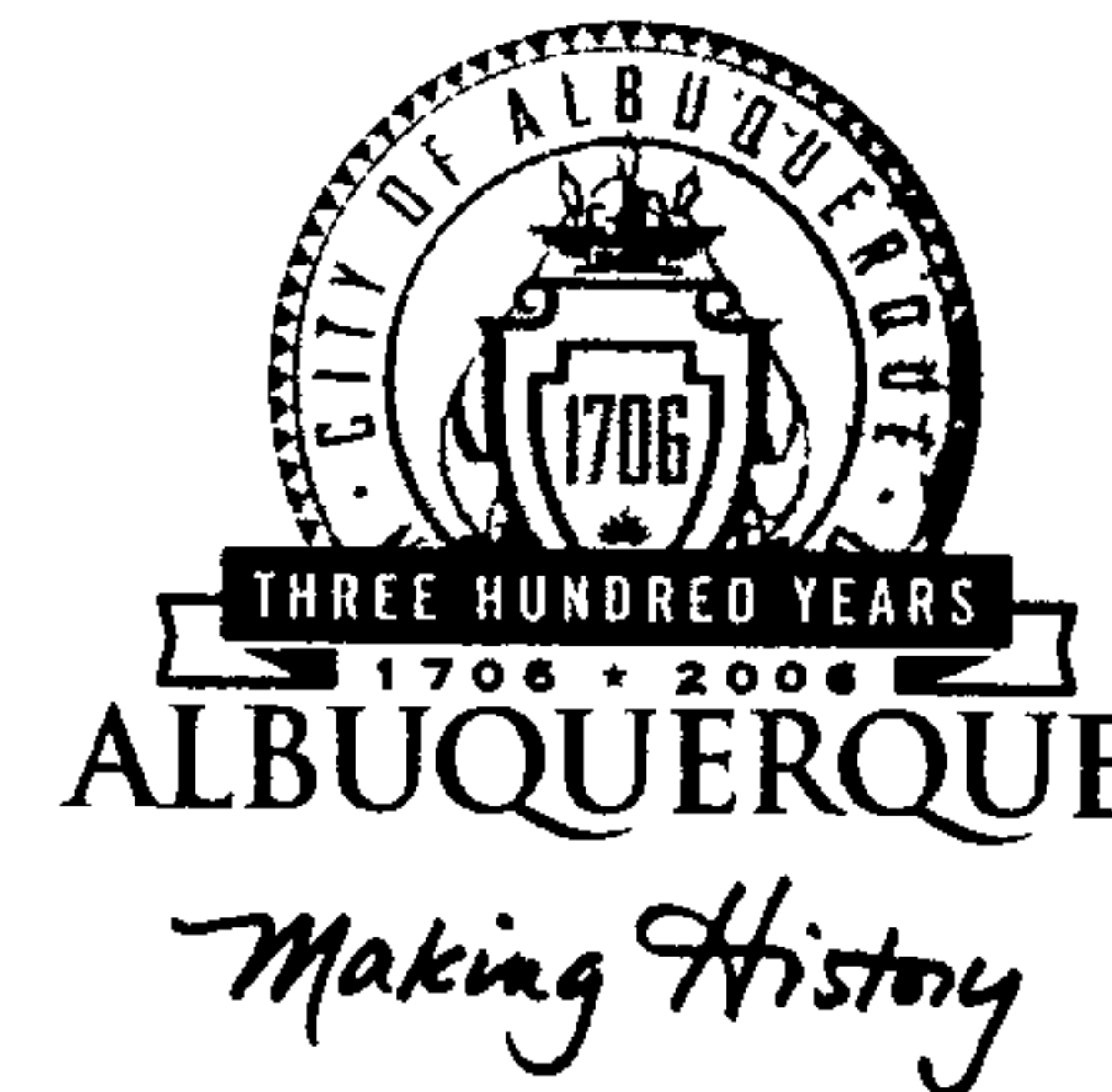


CITY OF ALBUQUERQUE



April 12, 2006

Mr. David Soule, P.E.
RIO GRANDE ENGINEERING
1606 Central Avenue SE, Suite 201
Albuquerque, NM 87106

Re: INDIAN SCHOOL OFFICES
7309 Indian School Road NE
Approval of Permanent Certificate of Occupancy (C.O.)
Approved Engineer's Stamp dated 10/31/2005 (H-19/D75)
Certification dated 04/12/2006

Dear David:

P.O. Box 1293

Based upon the information provided in your submittal received 04/12/2006, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, you can contact me at 924-3982.

New Mexico 87103

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

www.cabq.gov

C: CO Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Indian School Offices
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: H-19 / D75
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract D-1, Block 2, Zuni Addition
CITY ADDRESS: 7300 & 7309 Indian School

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: 3500 Comanche Blvd. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87107

OWNER: Bauman, Dow & Leon
ADDRESS: 7309 Indian School
CITY, STATE: Albuquerque, NM

CONTACT: Hugh Turner
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Cartesian Survey
ADDRESS: _____
CITY, STATE: _____

CONTACT: Will Plotner
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

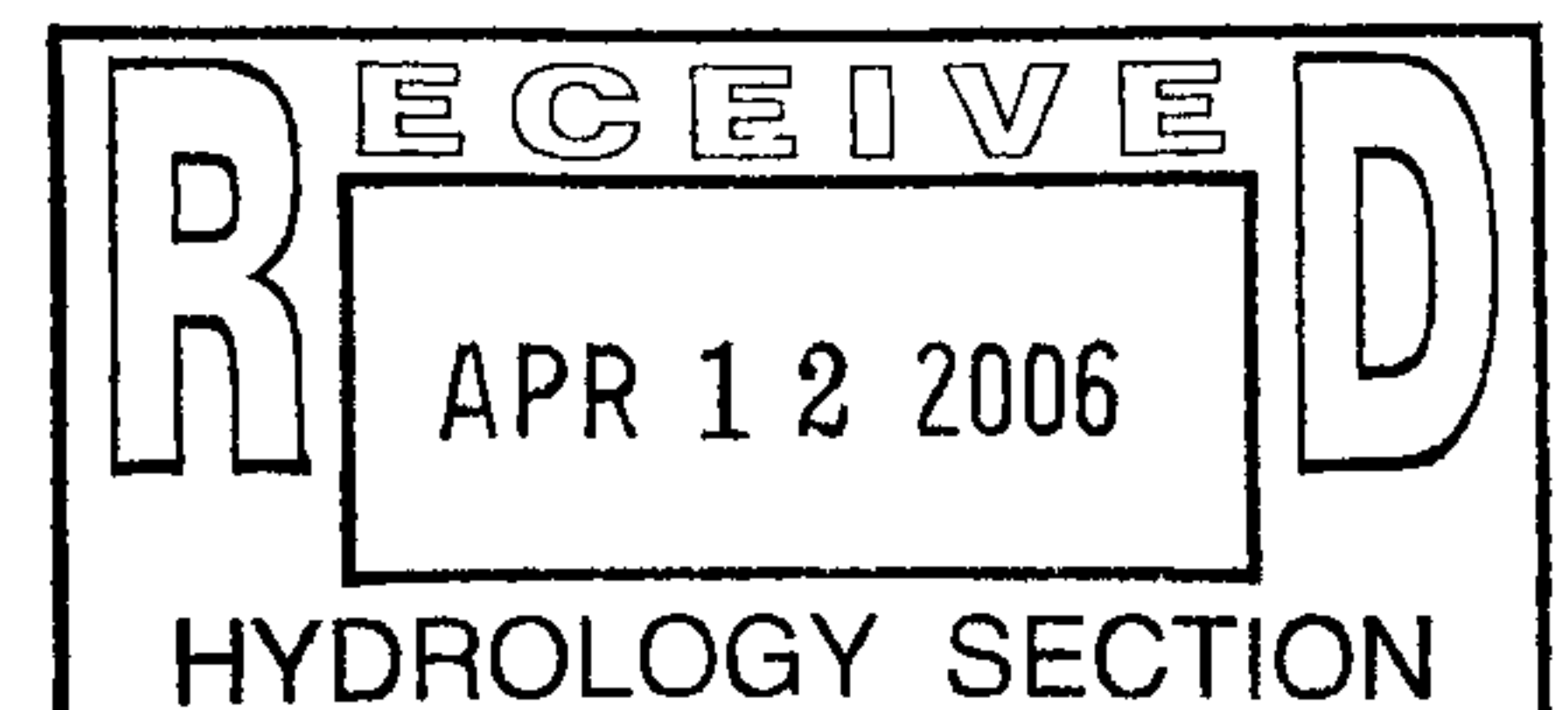
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- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL (Revised)
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR SITE PLAN)
☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 4/12/2006 BY: David Soule

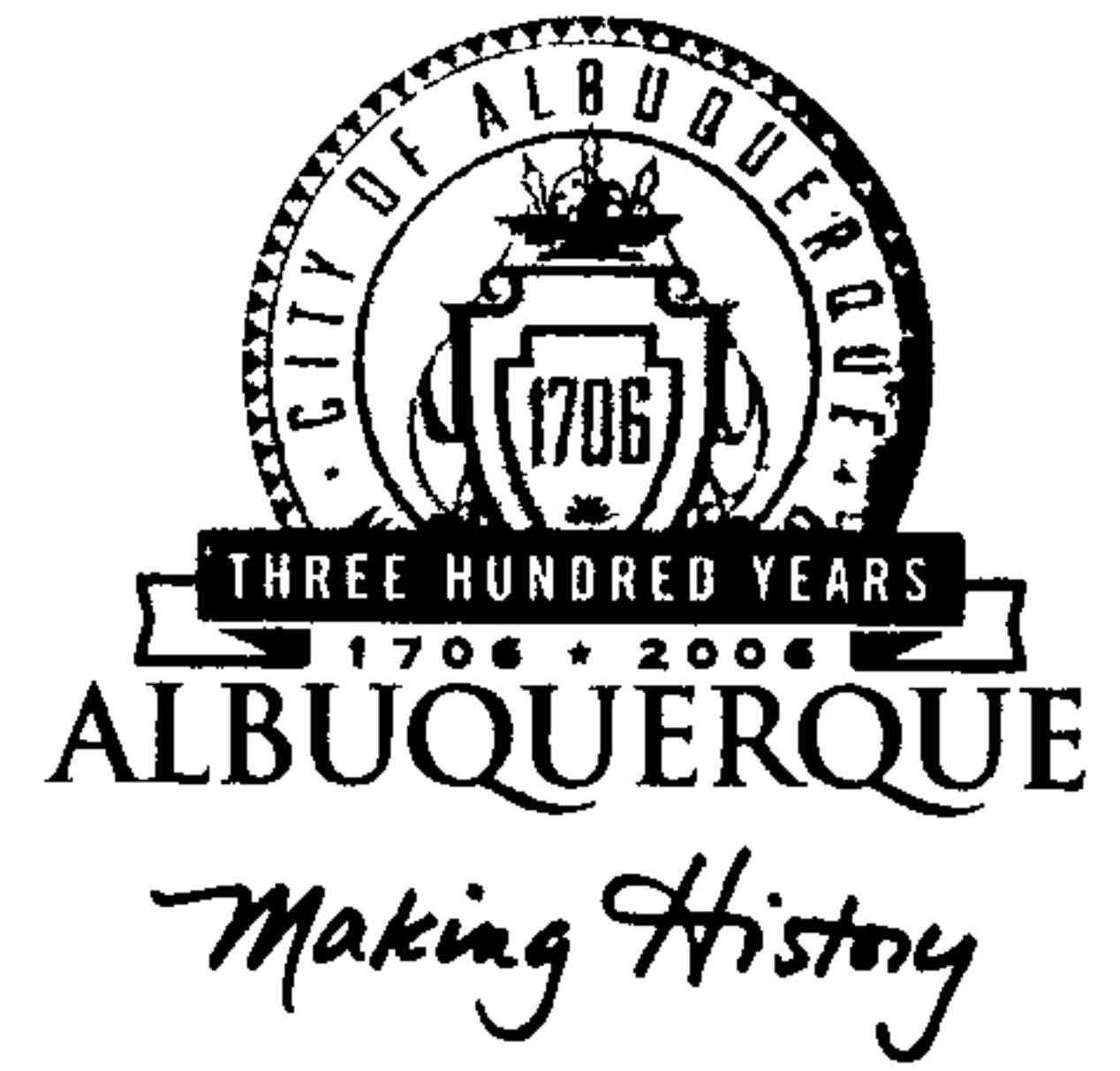
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

April 13, 2006

David Soule, P.E.
3500 Comanche Blvd NE.
Albuquerque, NM 87107

Re: Certification Submittal for Final Building Certificate of Occupancy for
Indian School Offices, [H-19 / D75]
7309 Indian School
Engineer's Stamp Dated 04/12/06

Dear Mr. Soule:

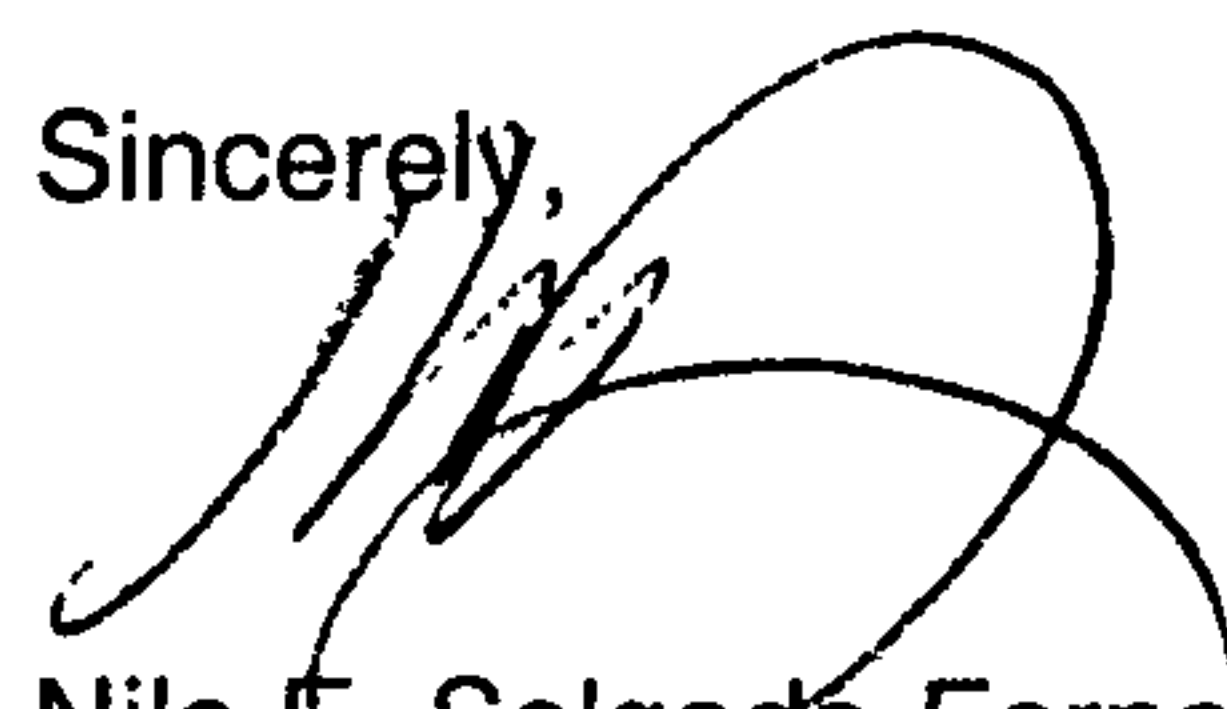
P.O. Box 1293

The TCL / Letter of Certification submitted on April 12, 2006 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology:file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Indian School Offices
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: H-19 / D75
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract D-1, Block 2, Zuni Addition
CITY ADDRESS: 7300 & 7309 Indian School

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: 3500 Comanche Blvd. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87107

OWNER: Bauman, Dow & Leon
ADDRESS: 7309 Indian School
CITY, STATE: Albuquerque, NM

CONTACT: Hugh Turner
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Cartesian Survey
ADDRESS: _____
CITY, STATE: _____

CONTACT: Will Plotner
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

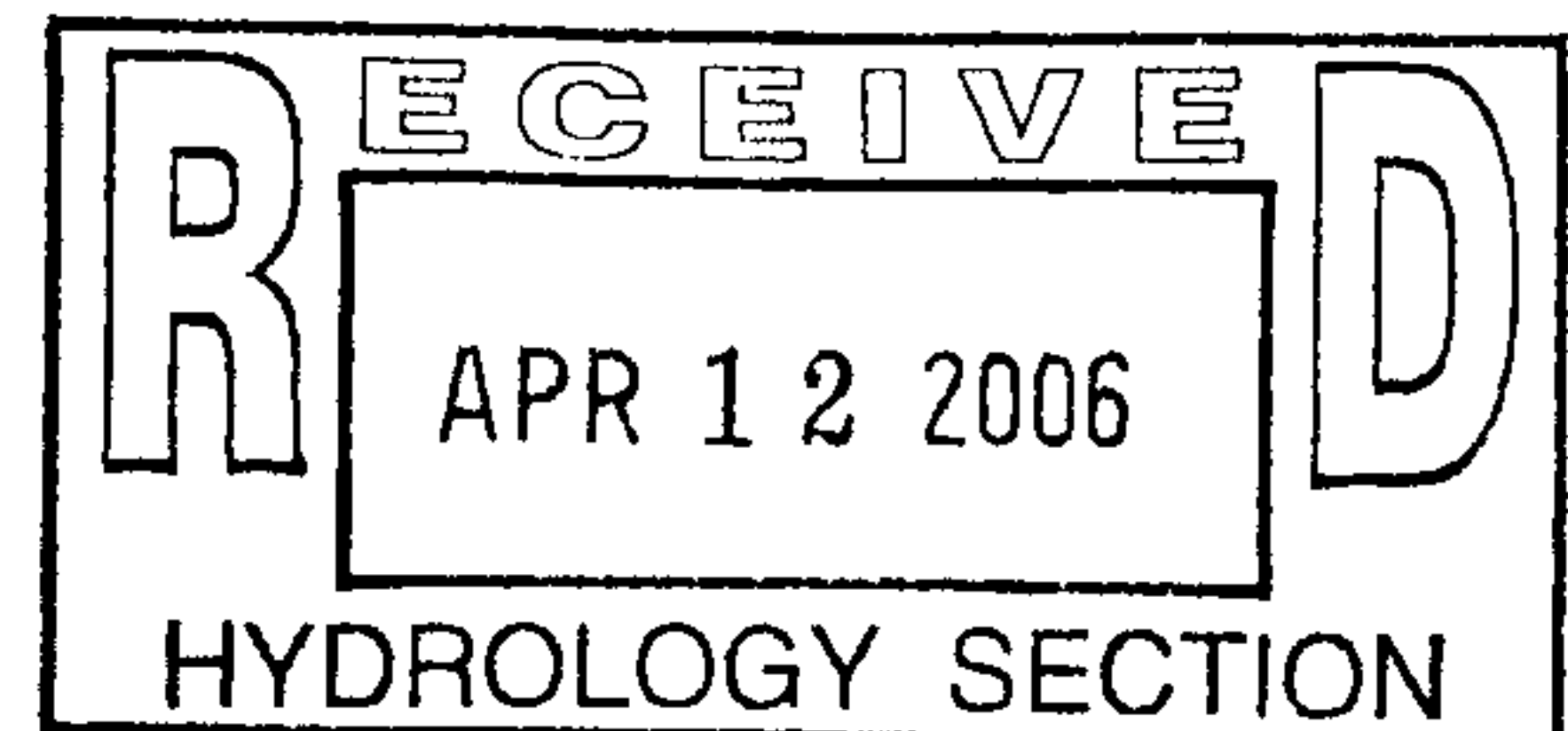
CHECK TYPE OF APPROVAL SOUGHT.

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL(Revised)
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☒ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
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☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 4/12/2006 BY: David Soule

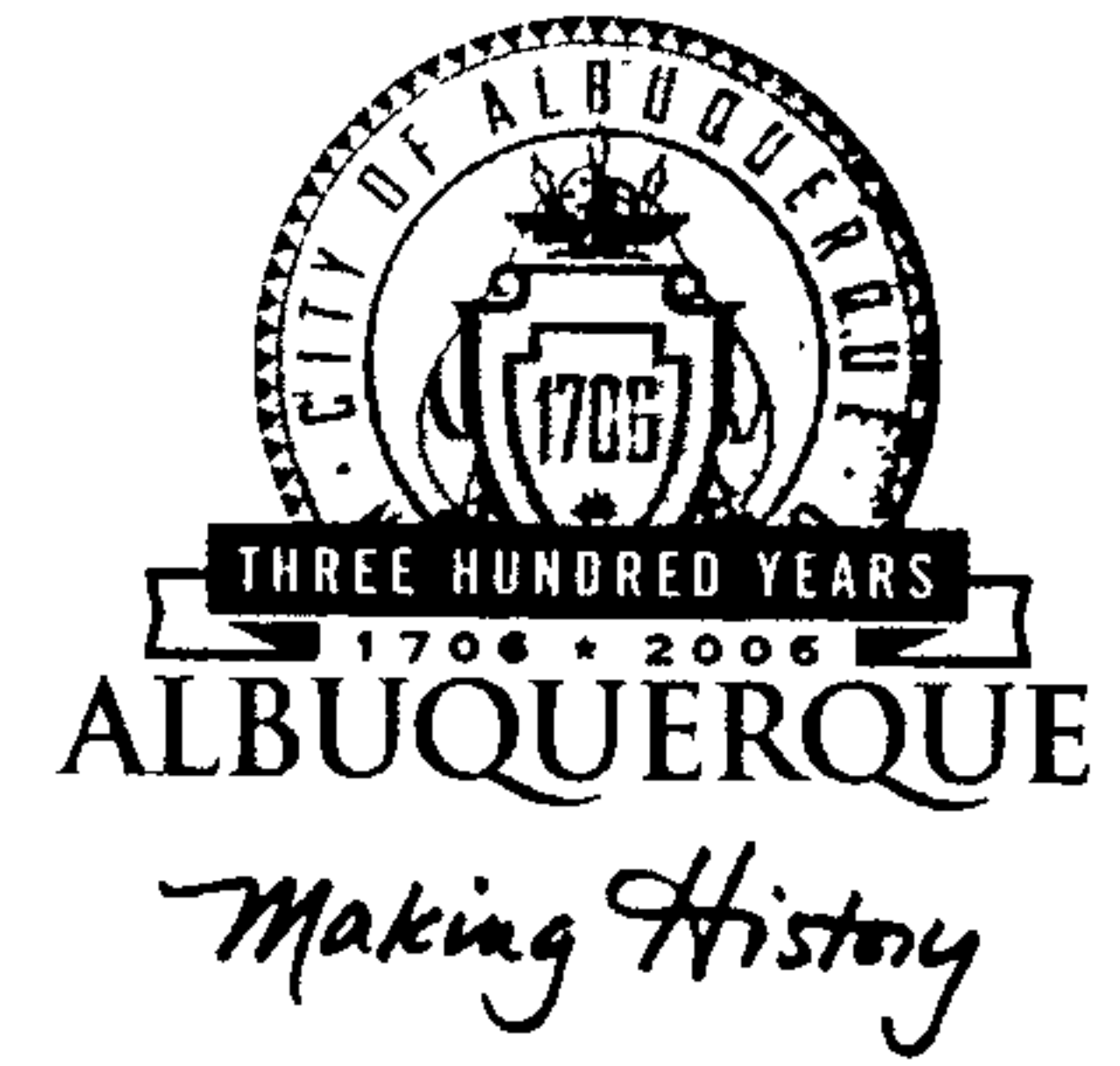
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



November 1, 2005

David Soule, P.E.
Rio Grande Engineering
1606 Central Ave. SE – Suite 201
Albuquerque, NM 87106

**Re: Indian School Offices, 7309 Indian School Rd. NE-Grading & Drainage Plan
Engineer's Stamp dated 10-31-05 (H19-D75)**

Dear Mr. Soule,

Based upon the information provided in your submittal dated 10-31-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Additionally, prior to release of the Certificate of Occupancy an Engineer's Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3990.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

PROJECT TITLE: Indian School Offices
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: H-19 / D75
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract D-1, Block 2, Zuni Addition
CITY ADDRESS: 7300 & 7309 Indian School

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: 3500 Comanche Blvd NE 1606 Central Ave SE
CITY, STATE: ALBUQUERQUE, NM Ste 201

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87107 87106

OWNER: Bauman, Dow & Leon
ADDRESS: 7309 Indian School
CITY, STATE: Albuquerque, NM

CONTACT: Hugh Turner
PHONE: _____
ZIP CODE: _____

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CHECK TYPE OF SUBMITTAL:

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☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☒ DRAINAGE PLAN ~~REVISIONS~~ (revised)
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

Resub

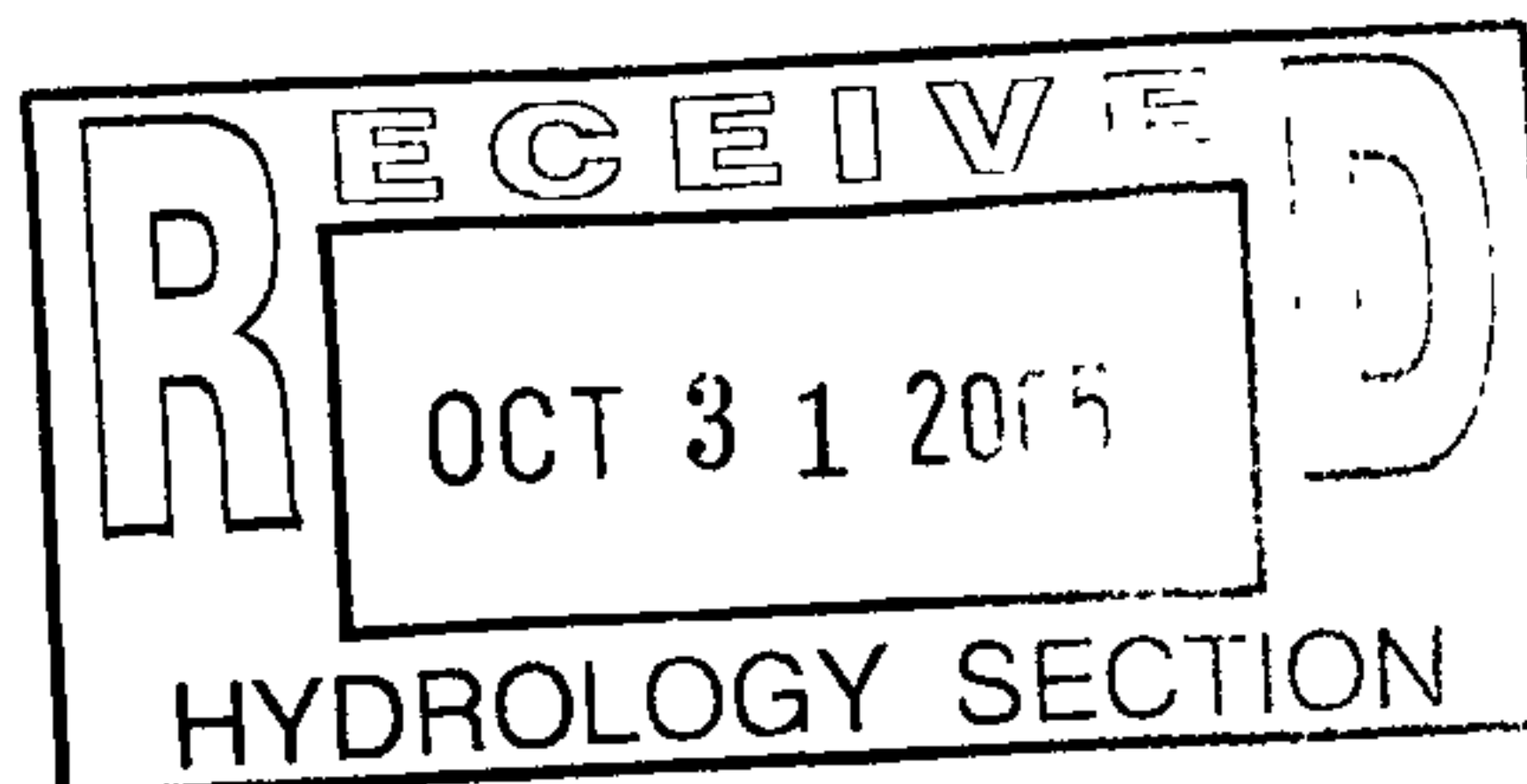
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: 10/31/2005

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
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☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)



BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

DRAINAGE REPORT

For

**7300 & 7309 INDIAN SCHOOL
OFFICE ADDITION
Albuquerque, New Mexico**

Prepared by

Rio Grande Engineering
1606 Central SE
Albuquerque, New Mexico 87106

October 2005

David Soule P.E. No. 14522

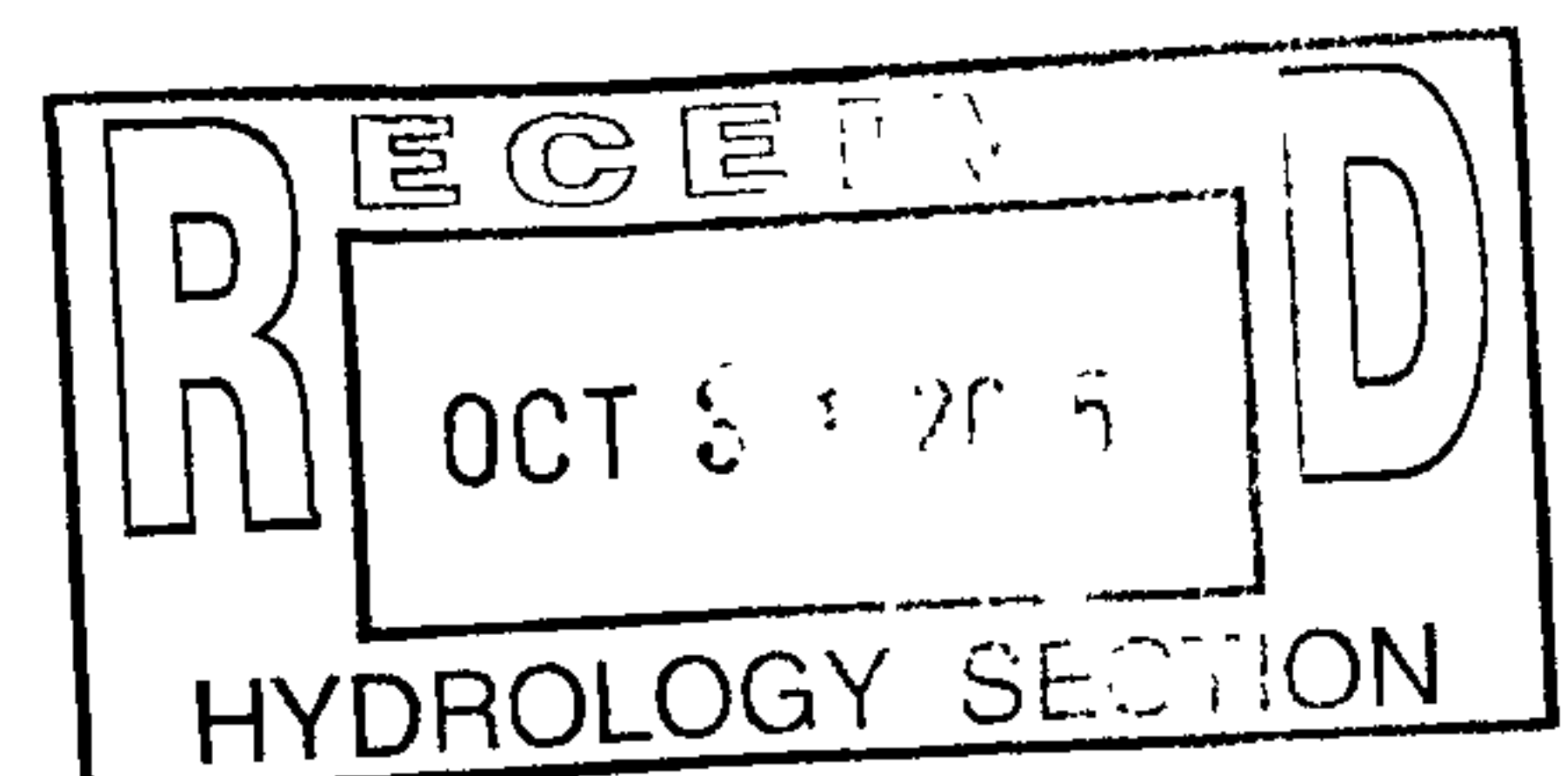


TABLE OF CONTENTS

Purpose	3
Introduction.....	3
Existing Conditions.....	3
Exhibit A-Vicinity Map	4
Exhibit B- Existing Drainage Map	5
Exhibit C- Proposed Drainage Map	6
Proposed Conditions	7
Summary	8

Appendix

Site Hydrology	A
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Map Pocket

Site Grading and Drainage Plan	
--------------------------------	--

PURPOSE

The purpose of this report is to provide the Drainage Management Plan for the construction of a 1,100 square foot addition to an existing building. This plan was prepared in accordance with the City of Albuquerque's Development Process Manual. This report will demonstrate that the proposed improvements do not adversely affect the surrounding properties, nor the upstream or downstream facilities.

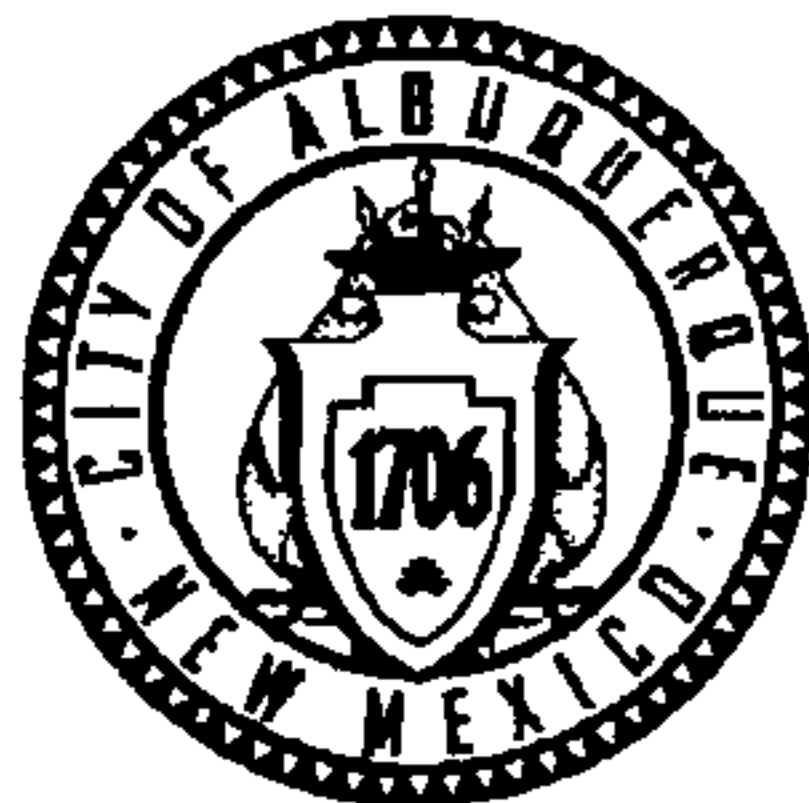
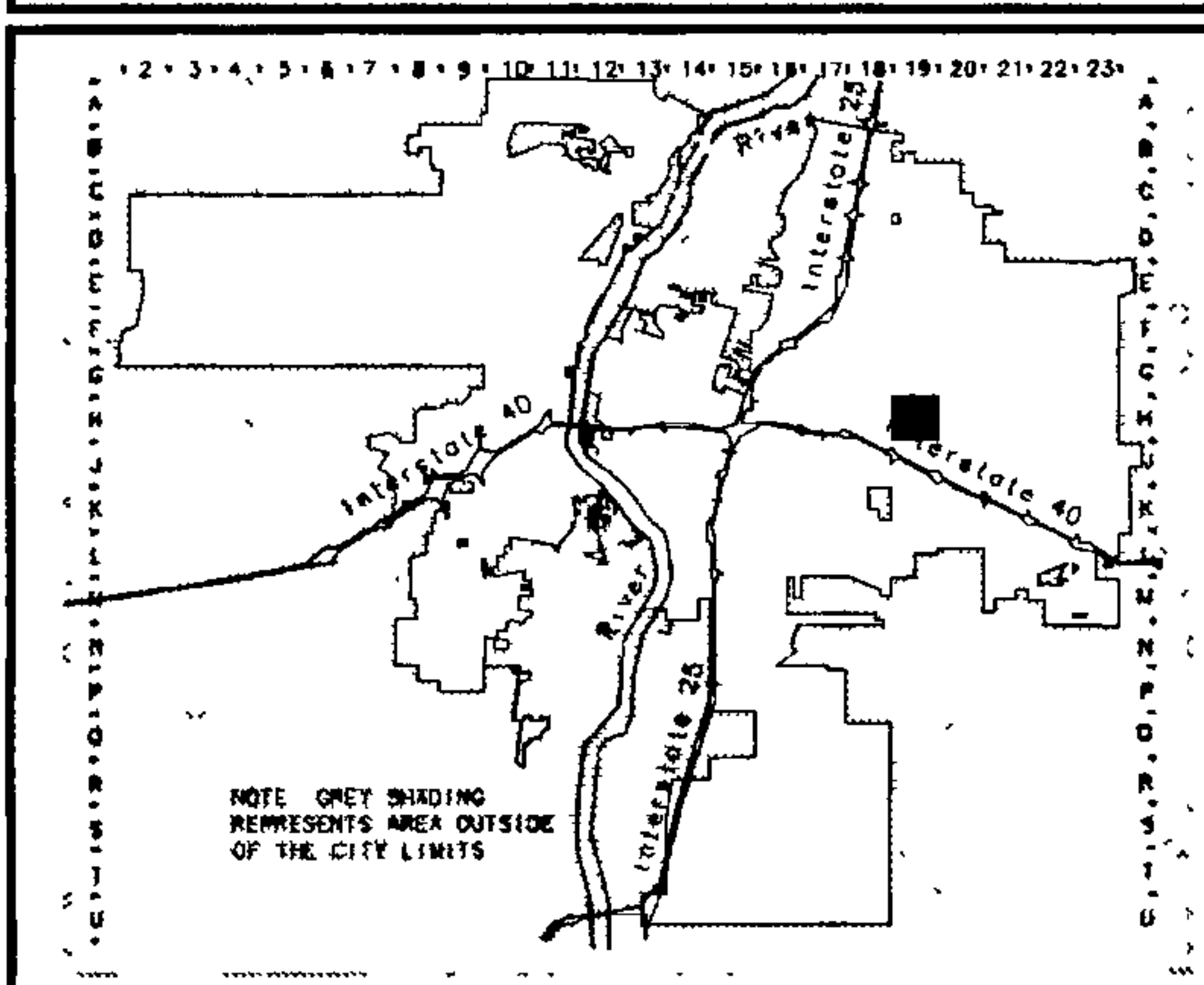
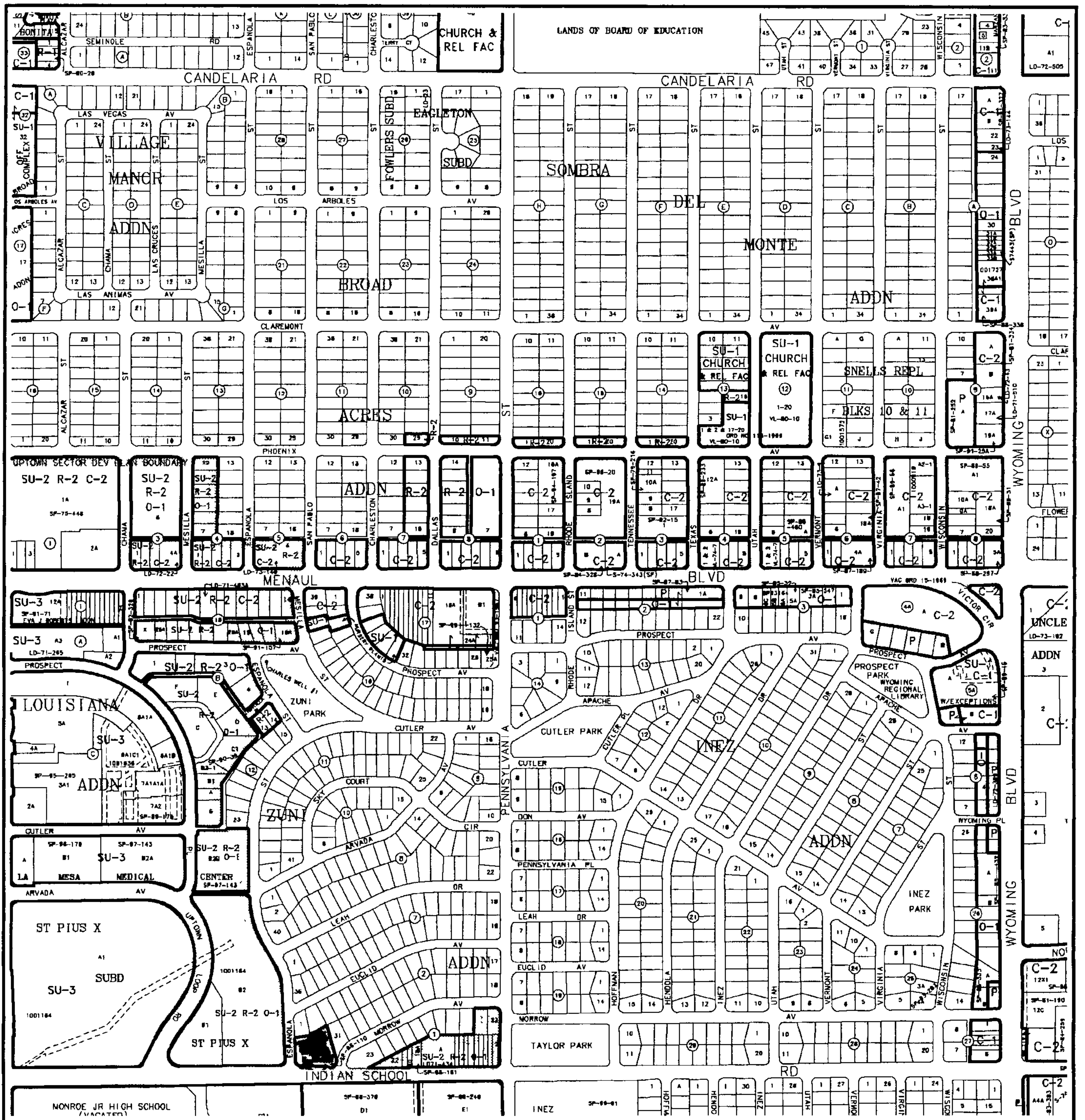
INTRODUCTION

The subject of this report, as shown on the Exhibit A, is a .87-acre parcel of land located on the northeast corner of Indian School Road NE and Espanola Street NE. The site is located in the uptown area of Albuquerque. The legal description of this site is Tract D-1, Block 2, Zuni Addition. As shown on FIRM map 35001C0352E, the site is located entirely within Flood Zone X. The site is currently developed as an office complex.

The site is fully developed and discharges 3.8 cfs to both Espanola and Indian School. This project consists of a small 1,100 square foot addition to one of the existing buildings. This development must maintain the existing drainage patterns. Since the improvement is very small, no significant increase in offsite flows will be experienced.

EXISTING CONDITIONS

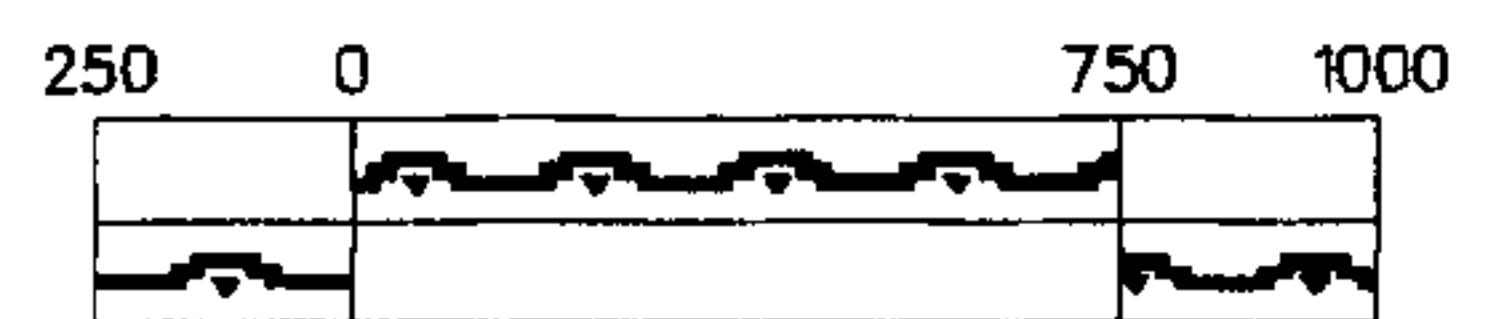
The site is currently developed as an office building. As shown on Exhibit B, the site contains 3 drainage basins. Basin A contains the larger building and the majority of the parking lot. This basin drains 2.62 cfs into Espanola. Basin C contains the rear portion of the larger building and discharges .22 cfs directly onto Indian School. Basin B contains the smaller building. This basin drains toward Indian School, but due to the construction of a retaining wall, it appears very little of the predicted .97 cfs actually leaves the site discharging onto Indian School..



Albuquerque Geographic Information System
PLANNING DEPARTMENT

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GRAPHIC SCALE IN FEET




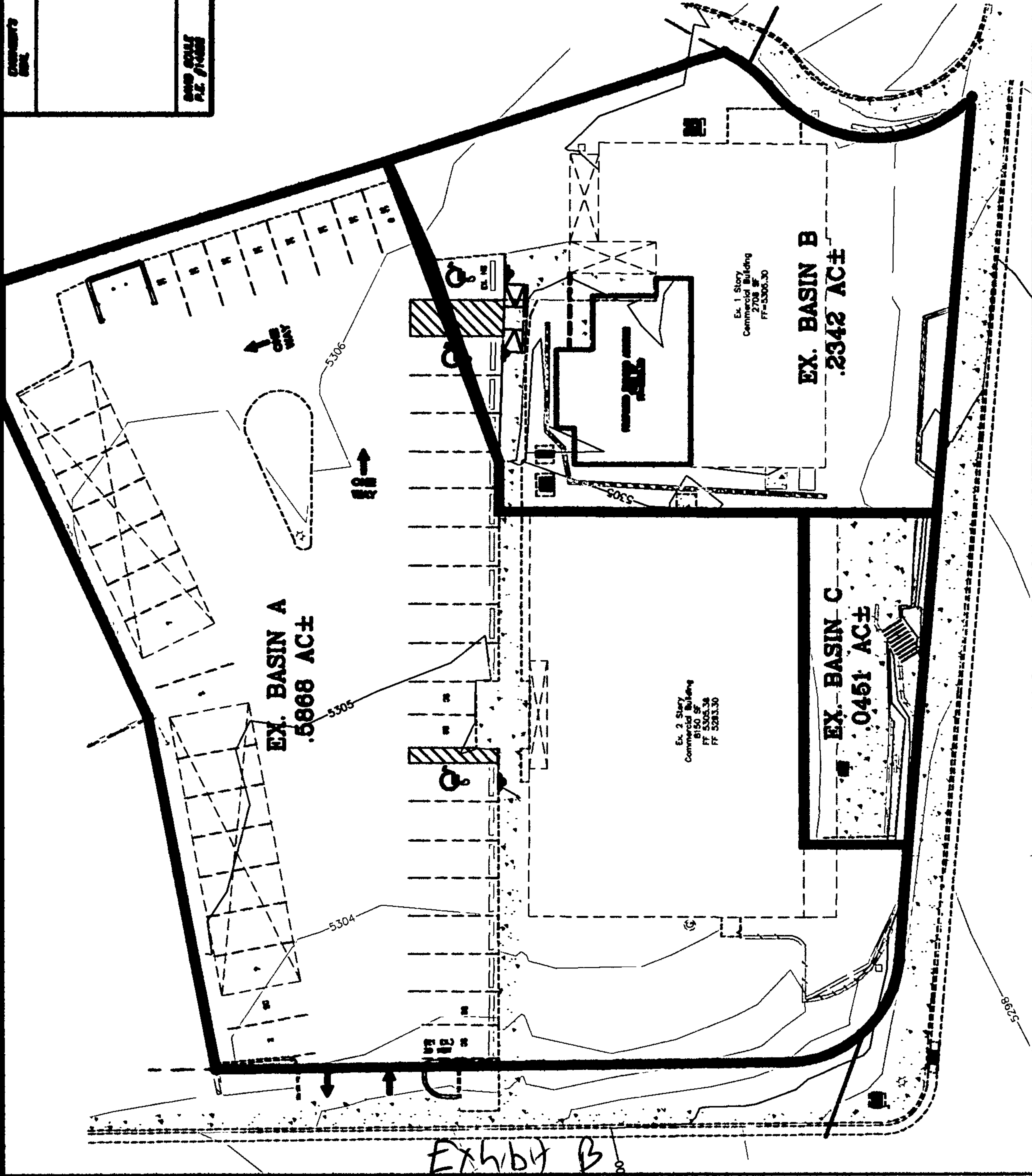
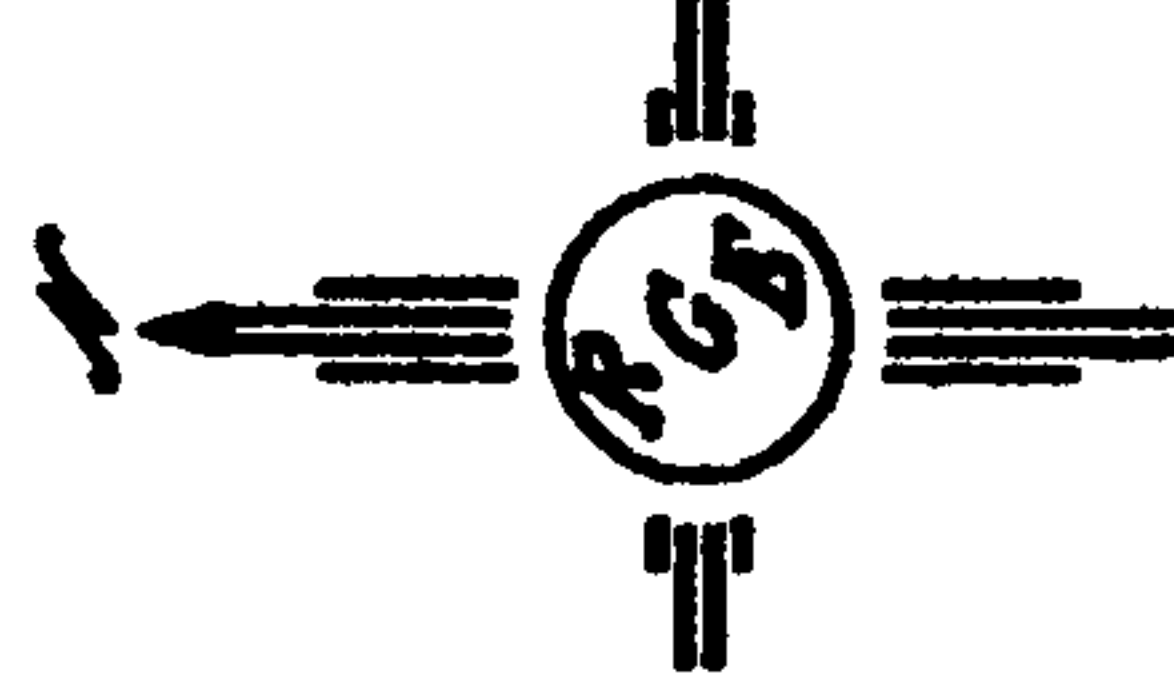
Zone Atlas Page

H-19-Z

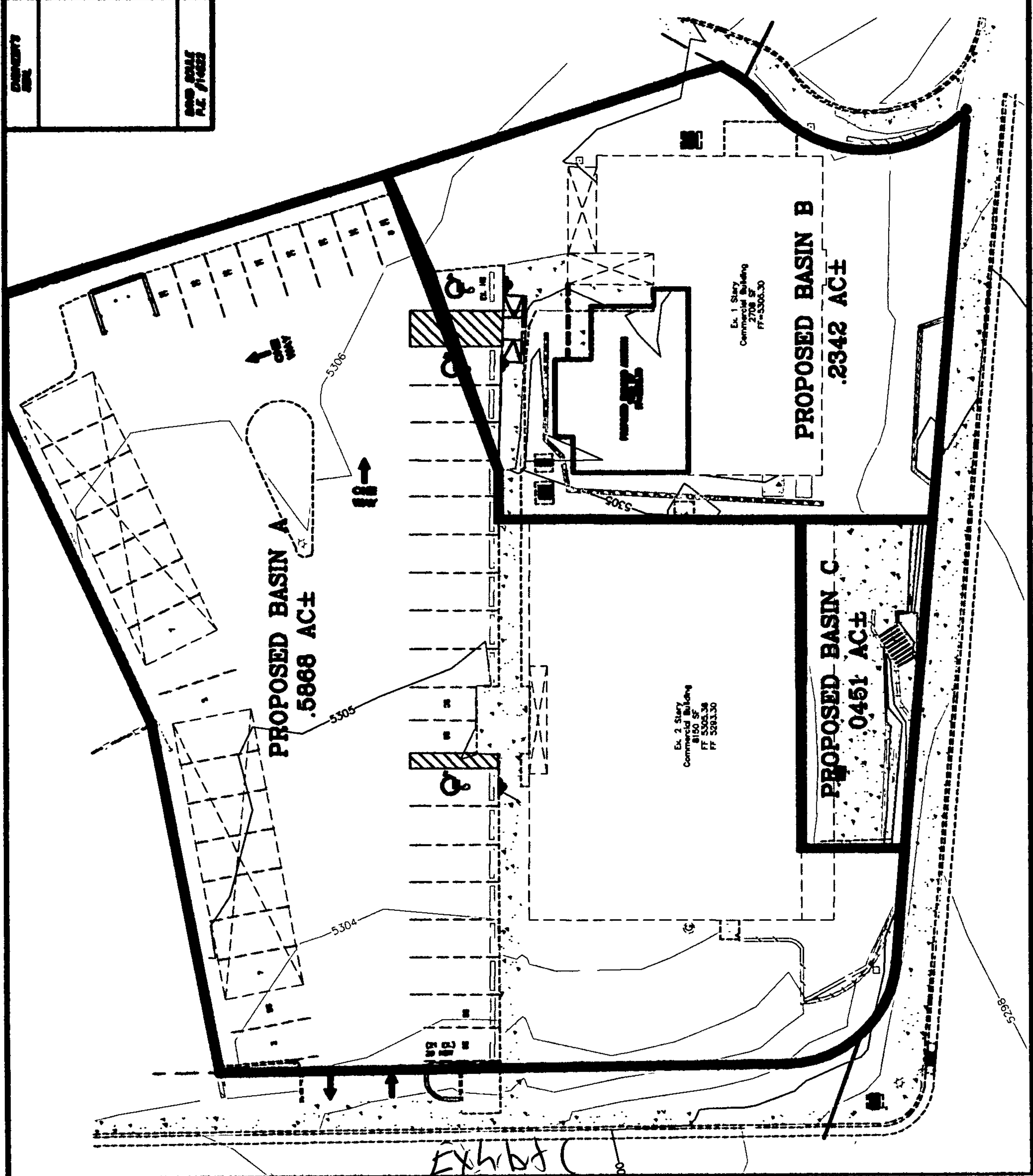
Map Amended through February 03, 2004

Exhibit A

OWNER'S NAME	TRACT D-1 BUILDING EXPANSION		DESIGNED BY RCH
	EXISTING BASIN EXHIBIT		DATE 10-12-08
SHEET NO. P.E. 1000			PROJECT NO. 10-12-08
	RCH ENGINEER 1000 10th Ave S Seattle, WA 98104		JOB NO. 1000



<div style="text-align: center;"> </div>	TRACT D-1 BUILDING EXPANSION		DRAWN BY DATE 10-10-00
	PROPOSED BASIN EXHIBIT		2004-000-0-00-000 SHEET 1
	<div style="text-align: center;"> </div>		2004-000-0-00-000 SHEET 1



PROPOSED CONDITIONS

The proposed improvements consist of a 1,100 square foot addition to the smaller building. The onsite lot grading shall consist of a building pad and the construction of a landscape swale. As Shown in Exhibit C, basing A and C are not affected. The proposed addition will increase the flow generated within Basin B from .97 CFS to 1.02 CFS. Due to the wall along the south portion of the lot, the effect .05 cfs increase should not have any measurable effect upon the flows leaving the site. The existing drainage patterns will remain. The construction of the landscape swale will assist in draining the landscaping away from the buildings

SUMMARY AND RECOMMENDATIONS

This site is a redevelopment of an existing site. The 1,100 addition will not affect the existing drainage patterns. The site currently discharges 3.80 cfs, whereas the improvements will increase the peak rate by .05 cfs. This increase is insignificant and due to a wall along the southern property line, there should be no increase in flows from the existing condition.

The proposed site development does not adversely affect the upstream or downstream facilities. The site was designed in conformance to City of Albuquerque Drainage Policy. Therefore, we request approval of the site-grading plan. Since public improvements will be constructed a work order and Subdivision Improvement Agreement will be required. Since this site encompasses less than 1 acre, a NPDES permit should not be required prior to any construction activity.

APPENDIX A
SITE HYDROLOGY

Weighted E Method

Existing Basins

											100-Year		
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs
			%	(acres)	%	(acres)	%	(acres)	%	(acres)			
A	25561.01	0.587	0%	0	10%	0.059	20%	0.11736	70%	0.411	2.002	0.098	2.62
B	10201.75	0.234	0%	0	15%	0.035	33%	0.07729	52%	0.122	1.791	0.035	0.97
C	1964.56	0.045	0%	0	10%	0.005	0%	0	90%	0.041	2.216	0.008	0.22
Total	37727.32	0.866		0		0.098		0.19465		0.573		0.141	3.80

Proposed Developed Basins

											100-Year, 6-hr.			10-day
Basin	Area (sf)	Area (acres)	Treatment A		Treatment B		Treatment C		Treatment D		Weighted E (ac-ft)	Volume (ac-ft)	Flow cfs	Volume (ac-ft)
			%	(acres)	%	(acres)	%	(acres)	%	(acres)				
A	25561.01	0.587	0%	0	10%	0.059	20%	0.11736	70%	0.411	2.002	0.098	2.62	0.153
B	10201.75	0.234	0%	0	15%	0.035	20%	0.04684	65%	0.152	1.930	0.038	1.02	0.058
C	1964.56	0.045	0%	0	10%	0.005	0%	0	90%	0.041	2.216	0.008	0.22	0.014
Total	37727.32	0.866		0		0.098		0.1642		0.604		0.144	3.85	0.22

Equations:

Weighted E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d$ / (Total Area)

Volume = Weighted D * Total Area

Flow = $Q_a \cdot A_a + Q_b \cdot A_b + Q_c \cdot A_c + Q_d \cdot A_d$

Where for 100-year, 6-hour storm

$E_a = 0.66$ ✓

$E_b = 0.92$

$E_c = 1.29$

$E_d = 2.36$

$Q_a = 1.87$ ✓

$Q_b = 2.6$

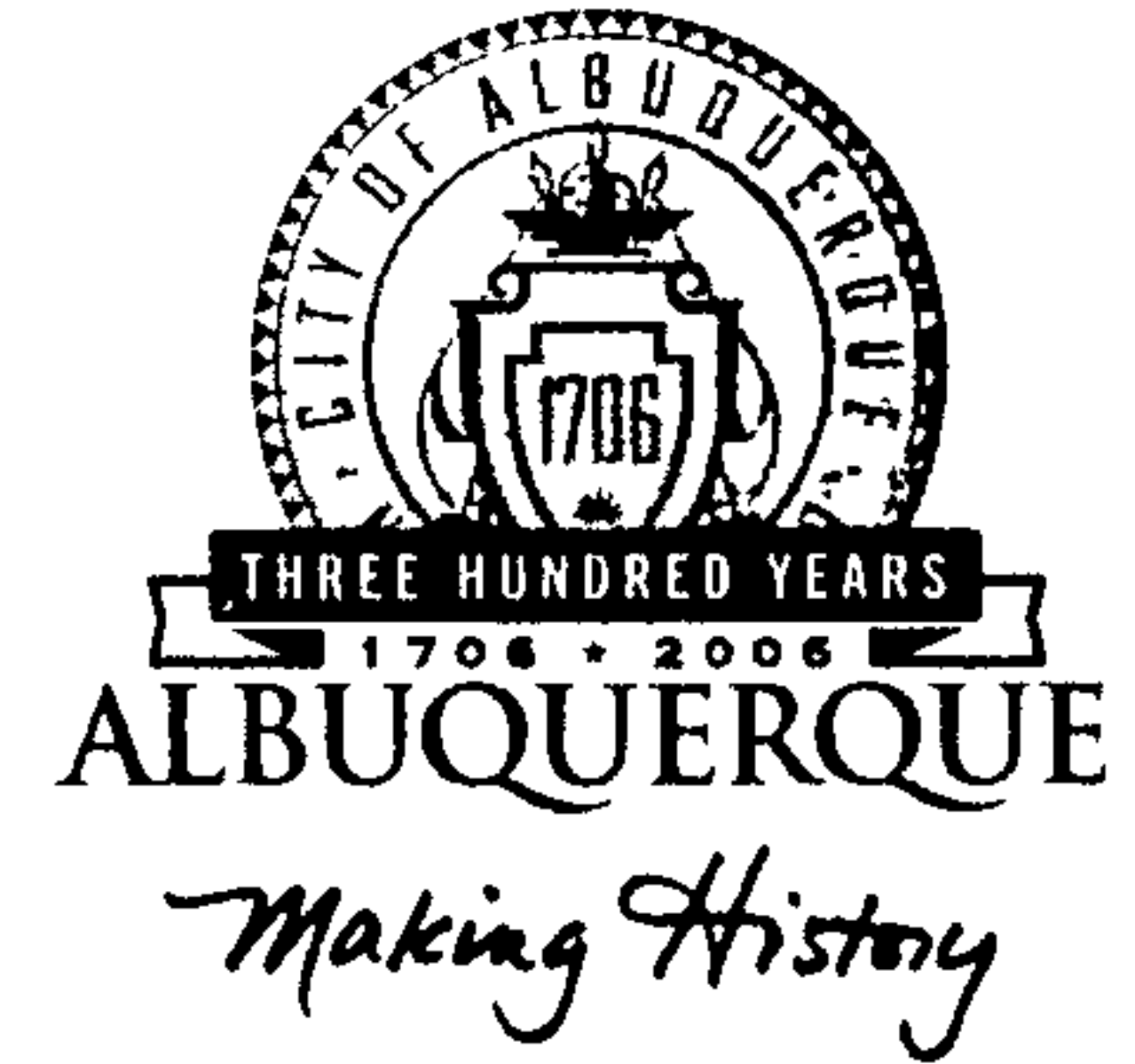
$Q_c = 3.45$

$Q_d = 5.02$

CITY OF ALBUQUERQUE

October 25, 2005

David Soule, P.E.
Rio Grande Engineering
3500 Comanche Blvd. NE
Albuquerque, NM 87107



**Re: Indian School Offices, 7309 Indian School Rd. NE-Grading & Drainage
Plan Engineer's Stamp dated 10-18-05 (H19-D75)**

Dear Mr. Soule,

The TCL submittal received 10-18-05 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan shall be inserted into each set of the building permit plans. Please keep the original to be used for final C.O. certification of the site required by Transportation.

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Planning Dept.
Development and Building Services

cc: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV. 01/28/2003rd)

H-19/D75

PROJECT TITLE: Indian School Offices
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: G-24
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract D-1, Block 2, Zuni Addition
CITY ADDRESS: 7300 & 7309 Indian School

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: 3500 Comanche Blvd. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87107

OWNER: Bauman, Dow & Leon
ADDRESS: 7309 Indian School
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SURVEYOR: Cartesian Survey
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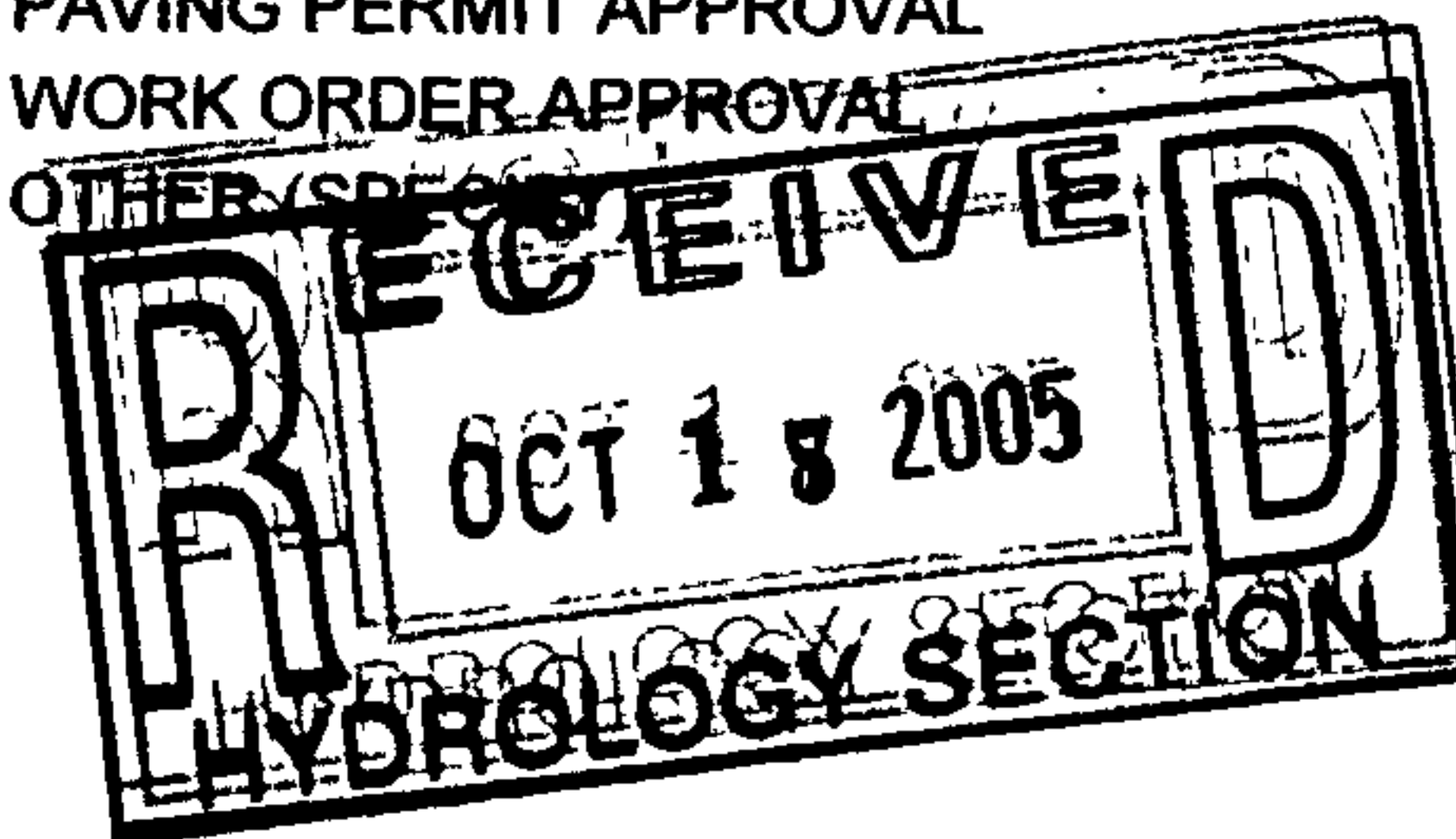
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☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY): _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 9/27/2005 10/18/05 BY: David Soule

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

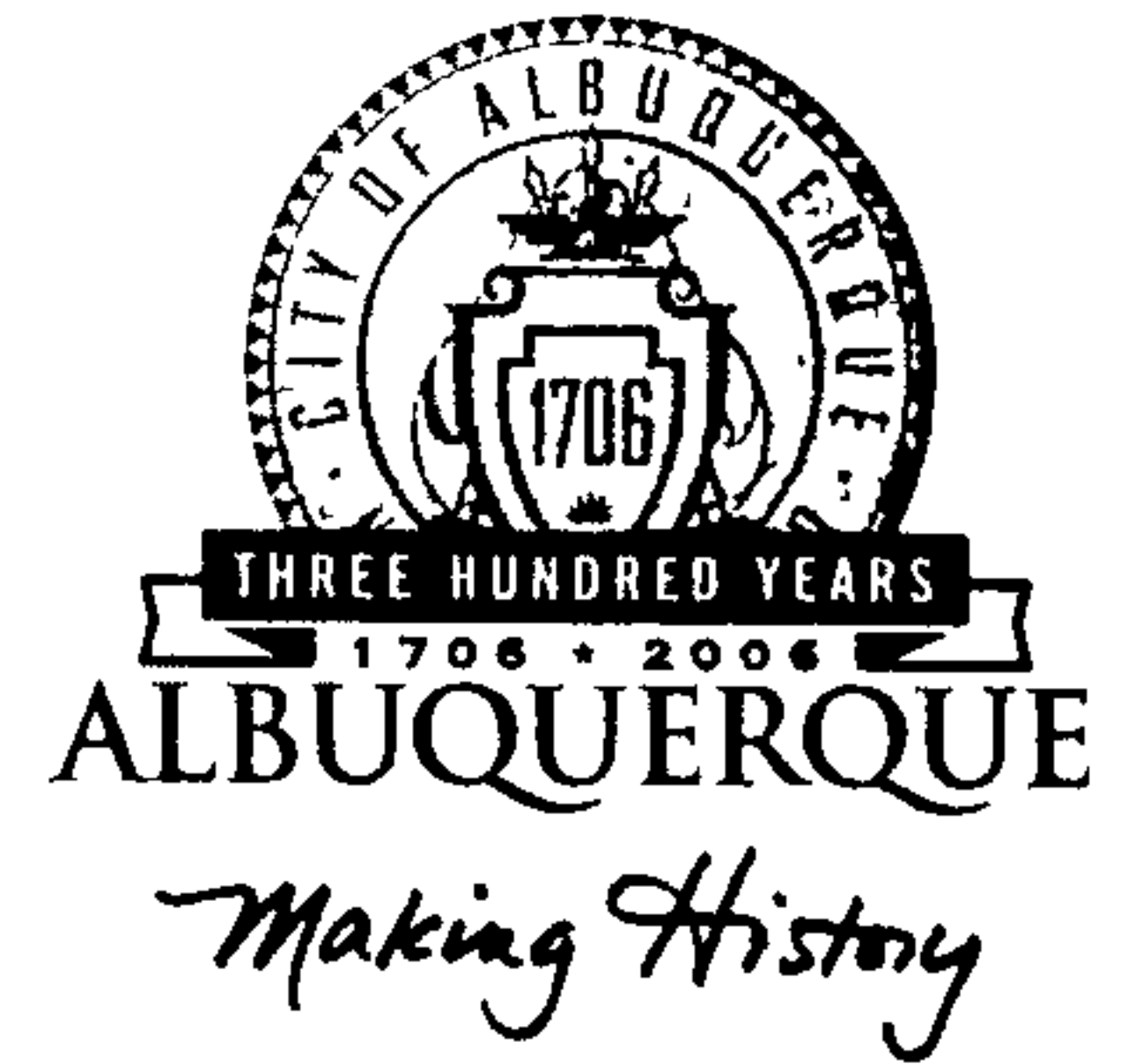
The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

APPROVED

CITY OF ALBUQUERQUE



October 25, 2005

David Soule, P.E.
Rio Grande Engineering
3500 Comanche Blvd. NE
Albuquerque, NM 87107

**Re: Indian School Offices, 7309 Indian School Rd. NE-Grading & Drainage Plan
Engineer's Stamp dated 10-18-05 (H19-D75)**

Dear Mr. Soule,

Based upon the information provided in your submittal dated 10-18-05, the above referenced plan cannot be approved for Building Permit until the comments from previous submittal letter dated 10-17-2005 are addressed.

If you have any questions, you can contact me at 924-3986.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Bradley L. Bingham, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

H-19/D75

PROJECT TITLE: Indian School Offices
 DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: G-21
 WORK ORDER #: _____

LEGAL DESCRIPTION: Tract D-1, Block 2, Zuni Addition
 CITY ADDRESS: 7300 & 7309 Indian School

ENGINEERING FIRM: Rio Grande Engineering
 ADDRESS: 3500 Comanche Blvd. NE
 CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE
 PHONE: (505)321-9099
 ZIP CODE: 87107

OWNER: Bauman, Dow & Leon
 ADDRESS: 7309 Indian School
 CITY, STATE: Albuquerque, NM

CONTACT: Hugh Turner
 PHONE: _____
 ZIP CODE: _____

ARCHITECT: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

SURVEYOR: Cartesian Survey
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: Will Plotner
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

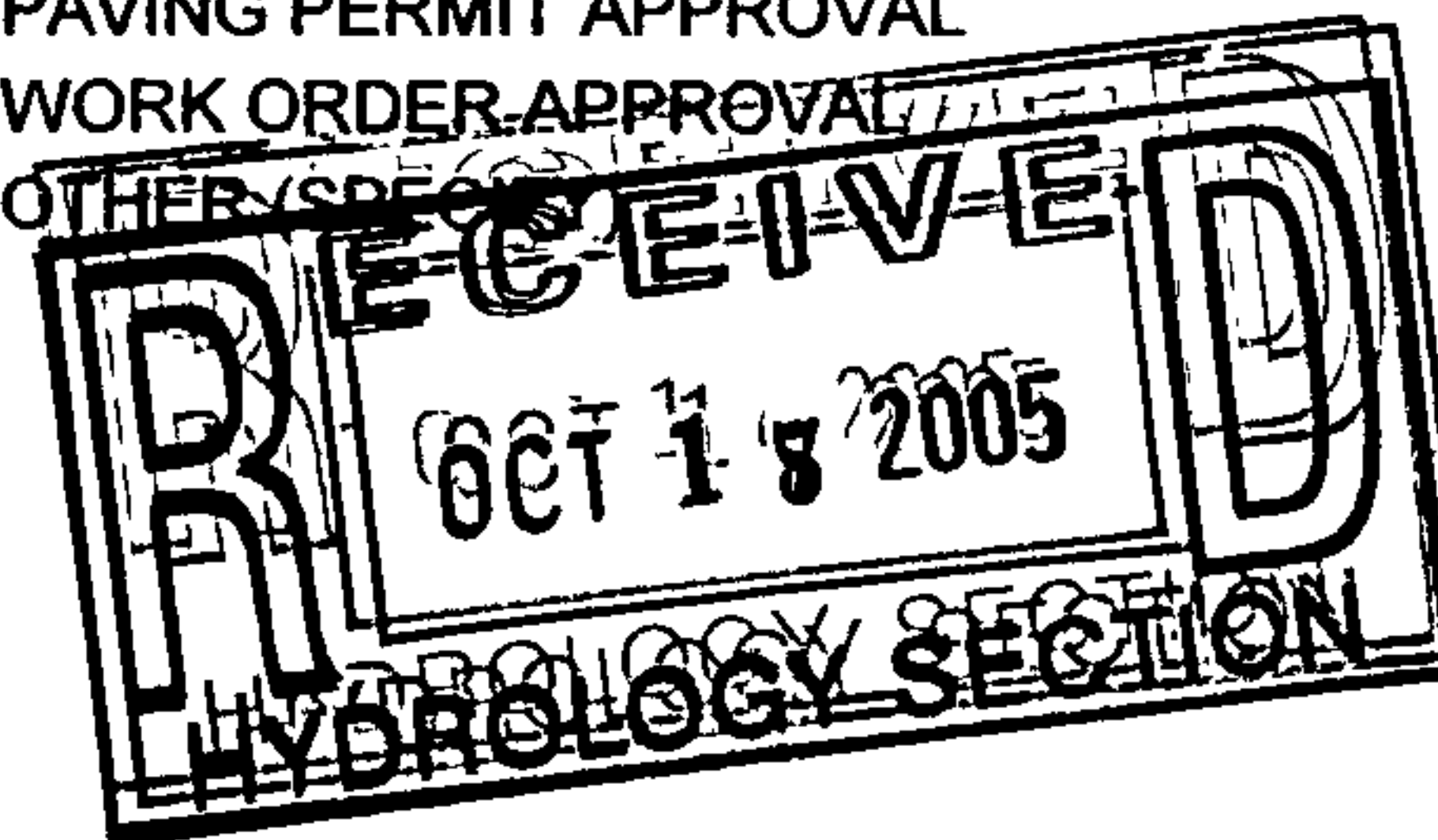
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL(Revised)
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

- ☐ SIA / FINANACIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY): _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: 9/27/2005 10/18/05 BY: David Soule

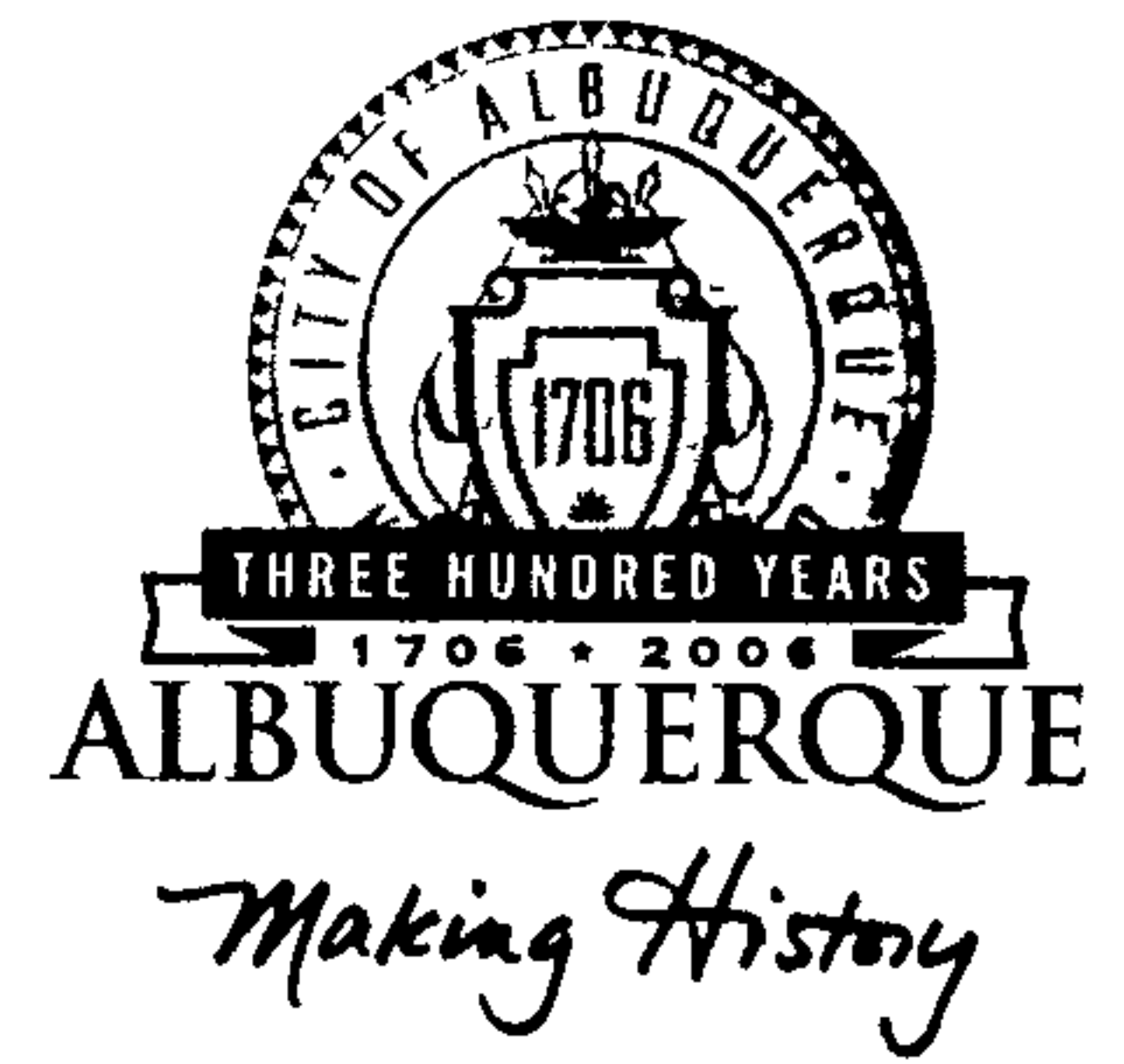
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal.

The particular nature, location and scope of the proposed development defines the degree of drainage detail.

One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plans:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 17, 2005

David Soule, P.E.
Rio Grande Engineering
3500 Comanche Blvd NE
Albuquerque, NM 87107

Re: Indian School Offices, 7300 & 7309 Indian School Rd. NE
Grading and Drainage Plan
Engineer's Stamp dated 9-30-05 (H19-D75)

Dear Mr. Soule,

Based upon the information provided in your submittal received 10-05-05, the above referenced plan cannot be approved for Building Permit or Grading Permit until the following comments are addressed:

1. This property should drain to a new sidewalk culvert instead of over the sidewalk.
2. Add a narrative to the plan and drainage calculations.
3. Vicinity map is H-19 not C-21.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: File

September 30, 2005

Mr. Bradley Bingham
Section Head- Hydrology
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

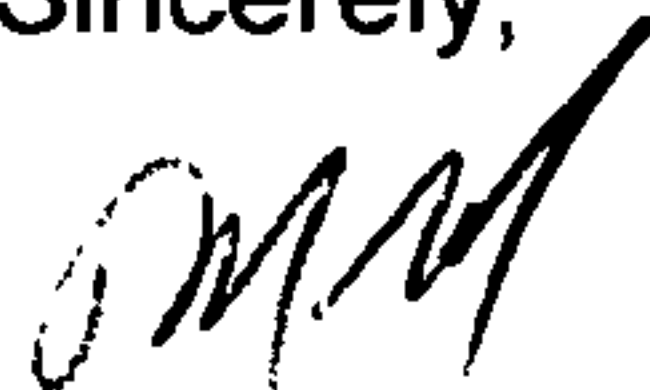
**RE: Grading Plan for
Indian School offices
7300 & 7309 Indian School
Albuquerque, New Mexico**

Dear Mr. Bingham:

The purpose of this letter is to reintroduce the grading plan for the referenced project. This grading plan is for a minor addition to two existing buildings. Since the area is an infill and the addition consisting of approximately 1000 sf, I feel a drainage report is not required. The existing drainage flows to a grassed area on the south side of the building. This area appears to pond and overflow over the top of a raised block wall along Indian School. Based upon the grades of this wall, I feel what flow leaves the site will be insignificant with this addition

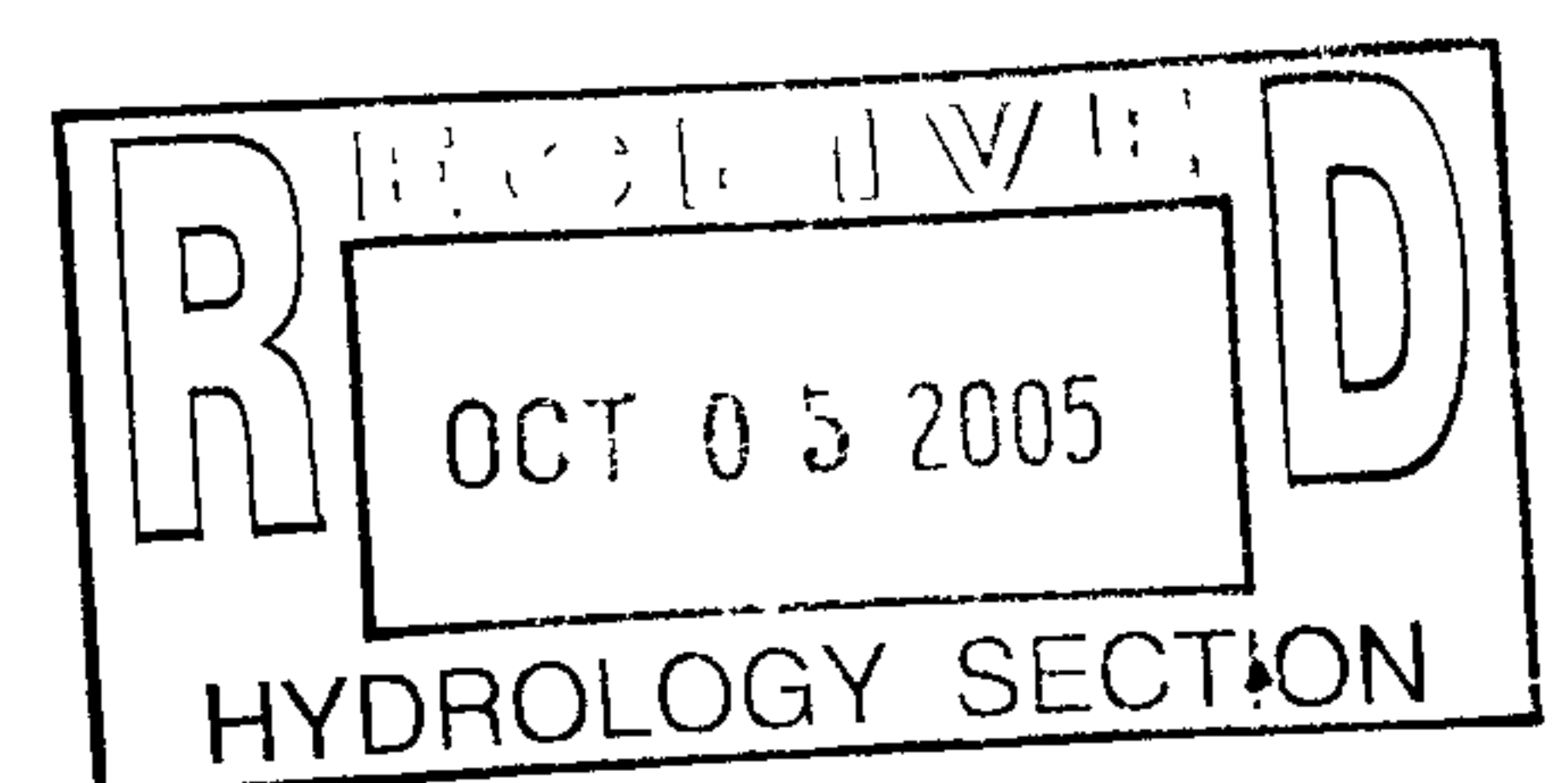
Should you have any questions regarding this submittal, please do not hesitate to call me.

Sincerely,



David Soule, PE

Enclosures



• While complete topography is probably not necessary, a narrative describing what is proposed, ~~to~~ some flow arrows showing ~~where~~ ^{how} this flow gets to whatever street it drains to would be helpful.

• I do need to know what the total runoff from this property is so please provide runoff calculation.

• This ~~may be a chance to correct a drainage problem.~~

• This property should drain to a new SW culvert

• Add narrative to plan, add drainage circles

• H-19

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 01/28/2003rd)

A-19/D75

PROJECT TITLE: Indian School Offices
DRB #: _____ EPC #: _____

ZONE MAP/DRG. FILE #: ~~54~~
WORK ORDER #: _____

LEGAL DESCRIPTION: Tract D-1, Block 2, Zuni Addition
CITY ADDRESS: 7300 & 7309 Indian School

ENGINEERING FIRM: Rio Grande Engineering
ADDRESS: 3500 Comanche Blvd. NE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: David Soule, PE
PHONE: (505)321-9099
ZIP CODE: 87107

OWNER: Bauman, Dow & Leon
ADDRESS: 7309 Indian School
CITY, STATE: Albuquerque, NM

CONTACT: Hugh Turner
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Phil Turner
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

CHECK TYPE OF APPROVAL SOUGHT:

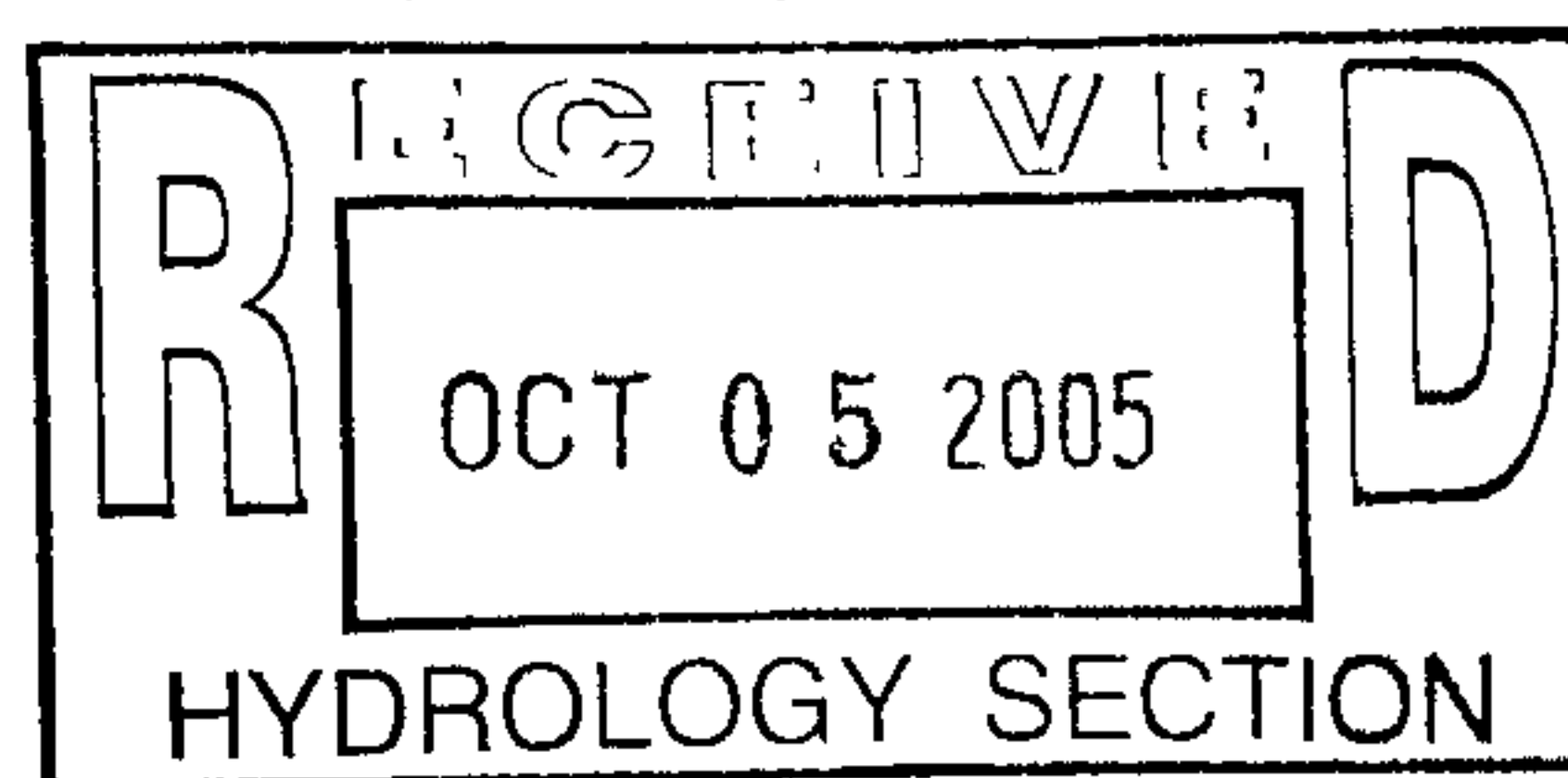
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
☐ DRAINAGE PLAN RESUBMITTAL(Revised)
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
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☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEERS CERTIFICATION (TCL)
☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

☐ SIA / FINANACIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

\$100.00 fee paid

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED



DATE SUBMITTED: 9/27/2005 BY: David Soule

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