



City of Albuquerque

March 9, 2000

Jean J. Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, N.M. 87199

***RE: DOUBLE RAINBOW NO. 4, 8100 MENAUL BLVD. NE (H19-D68). ENGINEER'S
CERTIFICATION FOR CERTIFICATE OF OCCUPANCY APPROVAL.
ENGINEER'S STAMP DATED MARCH 6, 2000.***

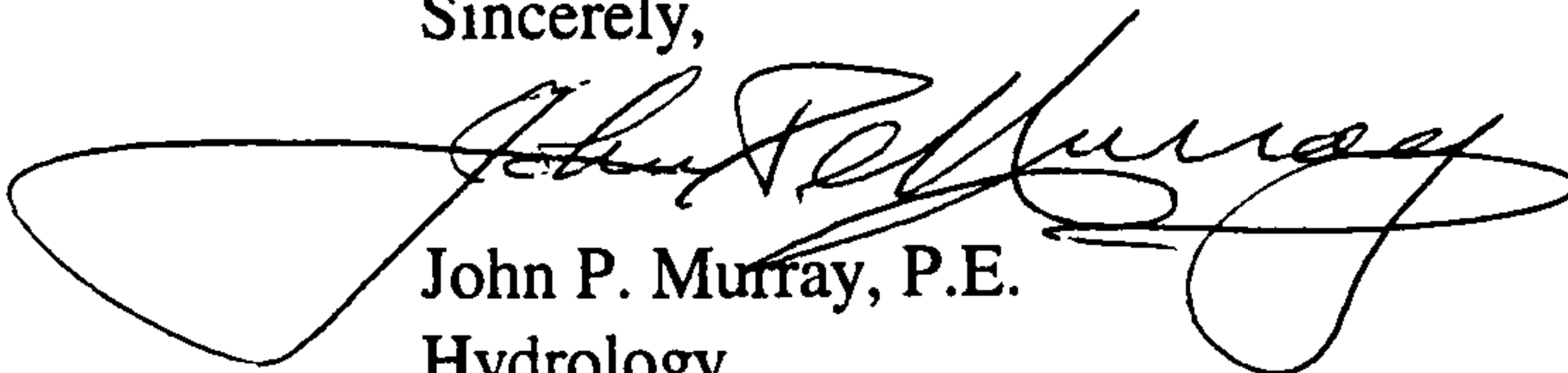
Dear Mr. Bordenave:

Based on the information provided on your March 7, 2000 submittal, the above referenced project is approved for Certificate of Occupancy.

Note that the T.C.L. also needs to be certified.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.
Hydrology

c: Whitney Reiersen
✓ File

DRAINAGE INFORMATION SHEET

PROJECT DATA:

TITLE: DOUBLE RAINBOW NO.4

DRNG. FILE #: H-19/D068

DRB #:

EPC #:

-

WORK ORDER #: -

LEGAL DESCRIPTION: LOTS 1 & 2, BLOCK 5, SOMBRA DEL MONTE

CITY ADDRESS: 8001 MENAUL BLVD. NE

ENGINEERING FIRM: BORDENAVE DESIGNS

CONTACT: J. BORDENAVE

ADDRESS: P.O. BOX 91194, 87199

PHONE: 823-1344

OWNER: DOUBLE RAINBOW

CONTACT:

ADDRESS: 3416 Central NE 87106

PHONE: 255-6633

ARCHITECT: EDWARD FITZGERALD

CONTACT: E. FITZGERALD

ADDRESS: 2225 LEAD SE 87106

PHONE: 268-9055

SURVEYOR: HARRIS SURVEYING INC.

CONTACT: T. HARRIS

ADDRESS: 2412-D MONROE NE 87110

PHONE: 889-8056

CONTRACTOR:

CONTACT:

ADDRESS:

PHONE:

TYPE OF SUBMITTAL:

CONCEPT GRADING & DRAINAGE PLAN

GRADING PLAN

DRAINAGE PLAN

DRAINAGE REPORT

EROSION CONTROL PLAN

ENGINEER'S CERTIFICATION

OTHER:

TYPE OF APPROVAL SOUGHT:

SECTOR PLAN

SKETCH PLAT

PRELIMINARY PLAT

FINAL PLAT

SITE DEV. PLAN FOR SUBD.

SITE DEV. PLAN FOR PERMIT

GRADING PERMIT

PAVING PERMIT

FOUNDATION PERMIT

BUILDING PERMIT

TEMP CERT OF OCCUPANCY

S.A.D. DRAINAGE REPORT

PRE-DESIGN MEETING:

YES

NO

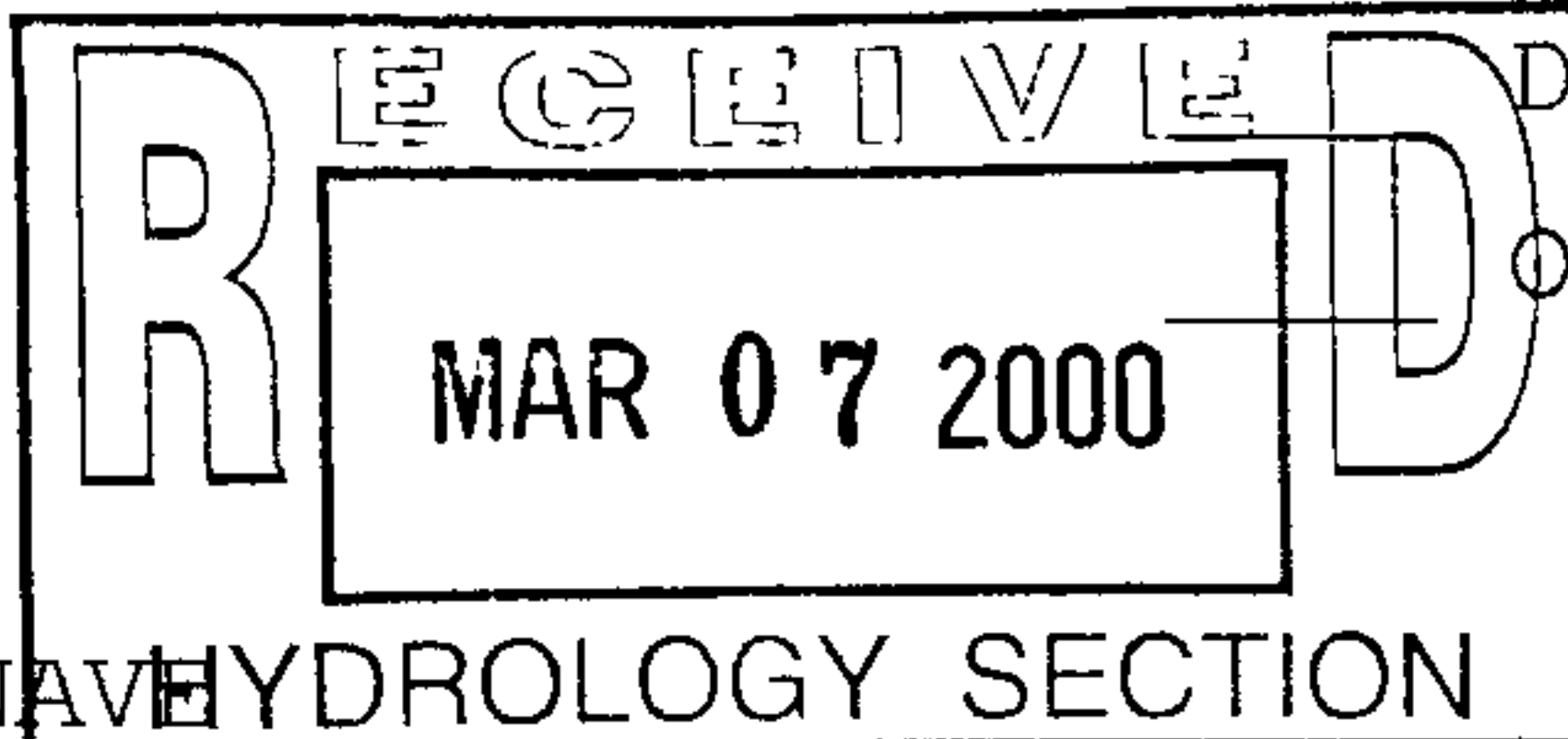
COPY OF MINUTES PROVIDED

DRAINAGE REQUIREMENTS

OTHER:

DATE SUBMITTED: 03/06/00

BY: JEAN J (JAKE) BORDENAVE





City of Albuquerque

October 11, 1999

Jean J. Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, N.M. 87199

RE: DOUBLE RAINBOW NO. 4, 8100 MENAUL BLVD. NE (H19-D68). GRADING AND DRAINAGE PLAN FOR BUILDING PERMIT APPROVAL. ENGINEER'S STAMP DATED SEPTEMBER 8, 1999.

Dear Mr. Bordenave:

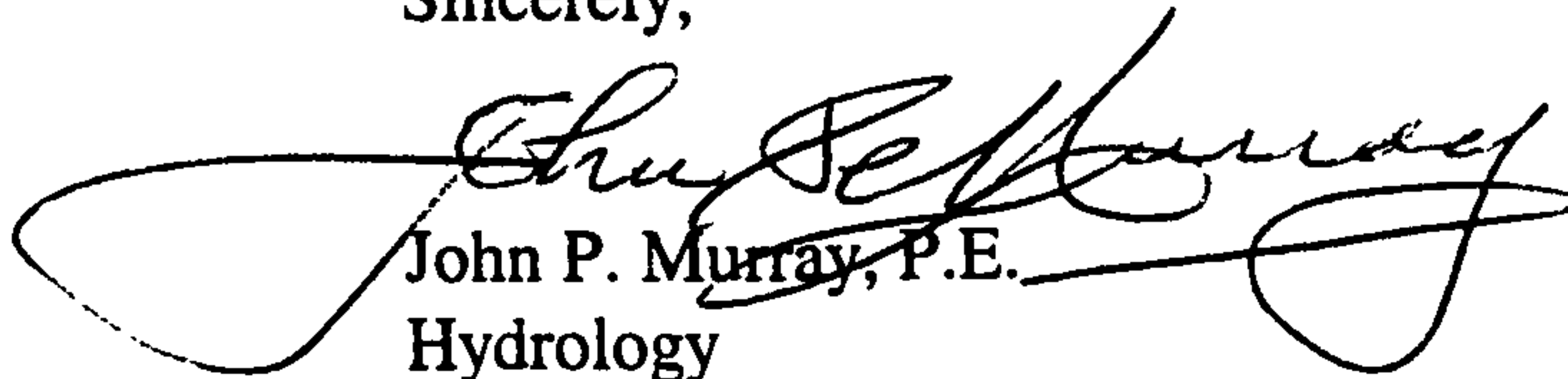
Based on the information provided on your September 13, 1999 submittal, the above referenced project is approved for Building Permit. Note, however, that the T.C.L. has not been approved. A copy of Transportation's letter is enclosed for your information.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy approval, an Engineer's Certification per the DPM will be required.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,


John P. Murray, P.E.
Hydrology

c: WR
 File



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 8, 1999

Edward Fitzgerald, Reg. Arch.,
Edward Fitzgerald Architects
2225 Lead Avenue S.E.
Albuquerque, New Mexico 87106

Re: Site Plan submittal for building permit approval for Double Rainbow, 8001 Menaul Blvd. N.E.,
Sombra Del Monte Addition, Block 5, Lots 1 & 2 [H19/D068], Architect's Stamp not dated.

Dear Mr. Fitzgerald,

The location referenced above requires modification to the Site Plan prior to Building Permit release as stated on the attached comments.

Please provide all revised Site Plans reflecting above corrections along with all red-lined, marked up copies.

Sincerely,

Mike Zamora,
Commercial Plan Checker

cc:
Engineer
Hydrology File
Office File

- T.C.L./Site Plan stamp must be dated.
- The engineer's certification required by the Hydrology section needs to include certification that this site was constructed in accordance with the Traffic Circulation Layout (TCL) before C.O. is released.
- Red-lined markup of Site Plan submitted and typed comments should be used to make corrections required. Return markup with corrections.
- Use of D.P.M. can aid in production of Site Plan requiring fewer corrections to original and more expedient Transportation Development review time.
- Only one SitePlan is needed per Permit submittal. Multiple copies of SitePlans will need to match exactly.
- New and existing elements noted on the Site Plan must be shown, labelled, and dimensioned correctly and accurately, this includes site sidewalks, existing drivepads.
- Need to see clear differentiation between new construction and existing on Site Plan.____
- Show, label, and dimension existing and/or new street sidewalks. City sidewalk ordinance requires minim. 4' street sidewalks along the frontage of all commercial sites being developed. _Ordinance requires minim.6' street sidewalks along the frontage of all commercial sites being developed adjacent to major streets(Menaul).
- Dimension stalls as shown and label "typical" or call out in individual locations, if not typical. _Call out to stripe east side of lot per City Standard and to stripe north parking at minim. 9'-6" to conform to DPM requirements.
- At wheel stops (parking barrier) near north and east property lines, along front of stalls, pull back to provide 2'-0" distance to property line, should be minim. 18' from end of stall. _Place wheel stop using #6 rebar anchors, 18" in length.
- 6" high concrete curb, per city standard, must be constructed per DPM Section23.7 B6.
- Is top of sidewalk along front of building raised above parking surface?__ Minim. 5' wide sidewalk, raised 6" above parking surface, needed at the front of parked vehicles along the front of building. If not raised here, install concrete wheel stops keeping that 5 foot width for pedestrian access._Show and label ramps and show slope of ramps using arrows.
- Both curb cuts must be widened to 30 feet. _Place small car stalls adjacent to north drivepad, as shown, to widen throat.
- Label - "Construct new drivepad per City of Albuquerque. Std. Detail Dwg. No. 2425."
- Label asphalt and thickness of parking surface per city std. or refer to a detail which illustrates the proposed method of paving and states it's equivalency to standard asphalt surfacing.
- Linework on DrainagePlan and LandscapePlan must matchSitePlan exactly.
- Need to see valuation of project.

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CERTIFICATE OF OCCUPANCY

S.A.E. DRAINAGE REPORT

DRAINAGE REQUIREMENTS

OTHER:

PRE-DESIGN MEETING:

YES

NO

COPY OF MINUTES PROVIDED

DATE SUBMITTED: 09/10/99

BY: JEAN J (JAKE) BORDENAVE

