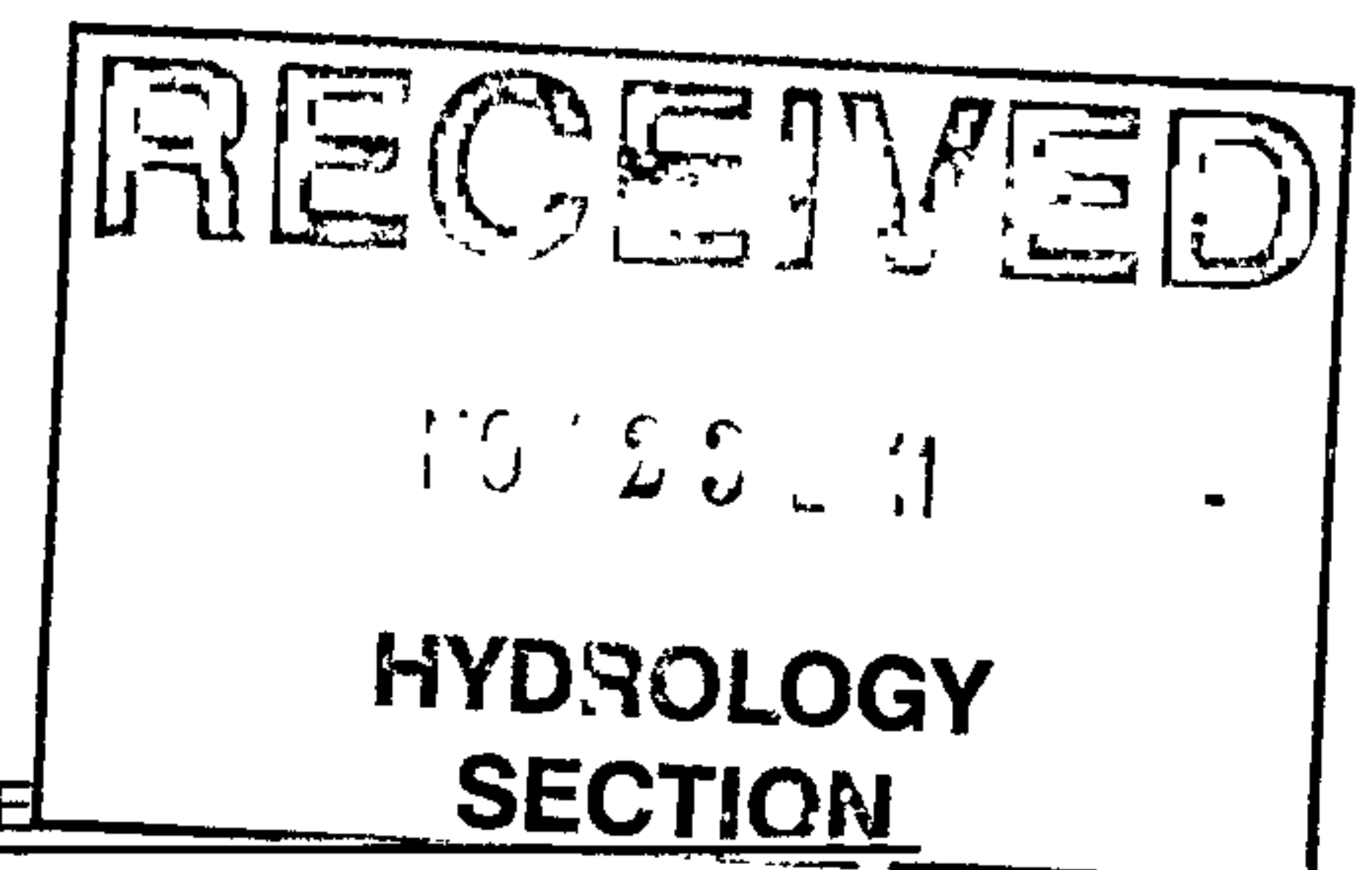
- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
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☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 11/22/2011

BY: Ronald R. Bohannon, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

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# TIERRA WEST, LLC

November 22, 2011

Ms. Kristal Metro, P.E.  
Development and Building Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: AA SITE DEVELOPMENT PLAN FOR BUILDING PERMIT  
CERTIFICATION FOR TEMPORARY CERTIFICATE OF OCCUPANCY  
CHIPOTLE GRILL, 6800 MANUAL BLVD. NE**

Dear Ms. Metro:

I, Ronald R. Bohannon, NMPE # 7868, of the firm Tierra West LLC, hereby request a temporary Certificate of Occupancy for the project referenced above. With the exception of the punch list attached, this project is in substantial compliance as inspected on November 21, 2011, and is in accordance with the design intent of the Approved Administrative Amended Site Development Plan for Building Permit dated 9/15/11. This certification is submitted in support of a request for Temporary Certificate of Occupancy to allow stocking of the store by employees only.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet, the current punchlist and the as-built Approved Administrative Amended Site Development Plan for Building Permit. Therefore, we request approval of the as-built Approved Administrative Amended Site Development Plan for Building Permit for a Temporary Certificate of Occupancy

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

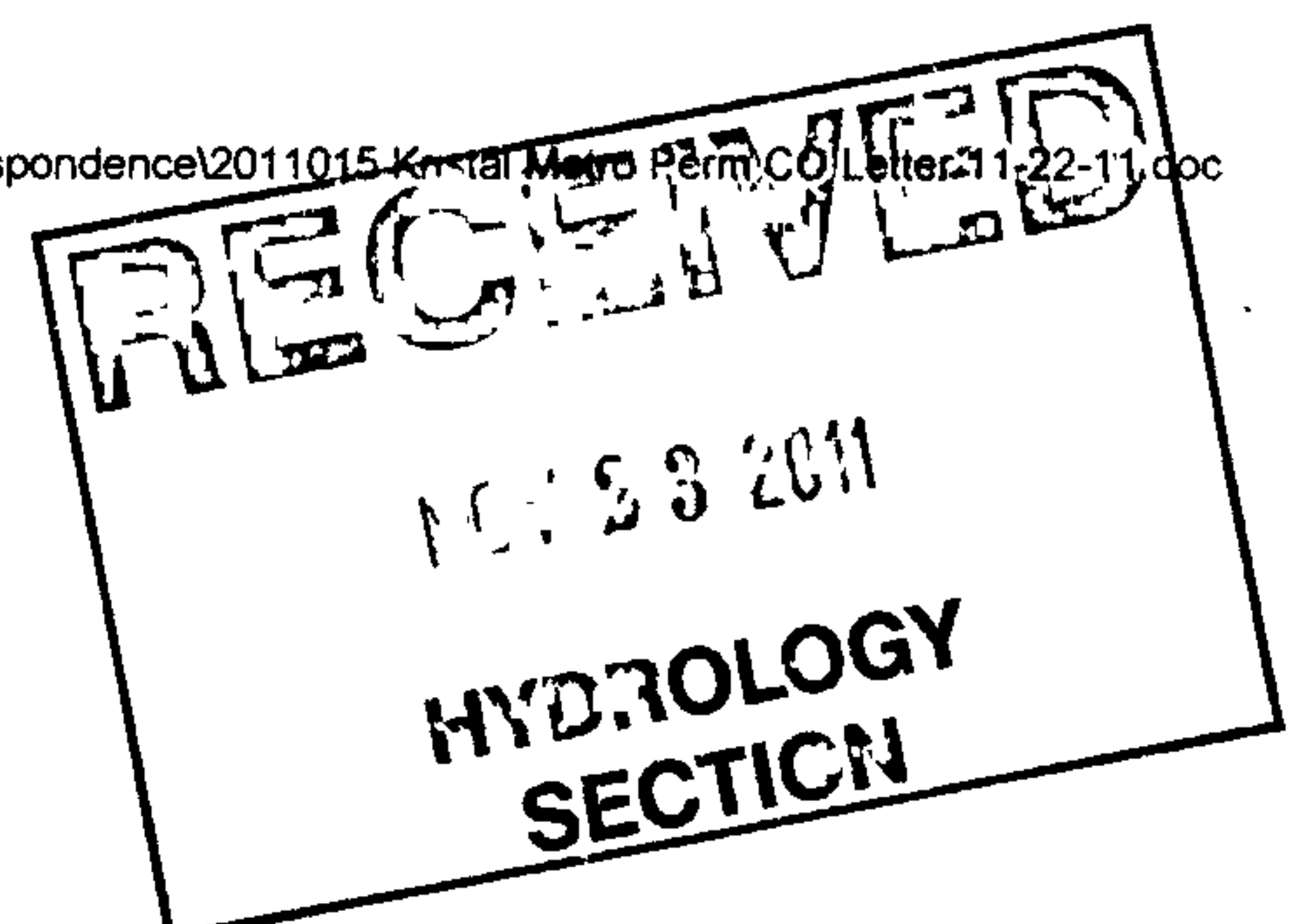
Sincerely,

Ronald R. Bohannon, P.E.

Enclosure

JN: 2011015  
RRB/BF/cia

Z:\2011\2011015 - Uptown Chipotles\Correspondence\2011015 Kristal Metro Perm CO Letter\11-22-11.doc



5571 Midway Park Place NE  
(505) 858-3100  
Albuquerque, NM 87109  
(505) 858-1118  
Fax (505) 858-3102  
1-800-245-3102  
tierrawestllc.com



# TIERRA WEST, LLC

5571 Midway Park Place NE  
Albuquerque, NM 87109

Phone: 505-858-3100  
Fax: 505-858-1118

## MEMO

TO: Haworth Corporation

ATTN: Site Superintendant

FROM: Brad Frosch

SUBJECT: Chipotle Grill

Punch List / Temporary Certificate of occupancy for Transportation/ Hydrology

JN: 2011015

DATE: 11/23/2011

The following is the final punch list for the above referenced project:

### Transportation Punch List Items

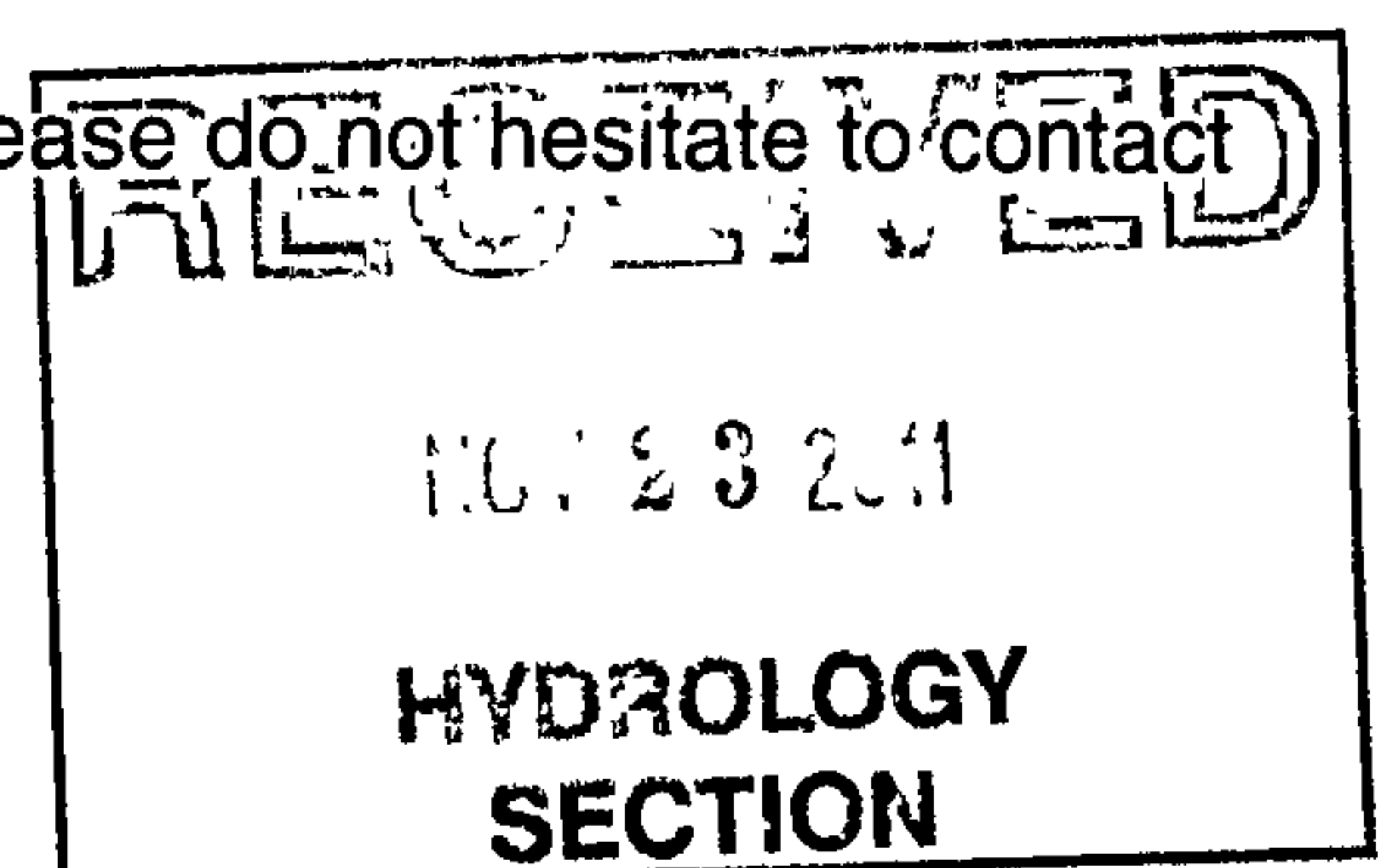
- 1). Complete installation of truncated domes as per plan.
- 2). Install concrete nose at peninsula curb at east drive aisle.
- 3). Complete decorative borders site wide.
- 4). Re-stripe crosswalk with 6" width striping.
- 5). Install seat boulders and bench.
- 6). Install grease trap covers.
- 7). Correct south H/C parking space to be ADA compliant. (Exceeds 2%)
- 8). Flush asphalt to sidewalk at 5' ADA access.
- 9). Install parking bumpers at landscape planters.

### Hydrology Punch List Items

- 1). Complete landscaping
- 2). Install cobble lined swale to convey roof drains away from building per exhibit.
- 3). Place cobble under Medical Dental building roof drain.
- 4). Daylight adjacent building roof drain to drain towards alley drive or install concrete rundown at roof drain.

All items must be completed prior to issuance of the Permanent Certificate of Occupancy.

Should you have any questions regarding the above punch list, please do not hesitate to contact me.





# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

H-19/DD58

PROJECT TITLE: ABQ Uptown Chipotle ZONE MAP/DRG. FILE # H-18-Z and H-19-Z  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION 6800 Menaul Blvd. NE, Lots 1 to 12, Block 1, Eva J Roberts Addition  
CITY ADDRESS: 6810 Menaul Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC CONTACT: Ron Bohannon  
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CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Legend Group CONTACT: Rick Will  
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CITY, STATE: Denver, CO ZIP CODE: 88222

ARCHITECT: Dungan Design Group, LLC CONTACT: Deanna Raithe  
ADDRESS: 8826 Santa Fe Drive, Suite 304 PHONE: 913-341-2466  
CITY, STATE: Overland Park, KS ZIP CODE: 66212

SURVEYOR: Precision Surveys, Inc. CONTACT: Larry Medrano  
ADDRESS: 5571 Midway Park Place, NE PHONE: 505-856-5700  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

CONTRACTOR: Haworth CONTACT: Dayl  
ADDRESS: \_\_\_\_\_ PHONE: 702 528-1613  
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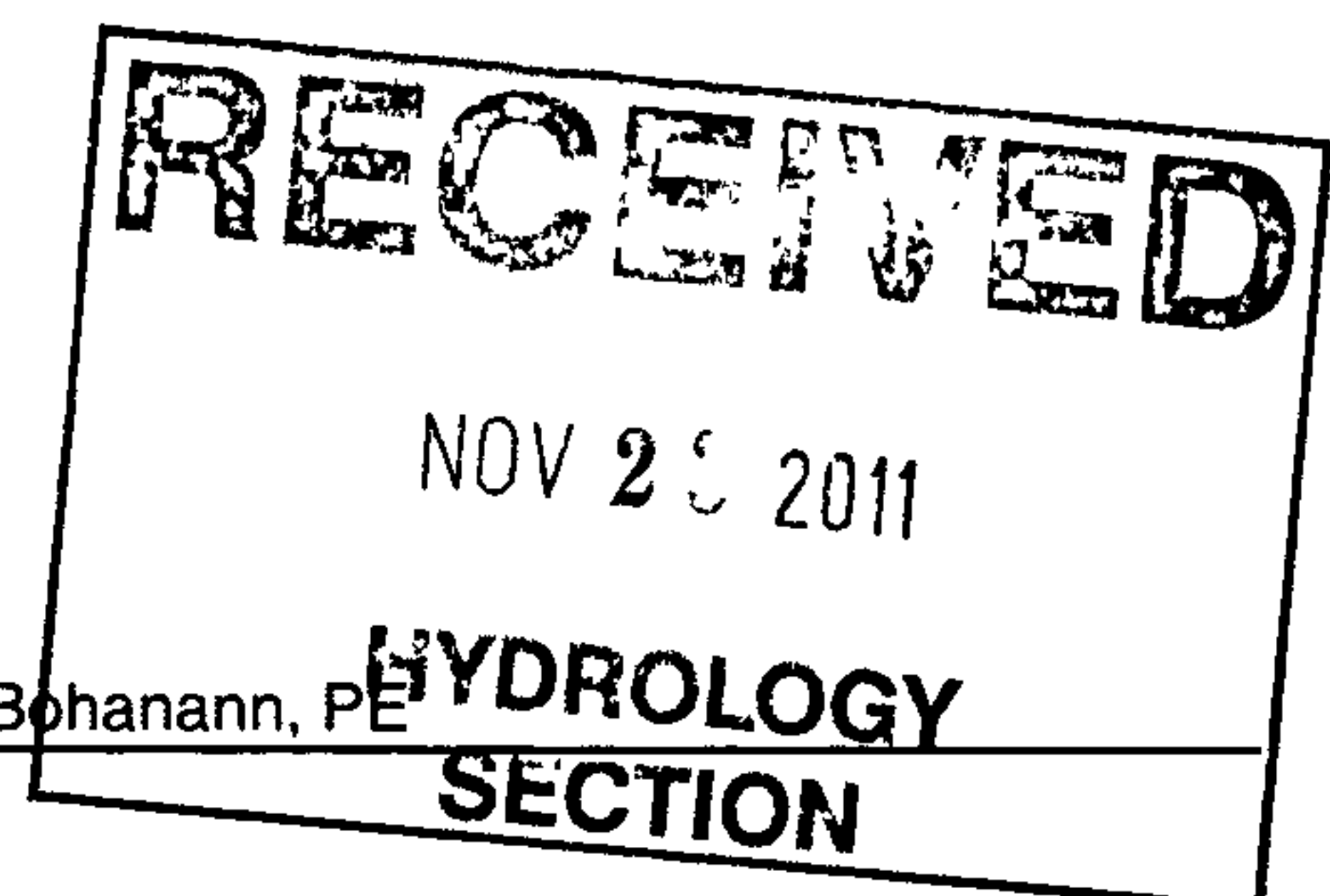
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☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ SO-19

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 11/22/2011

BY: Ronald R. Bohannon, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

# TIERRA WEST, LLC

5571 Midway Park Place NE  
Albuquerque, NM 87109

Phone: 505-858-3100  
Fax: 505-858-1118

## MEMO

TO: Haworth Corporation

ATTN: Site Superintendant

FROM: Brad Frosch

SUBJECT: Chipotle Grill

Punch List / Temporary Certificate of occupancy for Transportation/ Hydrology

JN: 2011015

DATE: 11/23/2011

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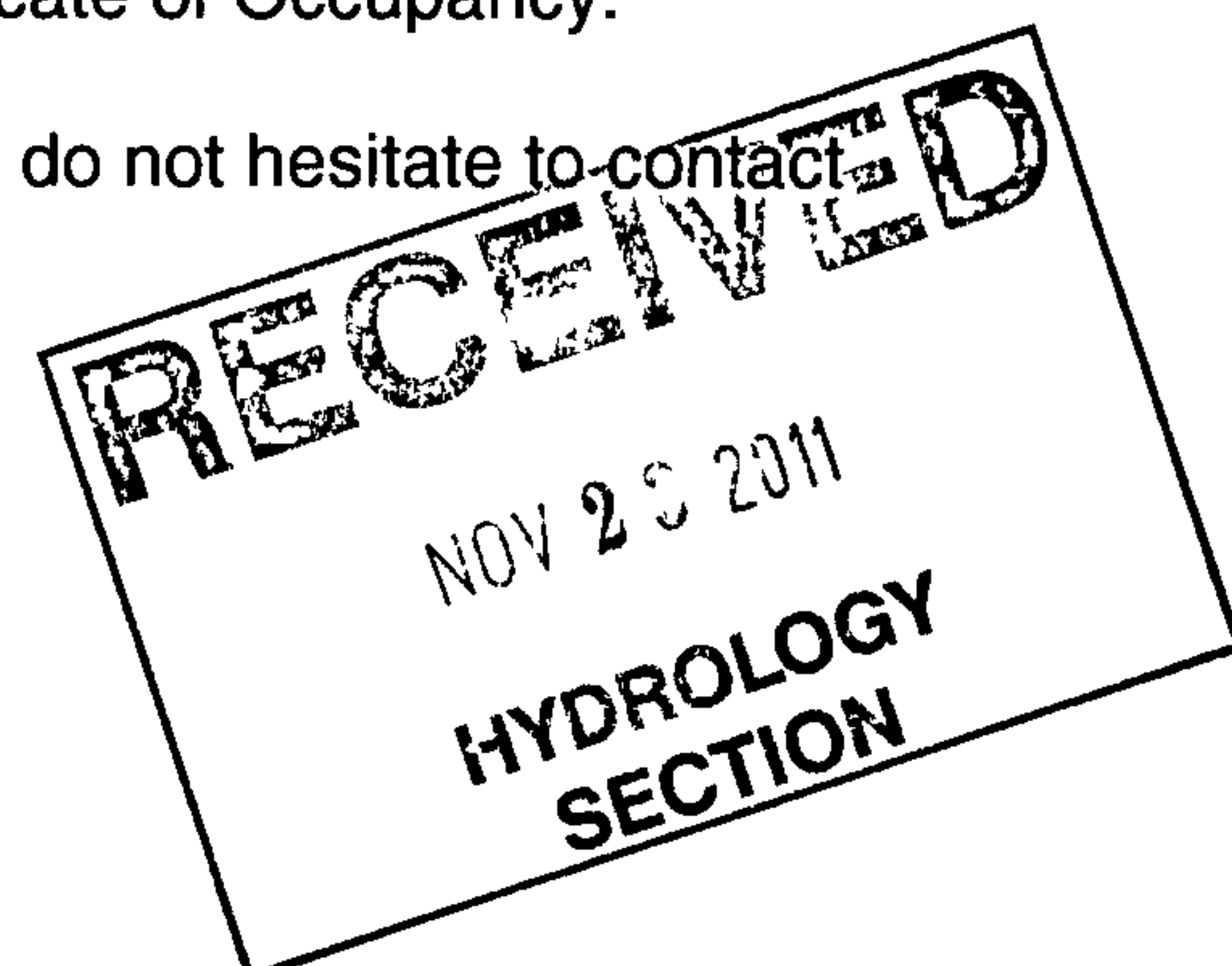
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All items must be completed prior to issuance of the Permanent Certificate of Occupancy.

Should you have any questions regarding the above punch list, please do not hesitate to contact me.



**CITY OF ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD MEMO**

**DRB PROJECT NO: 1008878**

**AGENDA ITEM NO: 12**

**SUBJECT:**

Sketch Plat

**ENGINEERING COMMENTS:**

Hydrology has no objection.

**RESOLUTION/COMMENTS:**

**SIGNED:**

Curtis Cherne  
Hydrology Section  
City Engineer Designee  
AMAFCA Designee  
924-3986

**DATE: 7-13-11**

7-14-11

Please Call

Cynthia Abernethy

858-3100 when

approved or commented,

st The permit set is

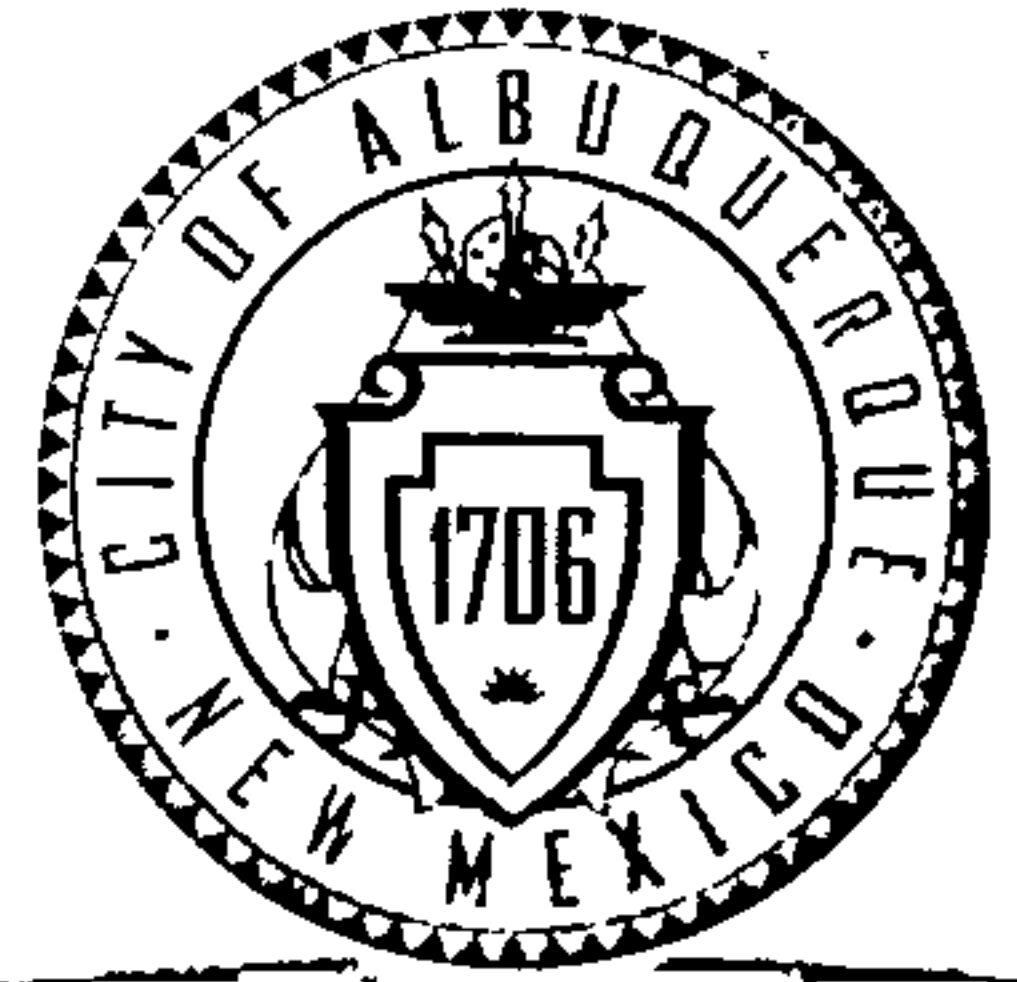
a FAST RAX

Thx

Cynthia



# CITY OF ALBUQUERQUE



July 19, 2011

Ronald Ray Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park PL NE  
Albuquerque, NM 87109

**Re: Chipotle Restaurant,  
Grading and Drainage Plan  
Engineer's Stamp dated 7-12-11 (H19/D058)**

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 7-14-11, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge and a Topsoil Disturbance Permit since it is disturbing  $\frac{3}{4}$  of an acre or more.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986 or Rudy Rael 924-3977.

Sincerely,

A handwritten signature in cursive script, reading "Curtis A. Cherne".

Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

RER/CAC

C: Kathy Verhage, DMD  
File

# DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

14-19/20058

PROJECT TITLE: ABQ Uptown Chipotle  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE #: ~~H-18-Z~~ and ~~H-19-Z~~  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: 6800 Manual Blvd. NE, Lots 1 to 12, Block 1, Eva J Roberts Addition  
CITY ADDRESS: 6810 Manual Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 5571 Midway Park Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon  
PHONE: (505) 858-3100  
ZIP CODE: 87109

OWNER: Legend Group  
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PHONE: 913-341-2466  
ZIP CODE: 66212

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ADDRESS: 5571 Midway Park Place, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 505-856-5700  
ZIP CODE: 87109

CONTRACTOR: TBD  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

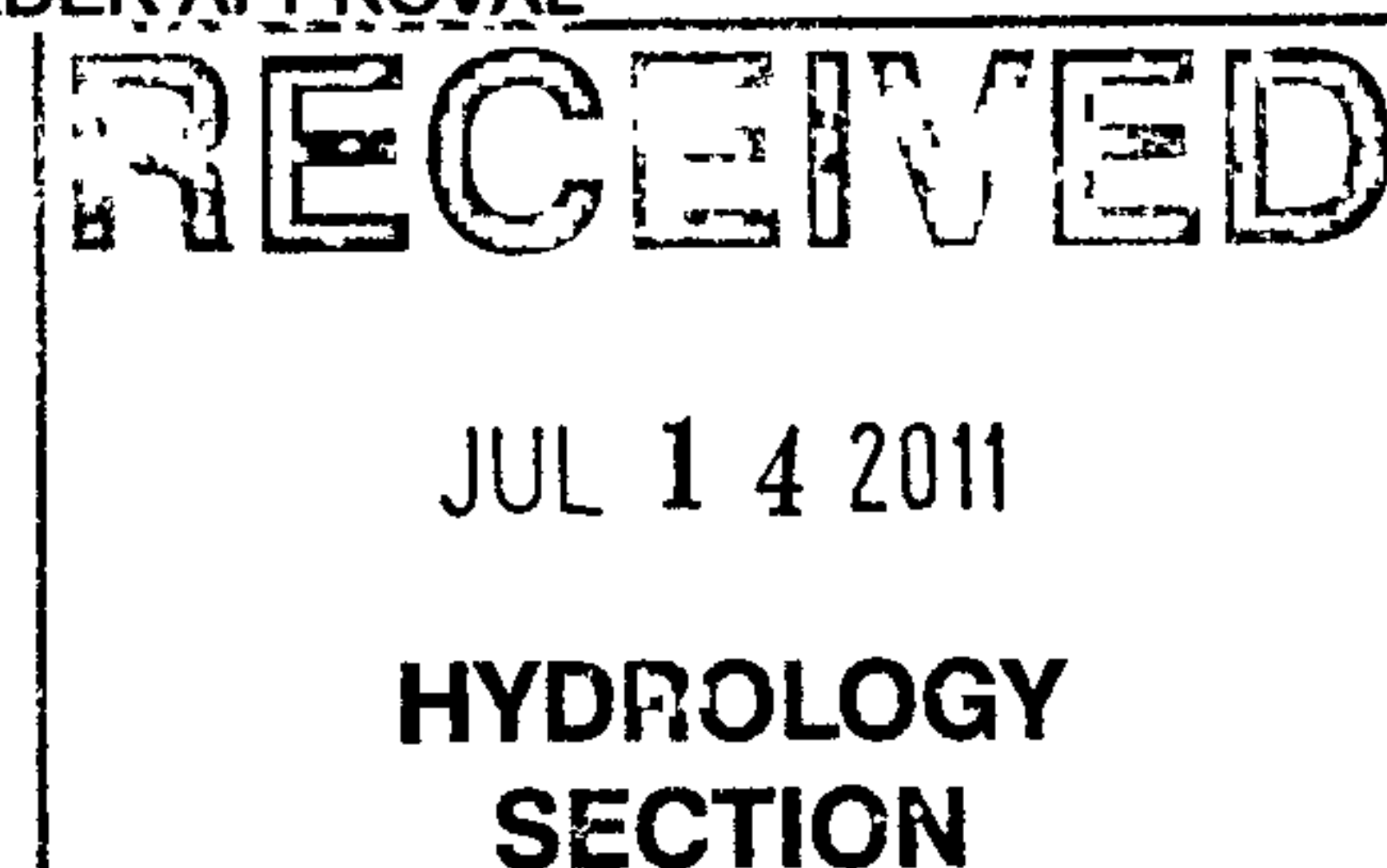
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☐ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 7/13/2011 BY: Ronald R. Bohannan, PE

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# TIERRA WEST, LLC

July 12, 2011

Mr. Curtis A. Cherne, P.E.  
Planning Dept. Development and Building Services  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**RE: CHIPOLTE RESTAURANT @  
6810 MENAUL BOULEVARD NE, LOTS 1 TO 12, BLOCK 1  
GRADING AND DRAINAGE PLAN AND REPORT RESPONSE TO COMMENTS  
ZONE ATLAS MAP H-18 / H-19**

Dear Mr. Cherne:

Per your correspondence dated June 9, 2011, regarding the above referenced property, please find the following responses addressing the comments listed below.

1. The AA must be approved.  
**Administrative Amendment was approved on June 30, 2011.**
2. The dumpsters are required to drain through a grease trap to the SAS. Provide grades and drain location.  
**Sheet 3, Grading and Drainage Plan, now indicates dumpster drain locations and rim elevations, along with Keyed Note 2 indicating drain routing through grease interceptor**
3. The landscape area(s) and parking islands should be depressed.  
**Grading and Drainage Plan now indicates landscaped areas with Keyed Note 1 to be depressed areas for water harvesting, not to exceed 6" in water ponding depth.**

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

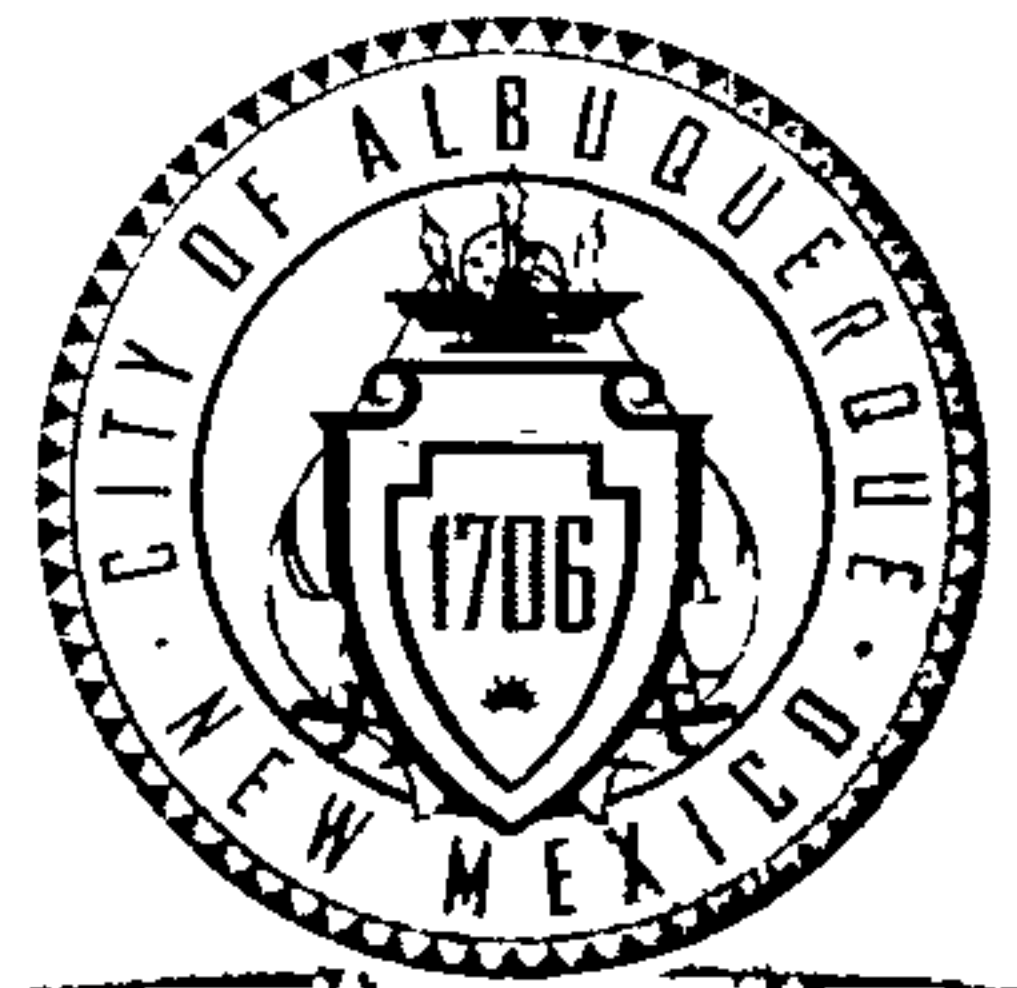
Enclosure/s

JN: 2011015  
RRB/PE/cia

5571 Midway Park Place NE Albuquerque, NM 87109  
(505) 858-3100 Fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com



# CITY OF ALBUQUERQUE



July 19, 2011

Ronald Ray Bohannon, P.E.  
Tierra West, LLC  
5571 Midway Park PL NE  
Albuquerque, NM 87109

**Re: Chipotle Restaurant,  
Grading and Drainage Plan  
Engineer's Stamp dated 7-12-11 (H19/D058)**

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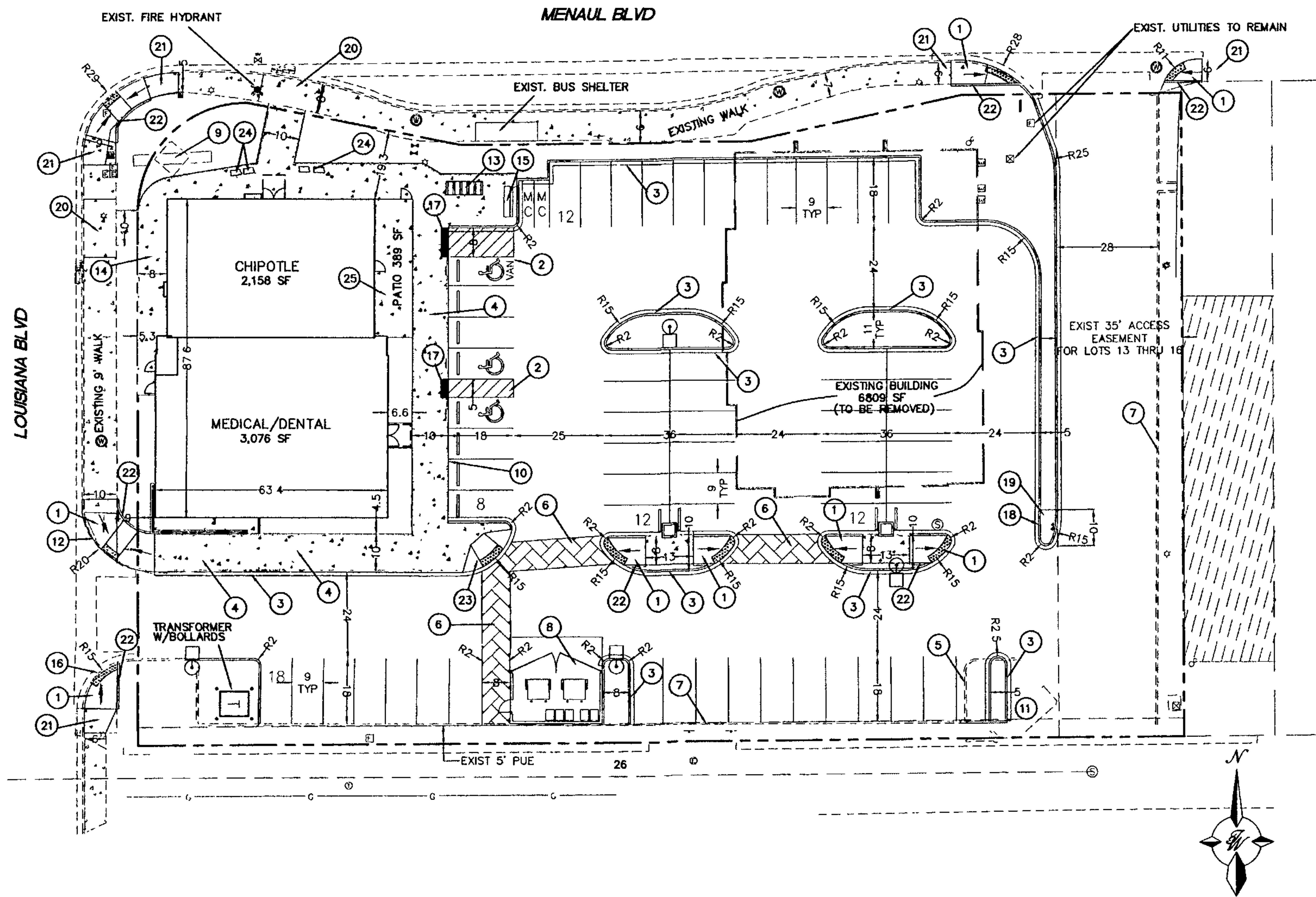
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Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

RER/CAC  
C: Kathy Verhage, DMD  
File





#### NOTES:

1. LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS.
2. 10' CLEARANCE SHALL BE PROVIDED FOR ALL GROUND MOUNTED PNM UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PROPOSES.

#### DEMOLITION NOTE:

1. ENTIRE SITE IS TO BE CLEARED AND DEBRIS REMOVED.
2. CURB TO THE EAST IS TO REMAIN.
3. CURB TO THE SOUTH IS TO REMAIN, AS MUCH AS POSSIBLE. IF REMOVED, REPLACE WITH 6" CURB AND GUTTER
4. ALL EXISTING SITE LIGHTING TO BE REMOVED AND DISPOSED

**ADMINISTRATIVE AMENDMENT**  
 FILE #11/10083 PROJECT #1008776  
*demolish existing Bldg & construct new Bldg at different location*  
 APPROVED BY MM DATE 6/30/11

#### KEYED NOTES

- 1 ACCESSIBLE RAMP W/TRUNCATED DOMES PER COA STD DWG 2426
- 2 HC PARKING PER ADA STANDARD
- 3 6" CURB AND GUTTER PER COA STD DWG 2415B
- 4 10' SIDEWALK W/DECORATIVE BORDER SEE DETAIL SHEET 7
- 5 REMOVE AND DISPOSE EXIST CURB
- 6 8' CROSSWALK SEE DETAIL SHEET 7
- 7 EXISTING CURB TO REMAIN
- 8 DOUBLE DUMPSTER/COMPACTOR/RECYCLE SEE DETAIL SHEET 7
- 9 EXISTING ROTATING SIGN TO REMAIN
- 10 SIDEWALK FLUSH WITH ASPHALT
- 11 REMOVE AND DISPOSE EXISTING DUMPSTER
- 12 EXISTING CURB AND GUTTER TO REMAIN
- 13 BICYCLE RACK SEE DETAIL SHEET 7
- 14 VARIABLE WIDTH CONCRETE SIDEWALK W/DECORATIVE BORDER SEE DETAIL SHEET 7
- 15 BENCH
- 16 EXISTING CURB AND GUTTER TO REMAIN
- 17 TRUNCATED DOME SEE DETAIL SHEET 7
- 18 MOUNTABLE CURB PER COA STD DWG 2415B
- 19 CONCRETE NOSE
- 20 REMOVE AND REPLACE EXISTING SIDEWALK PER COA STD DWG 2430
- 21 REPLACE SIDEWALK AS NEEDED PER COA STD DWG 2430
- 22 HEADER CURB PER COA STD DWG 2415B
- 23 ACCESSIBLE RAMP SEE DETAIL SHEET 7
- 24 SEAT BOULDERS
- 25 PATIO WITH SEATING

#### ZONING DESIGNATION

SU 3 FOR C-2

#### LOT AREA

49121 SF (1.13 AC)

#### PARKING CALCULATIONS

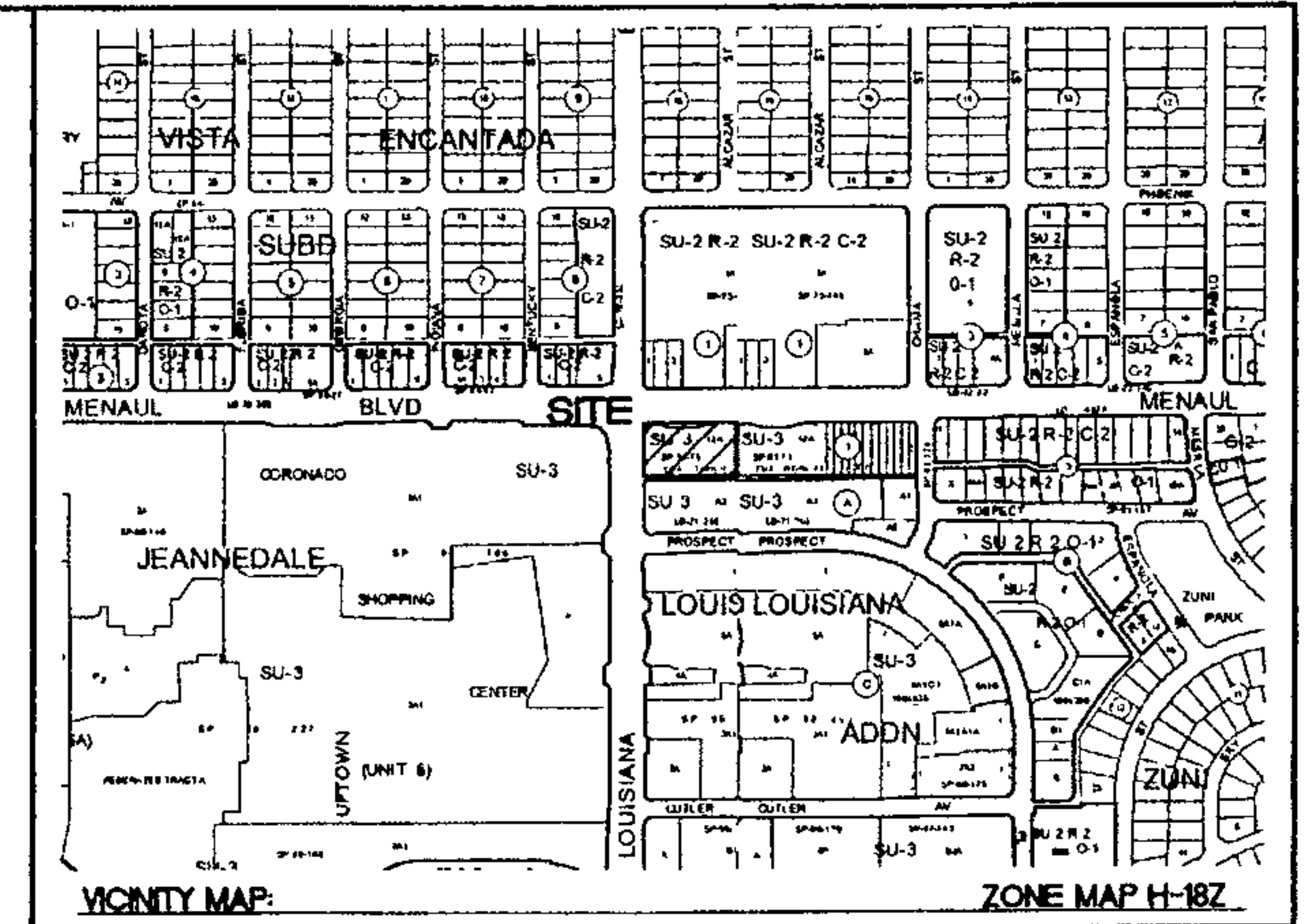
BUILDING AREA  
 CHIPOTLE 2158 SF  
 MEDICAL/DENTAL 3076 SF  
 TOTAL 5234 SF

PARKING REQUIRED  
 CHIPOTLE 24 SPACES (1 SPACE PER 3 SEATS-73 SEATS)  
 PAC DENTAL 10 SPACES (5 SPACES PER DOCTOR, 2 DOCTORS)  
 PARKING PROVIDED: 82 SPACES PLUS 2 MOTORCYCLE SPACES

HC PARKING REQUIRED: 2 SPACES  
 HC PARKING PROVIDED: 3 SPACES  
 1 SPACE VAN ACCESSIBLE  
 BICYCLE PARKING PROVIDED: 5

#### INDEX TO DRAWINGS

1. SITE PLAN FOR BUILDING PERMIT
2. LANDSCAPING PLAN
3. GRADING PLAN
4. MASTER UTILITY PLAN
5. BUILDING ELEVATIONS
- 5A. BUILDING ELEV. W/SIGN DETAIL FOR REFERENCE ONLY
6. BUILDING ELEVATIONS
- 6A. BUILDING ELEV. W/SIGN DETAIL FOR REFERENCE ONLY
7. DETAILS
8. OPEN SPACE EXHIBIT



#### LEGAL DESCRIPTION

LOTS 1 TO 12, BLOCK 1, EVA J ROBERTS ADDITION

#### LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- FUTURE BOUNDARY LINE
- EASEMENT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- SITE LIGHTING
- EXISTING CURB & GUTTER
- EXISTING BUILDING TO BE REMOVED SEE DEMO NOTE
- EXISTING STREET LIGHTS

#### FIRE MARSHALL APPROVAL

DATE

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conclusions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) Yes ( ) No. If Yes, then a set of approved DRB plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

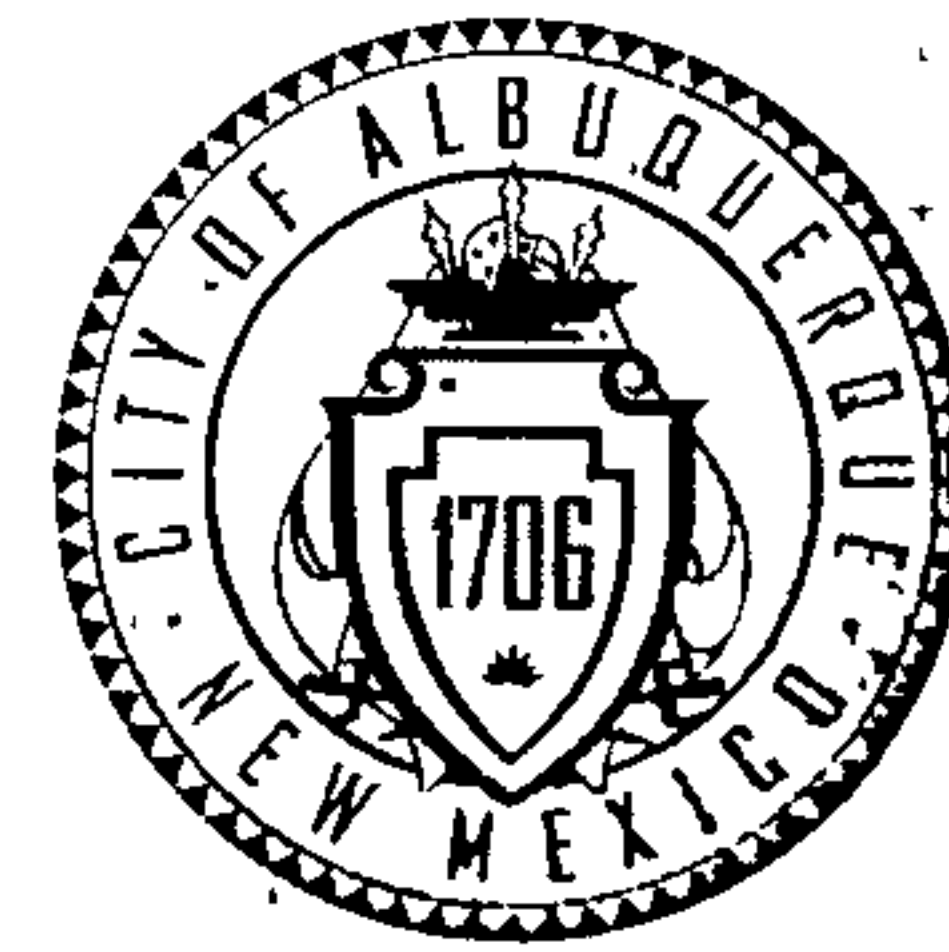
#### DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineer, Transportation Division \_\_\_\_\_ Date \_\_\_\_\_  
 Water Utility Development \_\_\_\_\_ Date \_\_\_\_\_  
 Parks & Recreation Department \_\_\_\_\_ Date \_\_\_\_\_  
 City Engineer \_\_\_\_\_ Date \_\_\_\_\_  
 \* Environmental Health Department (conditional) \_\_\_\_\_ Date \_\_\_\_\_  
 Solid Waste Management \_\_\_\_\_ Date \_\_\_\_\_  
 DRB Chairperson, Planning Department \_\_\_\_\_ Date \_\_\_\_\_

\* Environmental Health, if necessary

ENGINEER'S SEAL RONALD R. BOHANNON P.E. #7868	<b>CHIPOTLE RESTAURANT</b> MENAUL AND LOUISIANA	DRAWN BY pm
	<b>AA - SITE PLAN FOR</b> <b>BUILDING PERMIT</b>	DATE 6-29-11
	<b>TERRA WEST, LLC</b> 5571 MIDWAY PARK PL NE ALBUQUERQUE, NEW MEXICO 87109 (505) 858-3100 www.tierawestllc.com	DRAWING 2011015-SPB DWG
	SHEET # <b>1</b>	JOB # 2011015

# CITY OF ALBUQUERQUE



June 9, 2011

Ronald Ray Bohannan, P.E.  
Tierra West, LLC  
5571 Midway Park PL NE  
Albuquerque, NM 87109

**Re: Chipotle Restaurant, Grading and Drainage Plan and Report  
Engineer's Stamp dated 4-15-11 (H19/D058)**

Dear Mr. Bohannan,

Based upon the information provided in your submittal received 4-18-11, the above referenced plan is approved for Administrative Amendment to the Site Plan, but cannot be approved for Building Permit until the following comments are addressed:

- The AA must be approved.
- The dumpsters are required to drain through a grease trap to the SAS. Provide grades and drain location.
- The landscape area(s) and parking islands should be depressed.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3986.

Sincerely,

Curtis A. Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

C: File



Call Carmen for AA approval

DRAINAGE AND TRANSPORTATION SHEET

(REV. 1/28/2003rd)

H-19/D058

PROJECT TITLE: ABQ Uptown Chipotle  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_

ZONE MAP/DRG. FILE # ~~H-18-Z~~ and ~~H-19-Z~~  
WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: 6800 Manual Blvd. NE, Lots 1 to 12, Block 1, Eva J Roberts Addition  
CITY ADDRESS: 6810 Manual Blvd. NE, Albuquerque, NM

ENGINEERING FIRM: Tierra West, LLC  
ADDRESS: 5571 Midway Park Place NE  
CITY, STATE: Albuquerque, NM

CONTACT: Ron Bohannon  
PHONE: (505) 858-3100  
ZIP CODE: 87109

OWNER: Legend Group  
ADDRESS: 5150 E. Yale Circle, Suite 400  
CITY, STATE: Denver, CO

CONTACT: Rick Will  
PHONE: 720-529-2993  
ZIP CODE: 88222

ARCHITECT: Dungan Design Group, LLC  
ADDRESS: 8826 Santa Fe Drive, Suite 304  
CITY, STATE: Overland Park, KS

CONTACT: Deanna Raithe  
PHONE: 913-341-2466  
ZIP CODE: 66212

SURVEYOR: Precision Surveys, Inc.  
ADDRESS: 5571 Midway Park Place, NE  
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano  
PHONE: 505-856-5700  
ZIP CODE: 87109

CONTRACTOR: TBD  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

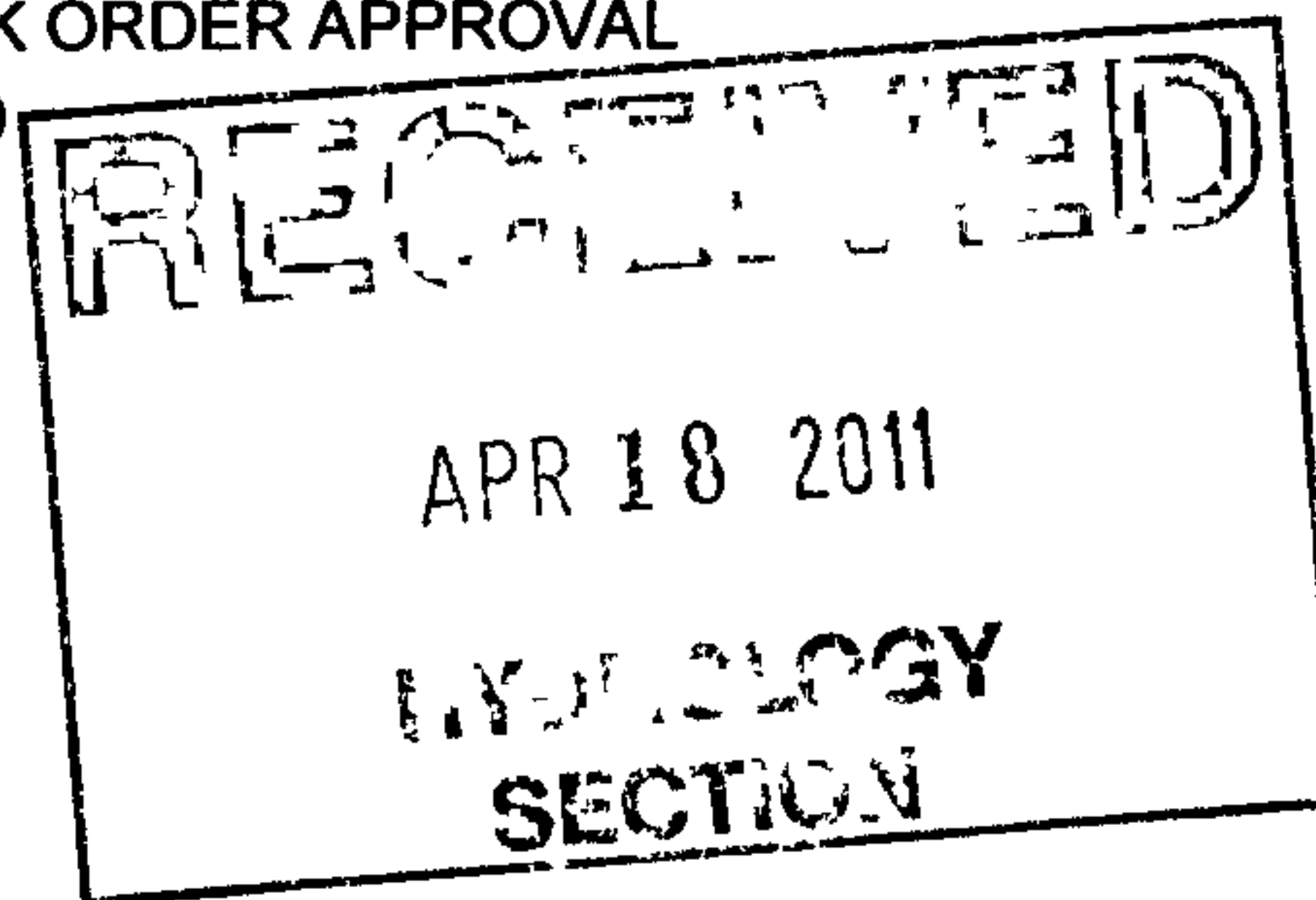
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 4/15/2011 BY: Ronald R. Bohannan, PE



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

gan

# TIERRA WEST, LLC

April 15, 2011

Mr. Curtis Cherne  
Senior Engineer  
City of Albuquerque  
Public Works Hydrology Department  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: DRAINAGE PLAN FOR PROPOSED CHIPOLTE RESTAURANT @  
6800 MENAUL BOULEVARD NE, LOTS 1 TO 12, BLOCK 1  
ZONE ATLAS MAP H-18 / H-19**

Dear Mr. Cherne:

Transmitted with this letter is the drainage plan for the above referenced property. The proposed site is located at 6800 Menaul Blvd. NE and is currently fully developed parcel, containing Shoney's Restaurant and parking lot facilities, contained on the 1.13 acre lot. City records show that an approved drainage report was submitted for the project. Our research as well as the City of Albuquerque Hydrology Department, was unable to be located the original file.

As previously discussed, we propose to discharge the same developed flow rate and quantity as the existing site is currently discharging, without changing the location for the discharge points. There will therefore be no increase to the historic peak discharge or flow path as a result of the proposed redevelopment. The proposed redevelopment will consist of a 5234 square foot restaurant and dental office building constructed on the hard corner. Please find attached with this letter the proposed Grading and Drainage Plan, with Weighted E calculations for the existing and proposed conditions, and drainage narrative for the proposed Site Development Plan all contained on the submitted Grading and Drainage Sheet.

Tierra West LLC requests approval of a Grading and Drainage Plan based on the information provided. If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

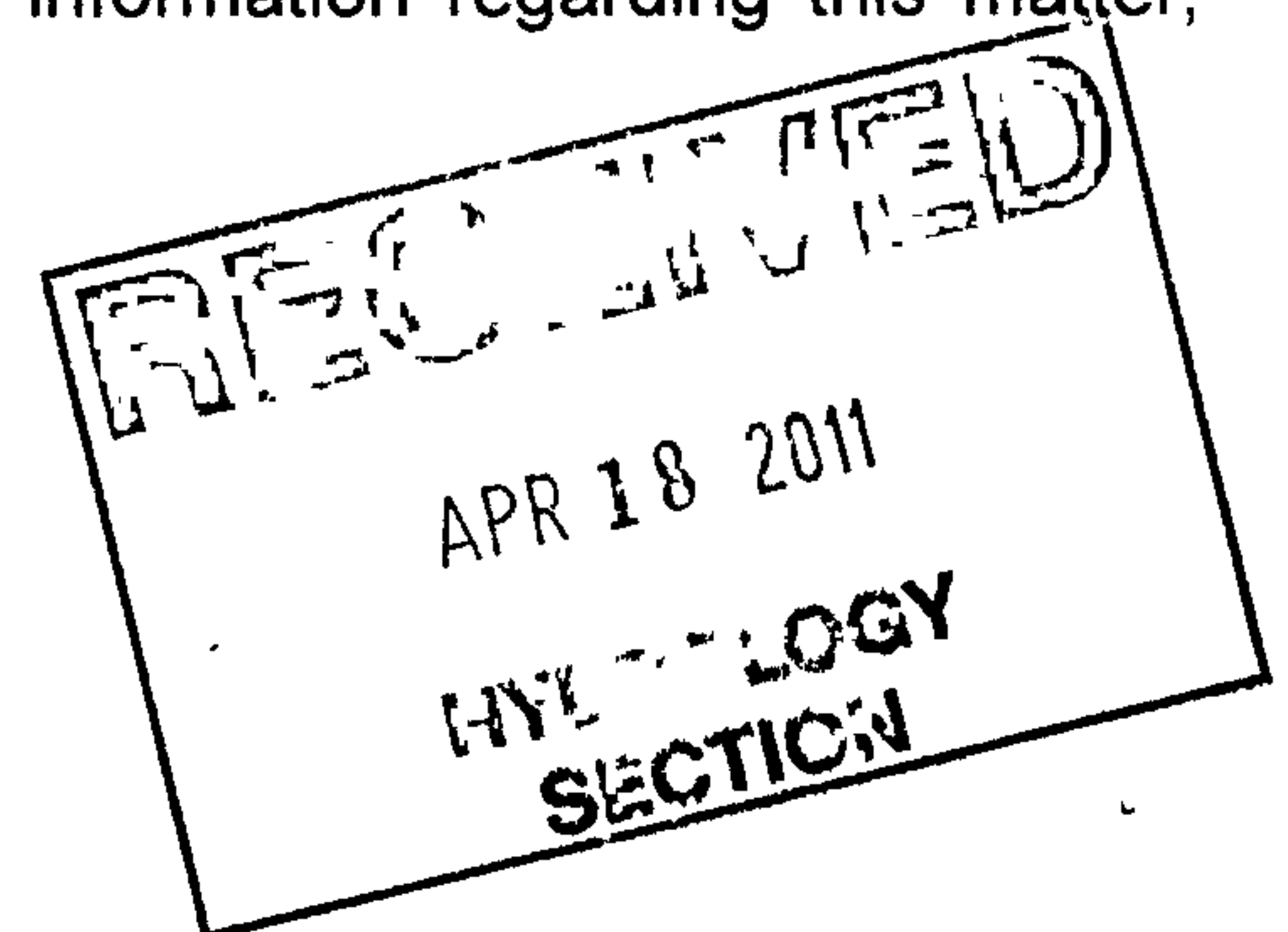
Sincerely,



Ronald R. Bohannon, PE

Enclosure/s

JN: 2011015  
PE/cia



5571 Midway Park Place NE  
(505) 858-3100  
Albuquerque, NM 87109  
Fax (505) 858-1118  
1-800-245-3102  
tierrawestllc.com



Approved AA 4-26-11

Ante a chm

Wash on Comm At Approval

**CITY OF ALBUQUERQUE**  
**PLANNING DEPARTMENT**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD MEMO**

**DRB PROJECT NO: 1003748**

**AGENDA ITEM NO: 9**

**SUBJECT:**

Sketch Plat

**ENGINEERING COMMENTS:**

Since this lot is in an area of no slope, add a note to the plat "A Grading and Drainage Plan is required for Building Permit approval"

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN \_\_\_\_  
DEFERRED TO: \_\_\_\_\_

SIGNED: (UD) (CE) (TRANS) (PKS) (PLNG)  
DELEGATED TO: (UD) (CE) (TRANS) (PKS) (PLNG)

**COMMENTS:**

**SIGNED:**

Curtis Cherne  
Hydrology Section  
City Engineer Designee  
AMAFCA Designee  
924-3695

**DATE:** 4-27-11

**City of Albuquerque Planning Department**  
**One Stop Shop – Development and Building Services**

04/18/2011 Issued By: BLDAYM 106491

**Permit Number: 2011 060 025**

**Category Code 970**

**Application Number:** 11REV-60025, Review: Drain Plan-Lomr-Traffic Impact

**Address:**

**Location Description:** ABQ UPTOWN CHIPOTLE, H-18 & 19

**Project Number:** null

**Applicant**

LEGEND GROUP

5150 E. YALE CIRCLE, SUITE 400  
DENVER CO 88222

**Agent / Contact**

Tierra West Llc

Ronald Bohannon

5571 Midway Park Pl Ne  
Albuquerque NM 87109

kkrueger@tierrawestllc.com

**Application Fees**

441006/4958000	REV Actions	\$50.00
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<b>TOTAL:</b>	<b>\$50.00</b>
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City Of Albuquerque  
Treasury Division

4/19/2011 4:23PM LOC: ANRX  
WS# 007 TRANSH 0023  
RECEIPT# 00143179-00143179  
PERMIT# 2011060025 TRSCCS  
Trans Amt \$50.00  
REV Actions \$50.00  
CK \$50.00  
CHANGE \$0.00

Thank You

**City of Albuquerque Planning Department**  
**One Stop Shop - Development and Building Services**

04/18/2011 Issued By: BLDADM 106181

**Category Code 970**

**Permit Number: 2011 060 025**

**Application Number: 11REV-60025, Review Drain Plan-Lumr-Traffic Impact**

**Address:**

**Location Description: AEC UPTOWN CHIPOTLE, H-18 & 13**

**Project Number: null**

**Applicant**  
**LEGEND GROUP**

5150 E YALE CIRCLE, SUITE 400  
DENVER, CO 80222

**Agent / Contact**

Tierra West LLC  
Ronald Bohannon

5571 Midway Park Fl No  
Albuquerque NM 87102

lkrueger@tierrawestllc.com

**Application Fees**

441036/4358000	REV Actions	\$50.00
<b>TOTAL:</b>		<b>\$50.00</b>

City Of Albuquerque  
Treasury Division

4/19/2011 4:23PM LOC: ANNY  
US# 007 TRASH# 0023  
RECEIPT# 00143179-00143179  
PERMIT# 2011060025 TRSCCS  
Trans Act \$50.00  
REV Action \$0.00  
CA \$0.00  
CHARGE \$0.00

Thank You