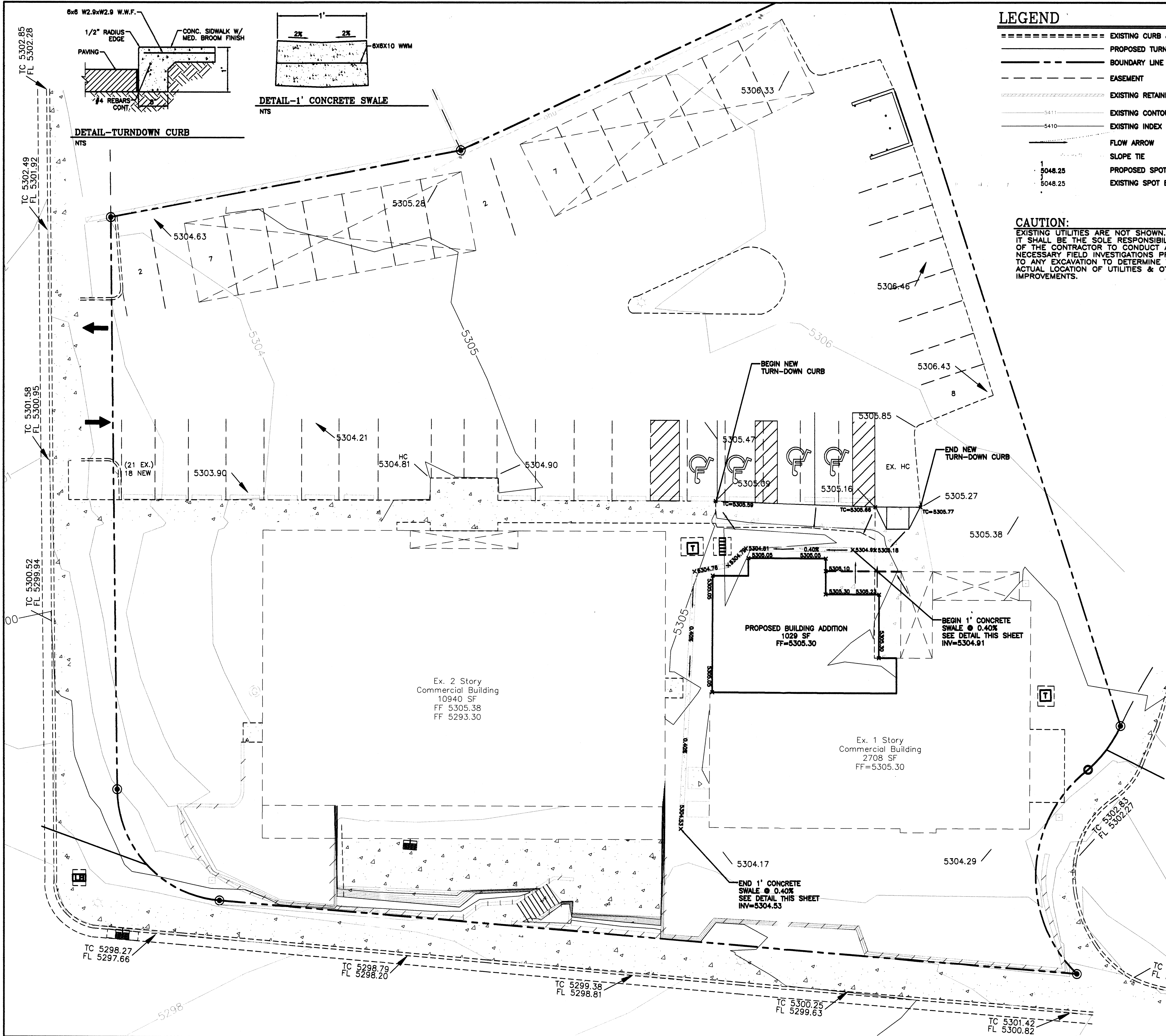


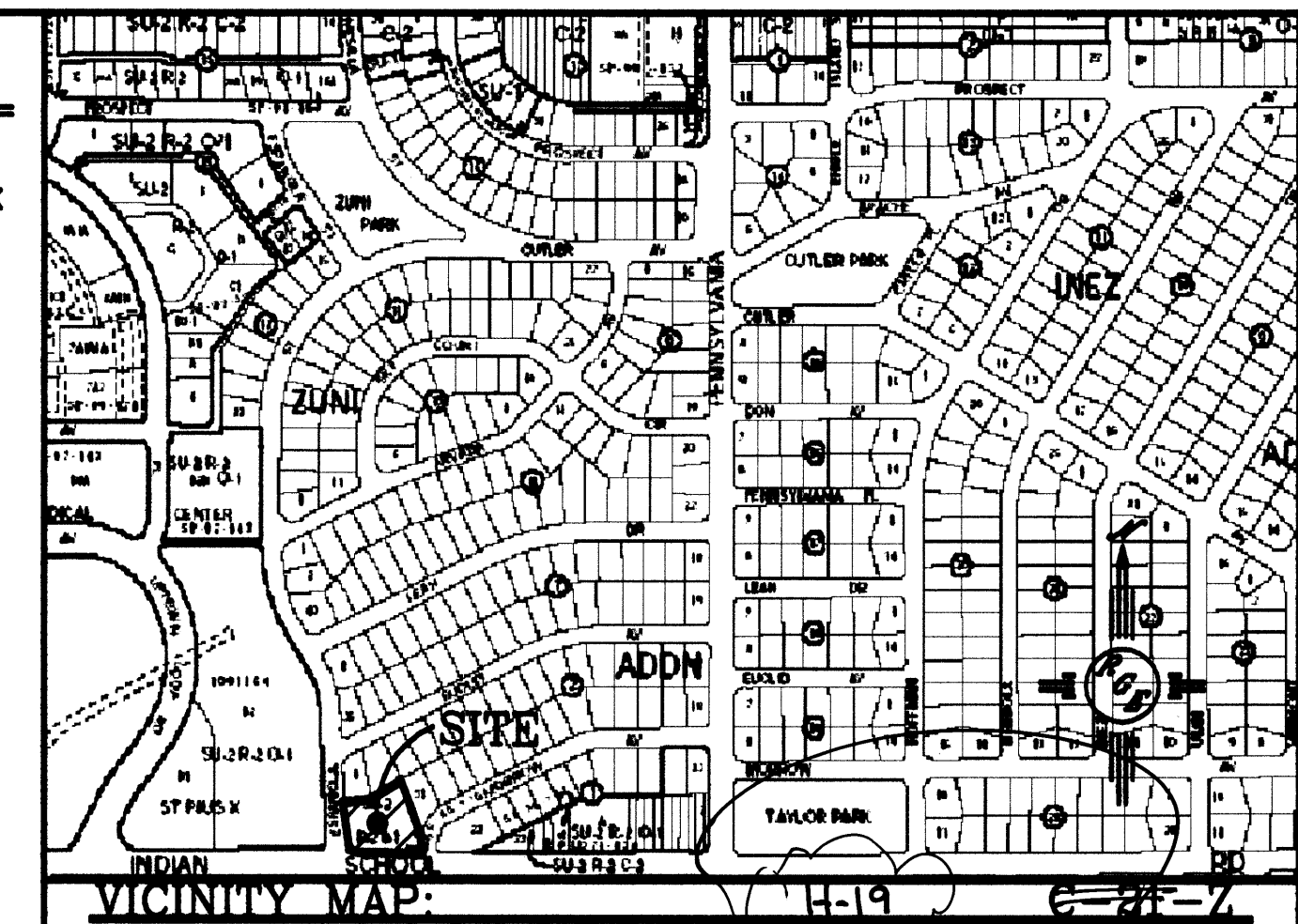


LEGEND

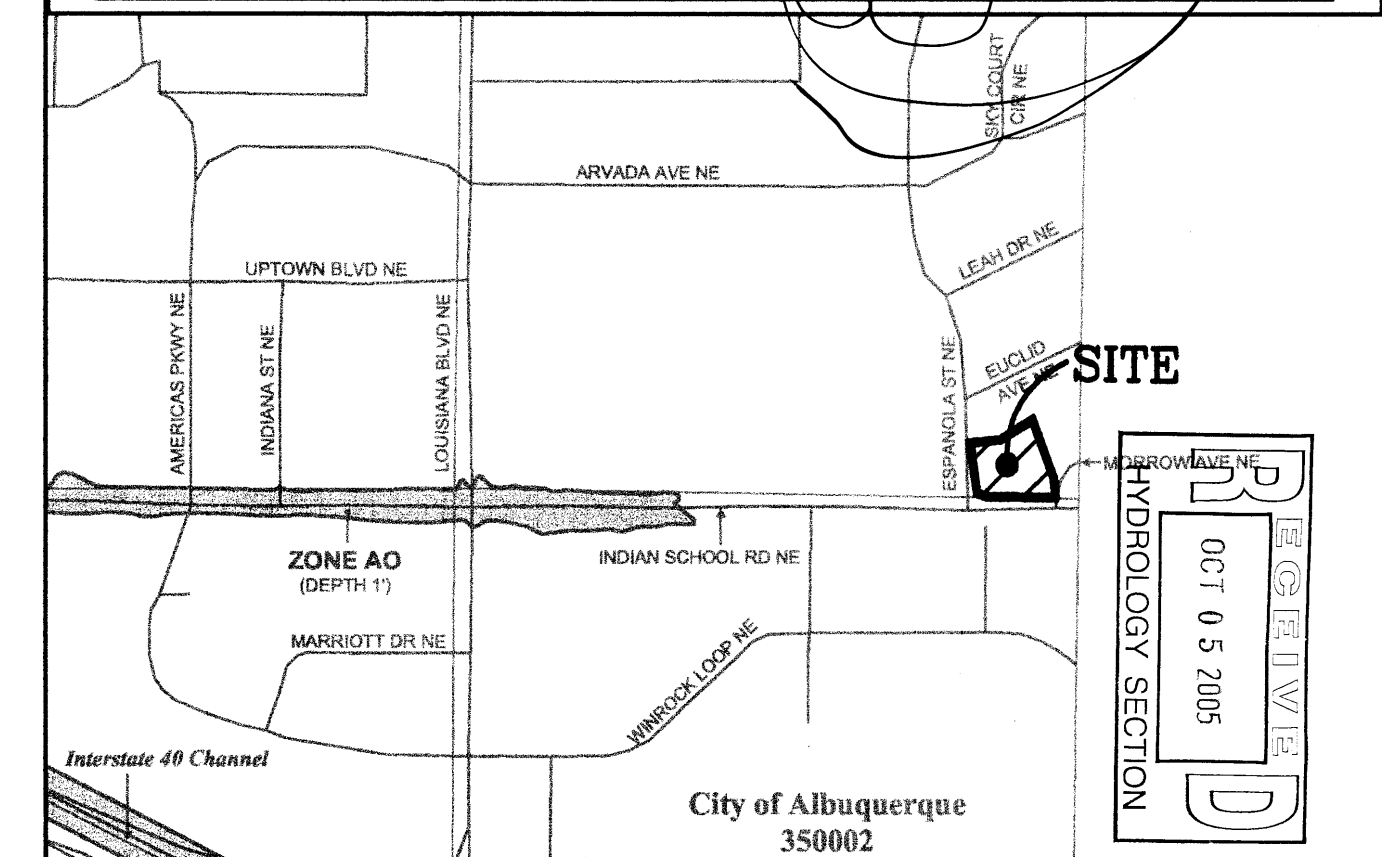
- EXISTING CURB & GUTTER
- PROPOSED TURN DOWN SIDEWALK
- BOUNDARY LINE
- EASEMENT
- EXISTING RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



VICINITY MAP:



FIRM MAP:

35001C0352E

LEGAL DESCRIPTION:

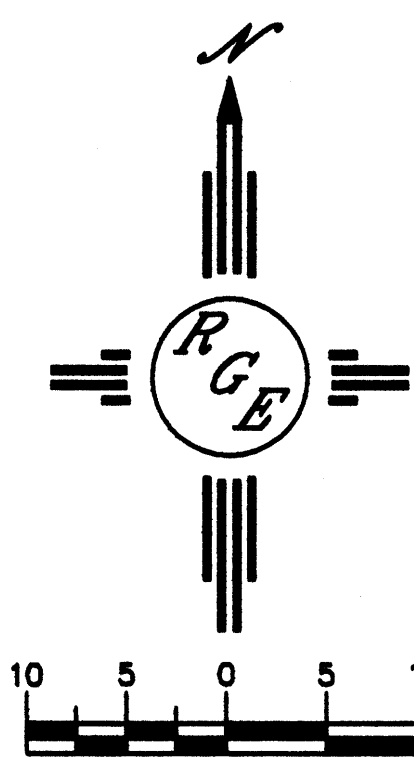
TRACT LETTERED "D-1" IN BLOCK NUMBERED TWO (2) OF THE PLAT OF ZUNI ADDITION, ALBUQUERQUE, NEW MEXICO

NOTES:

- ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

EROSION CONTROL NOTES:

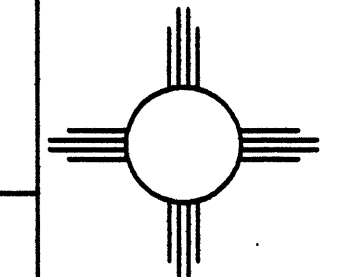
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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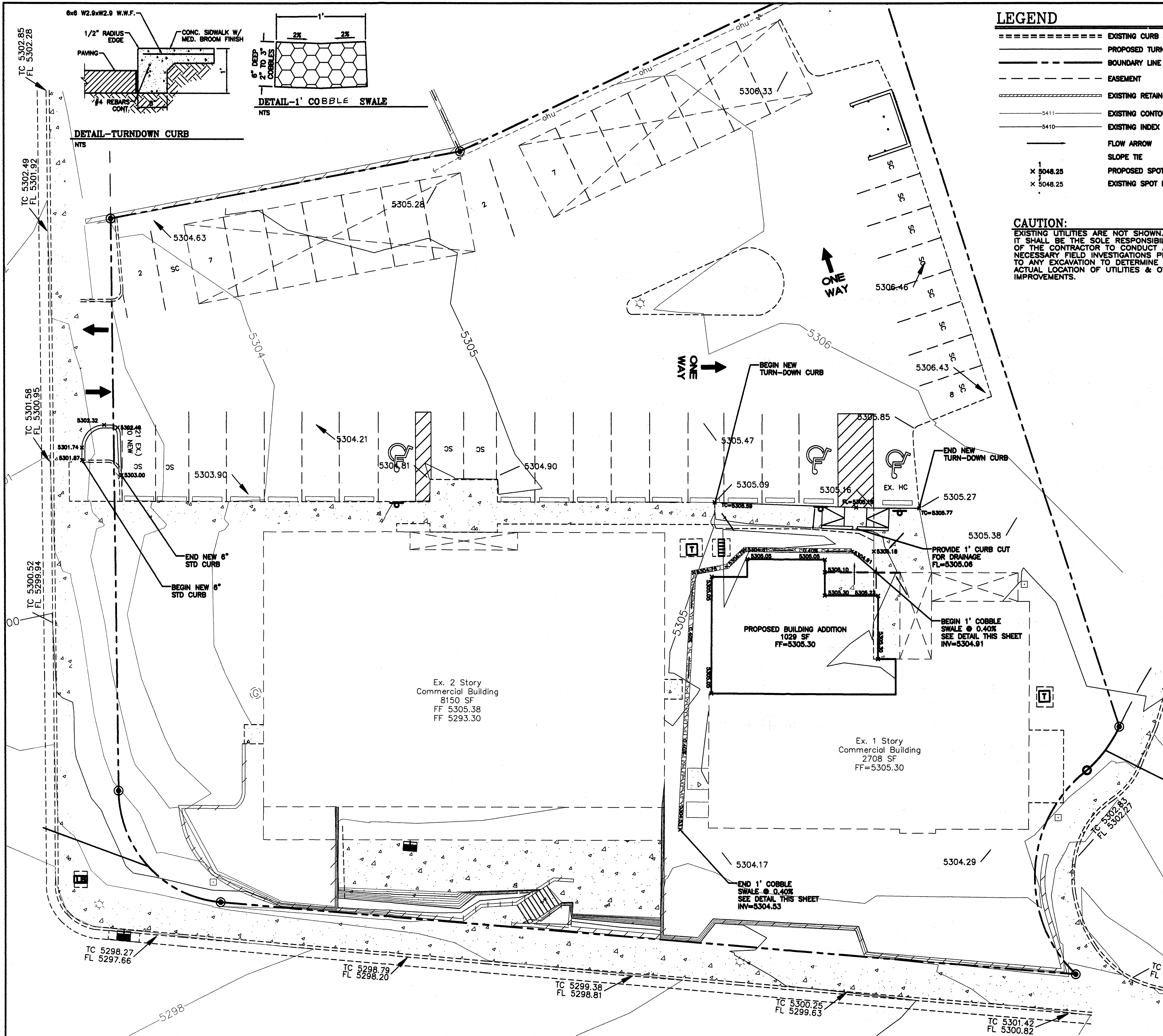


SCALE: 1"=10'

ROUGH GRADING APPROVAL

DATE

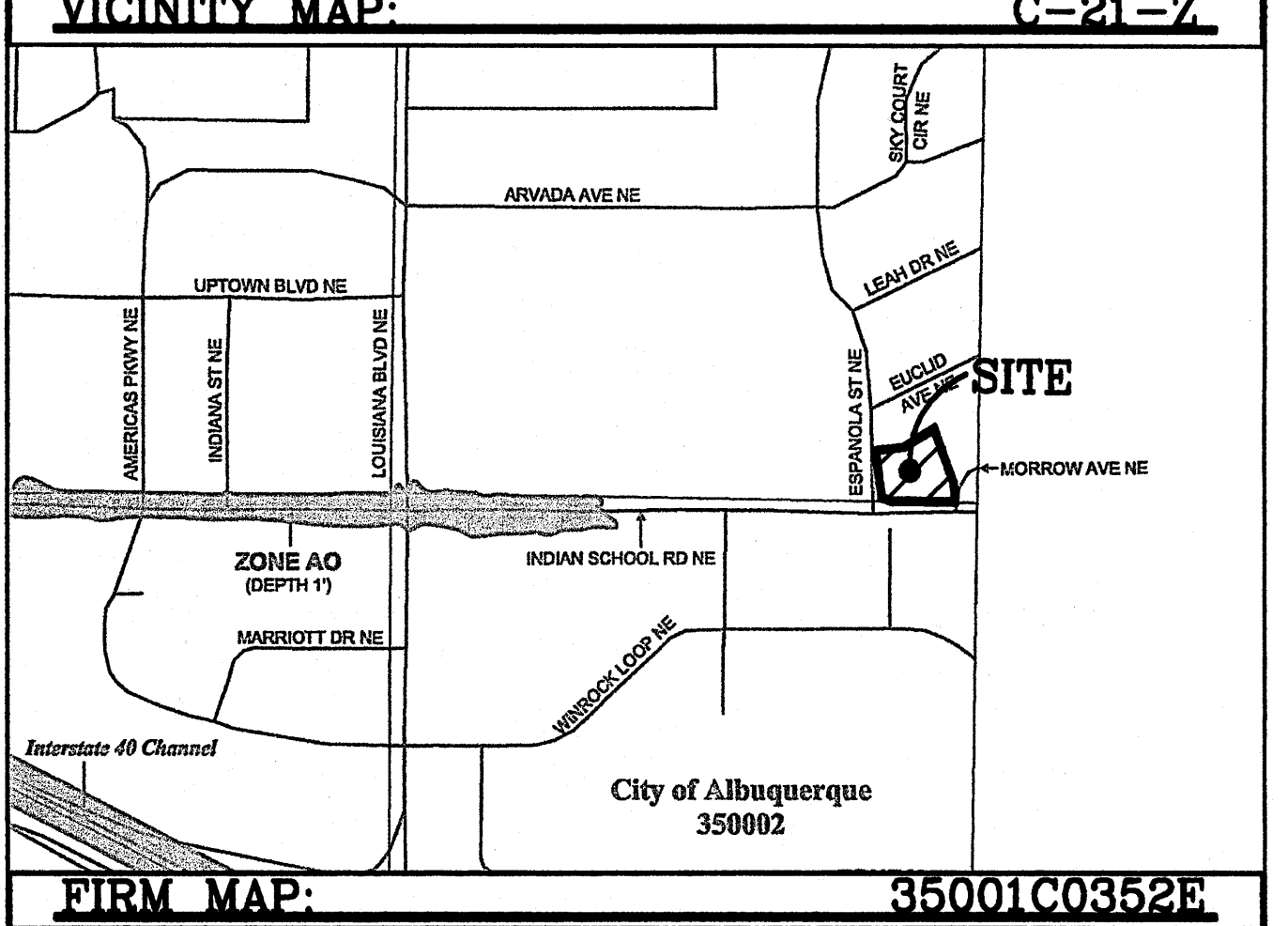
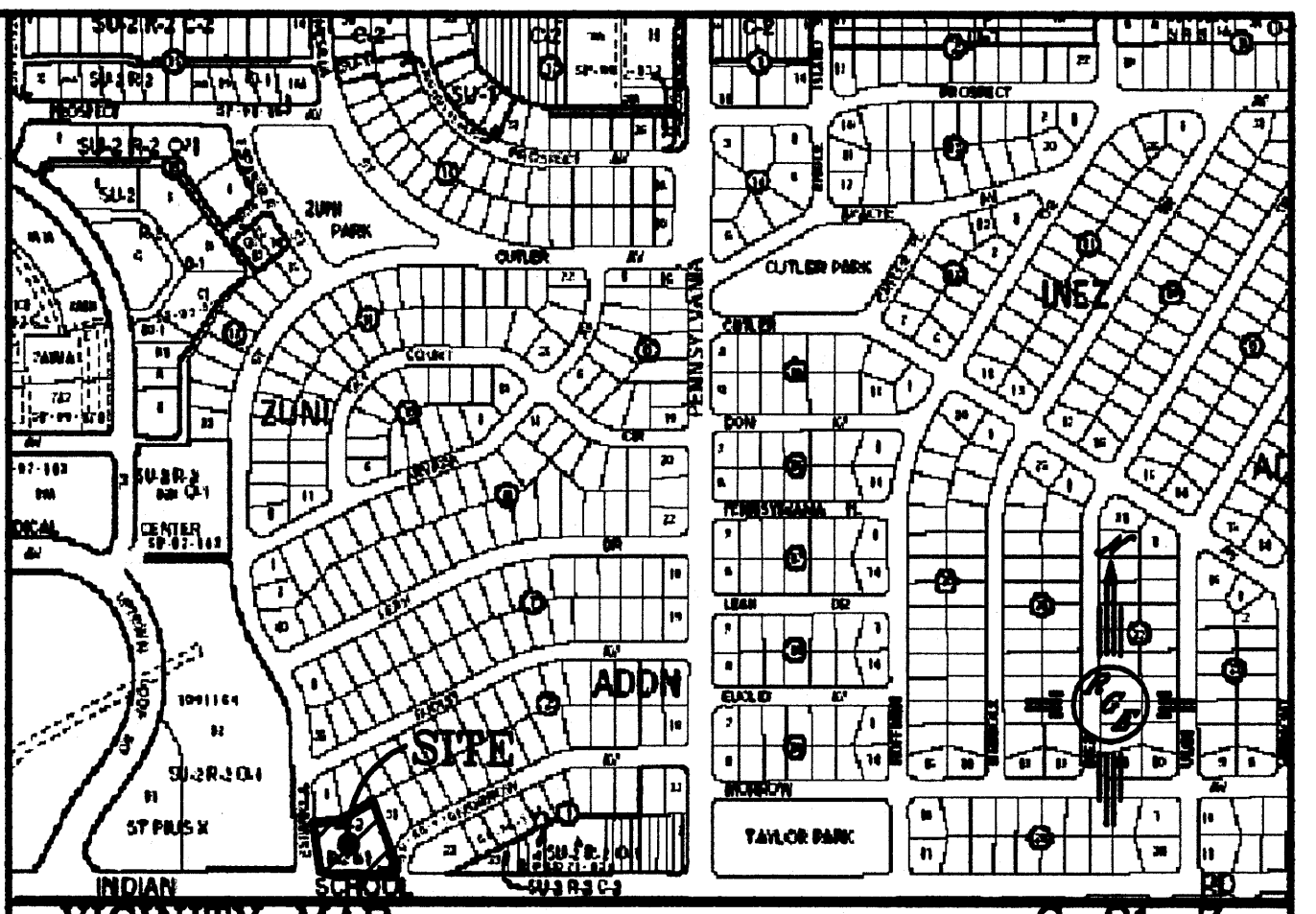
 DAVID SOULE P.E. #14522	TRACT D-1 BUILDING EXPANSION	DRAWN BY WCUJ
	GRADING AND DRAINAGE PLAN	DATE 9-26-05
 Rio Grande Engineering 1800 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0889	SHEET # —	JOB # 2534



LEGEND

- ===== EXISTING CURB & GUTTER
- PROPOSED TURN DOWN SIDEWALK
- BOUNDARY LINE
- EASEMENT
- ===== EXISTING RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

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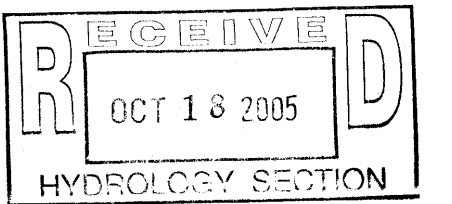
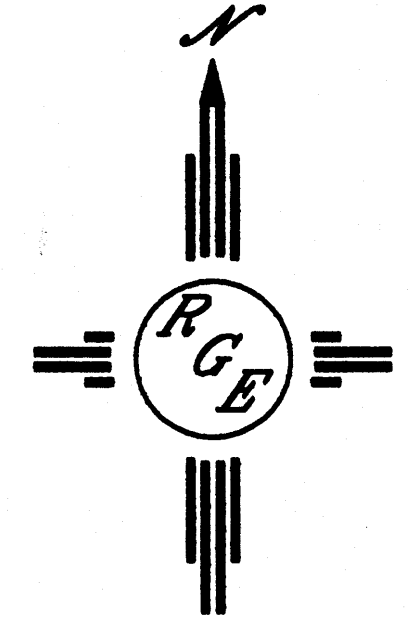
LEGAL DESCRIPTION:

TRACT LETTERED "D-1" IN BLOCK
NUMBERED TWO (2) OF THE PLAT OF ZUNI ADDITION, ALBUQUERQUE, NEW MEXICO

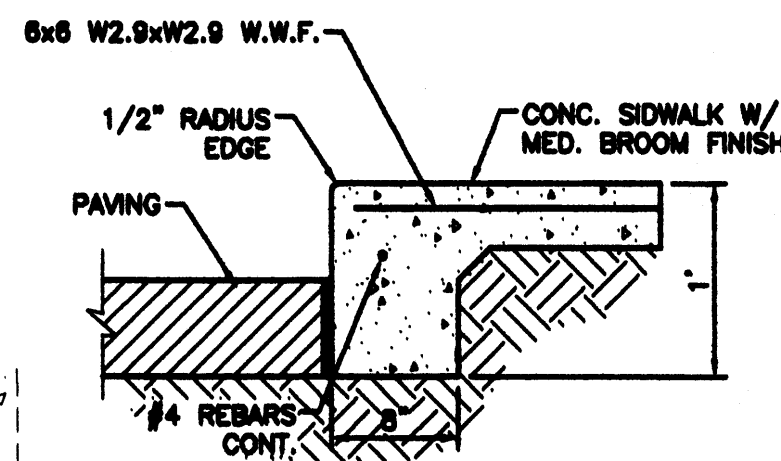
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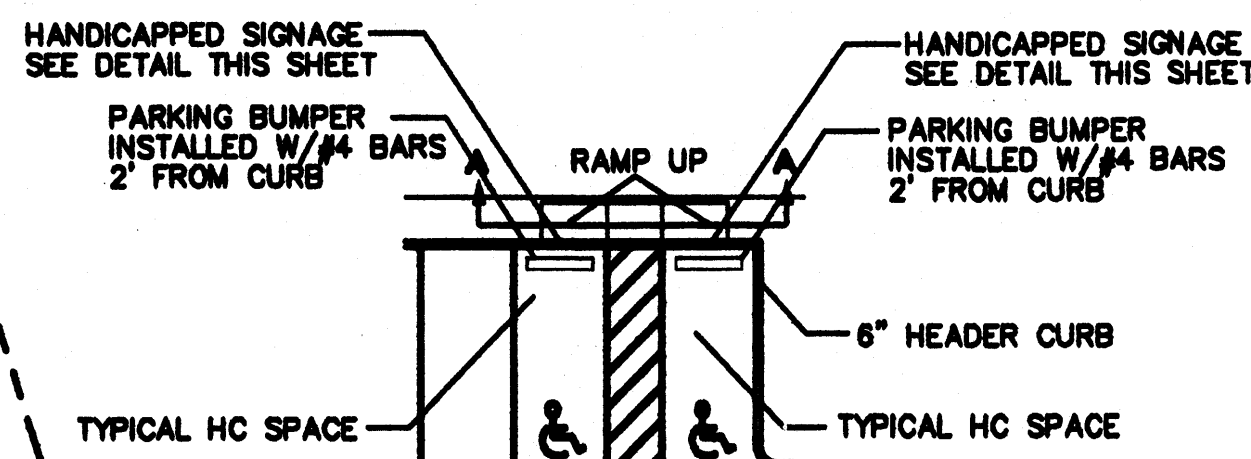


ROUGH GRADING APPROVAL		DATE
 DAVID SOULE P.E. #14522	TRACT D-1 BUILDING EXPANSION	
	GRADING AND DRAINAGE PLAN	
	 Rio Grande Engineering 1808 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87108 (505) 872-0888	
	SHEET # — JOB # 2534	



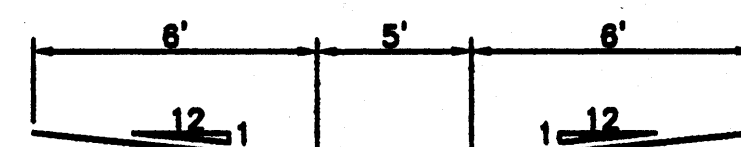
DETAIL-TURNDOWN CURB

NTS



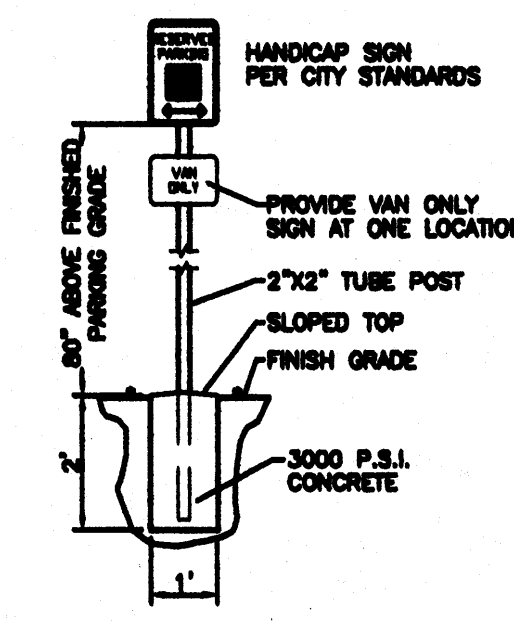
HC PARKING DETAIL

NTS



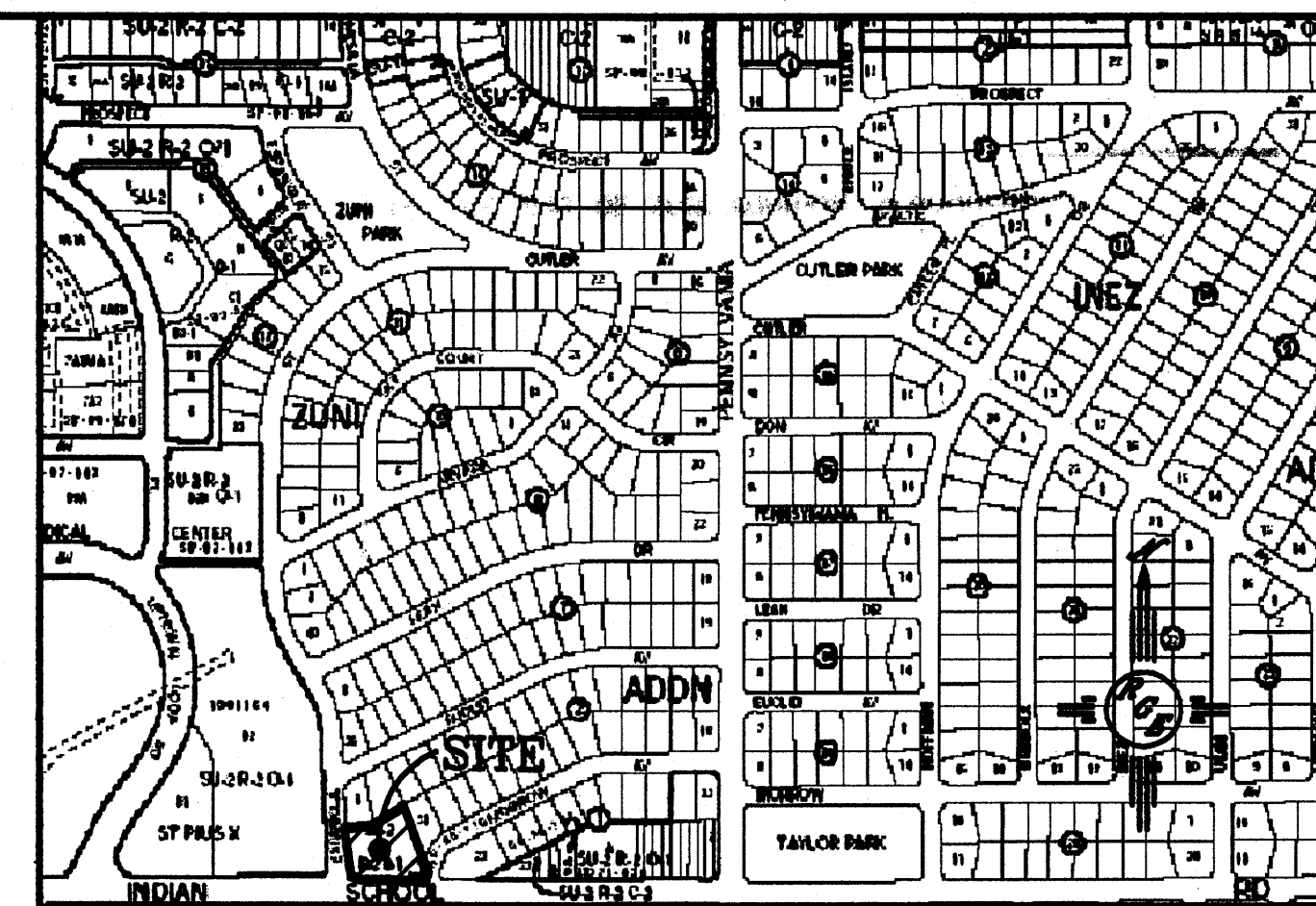
HC PARKING DETAIL SECTION A-A

NTS



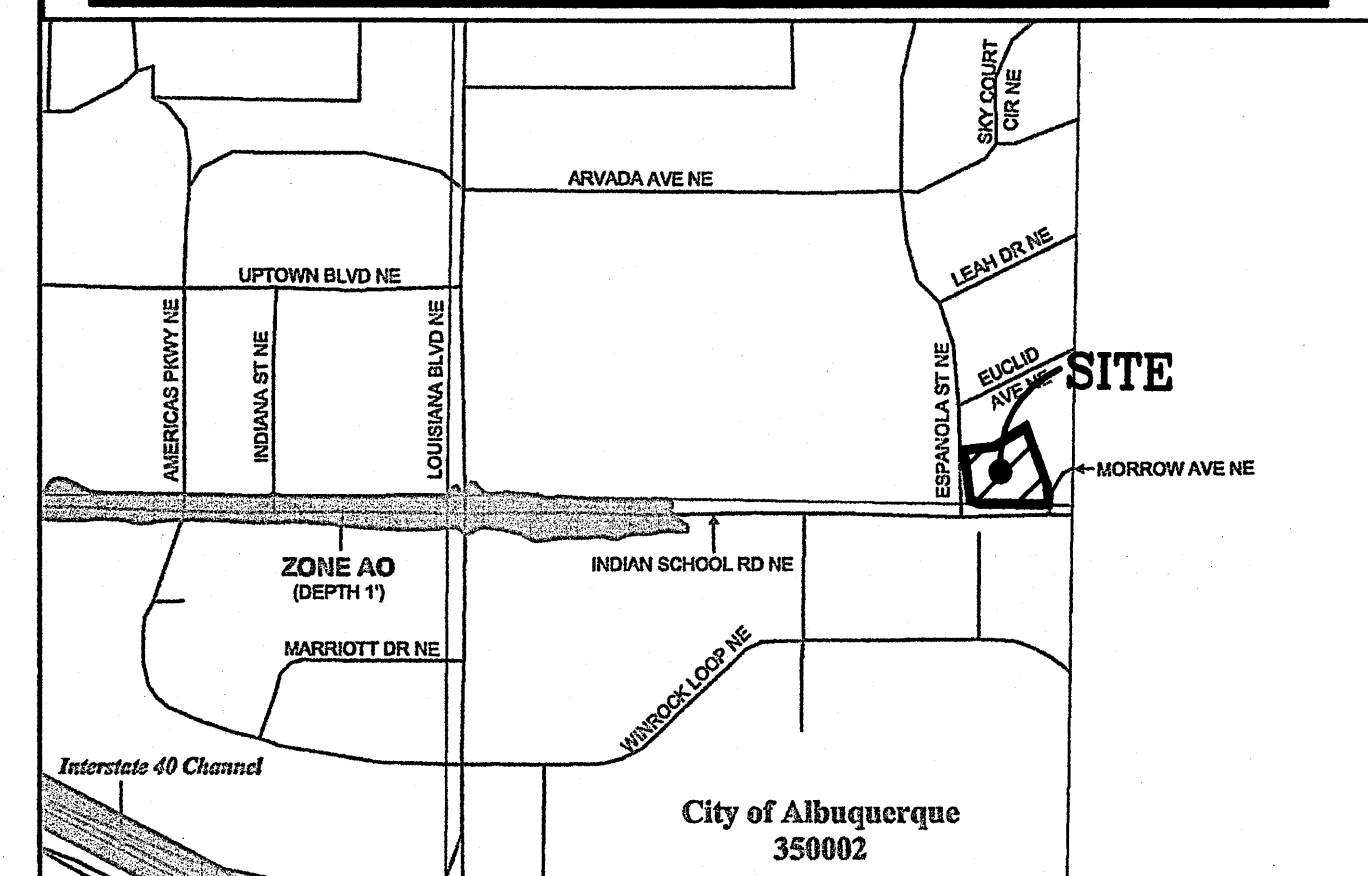
HANDICAP SIGN DETAIL

NTS



VICINITY MAP

J-19-Z



FIRM MAP

35001C0352E

LEGAL DESCRIPTION:

TRACT LETTERED "D-1" IN BLOCK
NUMBERED TWO (2) OF THE PLAT OF ZUNI ADDITION, ALBUQUERQUE, NEW MEXICO

NOTES:

1. ALL INTERIOR SF AND DIVISION OF FLOORS PROVIDED BY OWNER.

SITE DATA

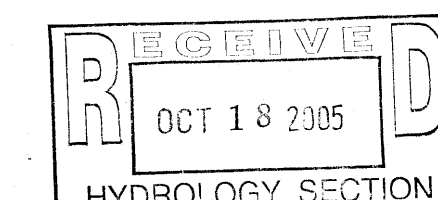
LOT SIZE:	8696 AC±
EXISTING ZONING:	SU-2/R-2/O-1
PROPOSED ZONING:	C-1 (SC)
PROPOSED USE:	OFFICE
EXISTING TOTAL BUILDING SF:	10858 SF
BUILDING 1 SF:	8150 SF
1ST FLOOR:	2680 SF (1 SPACE PER 200 SF)
LOWER LEVEL:	5470 SF (1 SPACE PER 300 SF)
BUILDING 2 SF:	2708 SF (1 SPACE PER 200 SF)
PROPOSED BUILDING SF:	1029 SF (1 SPACE PER 200 SF)
PROPOSED TOTAL BUILDING SF:	11887 SF
PARKING PROVIDED:	46 SPACES (AFTER HC RESTRIPE)
PARKING REQUIRED:	46 SPACES (W/10% BUS CREDIT)
HC PARKING PROVIDED:	3 SPACES
HC PARKING REQUIRED:	3 SPACES

LEGEND

=====	EXISTING CURB & GUTTER
-----	PROPOSED TURN DOWN CURB
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	CENTERLINE
-----	RIGHT-OF-WAY

TRAFFIC CIRCULATION LAYOUT
APPROVED

pgj
Signed Date 10/25/05



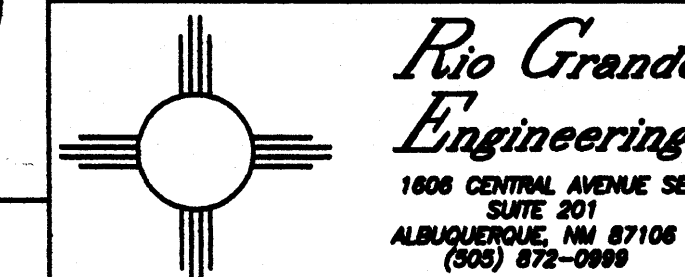
ENGINEER'S
SEAL



DAVID SOULE
P.E. #14522

TRACT D-1 BUILDING
EXPANSION

TRAFFIC CONTROL
LAYOUT



DRAWN
BY WCVJ

DATE

10-07-05

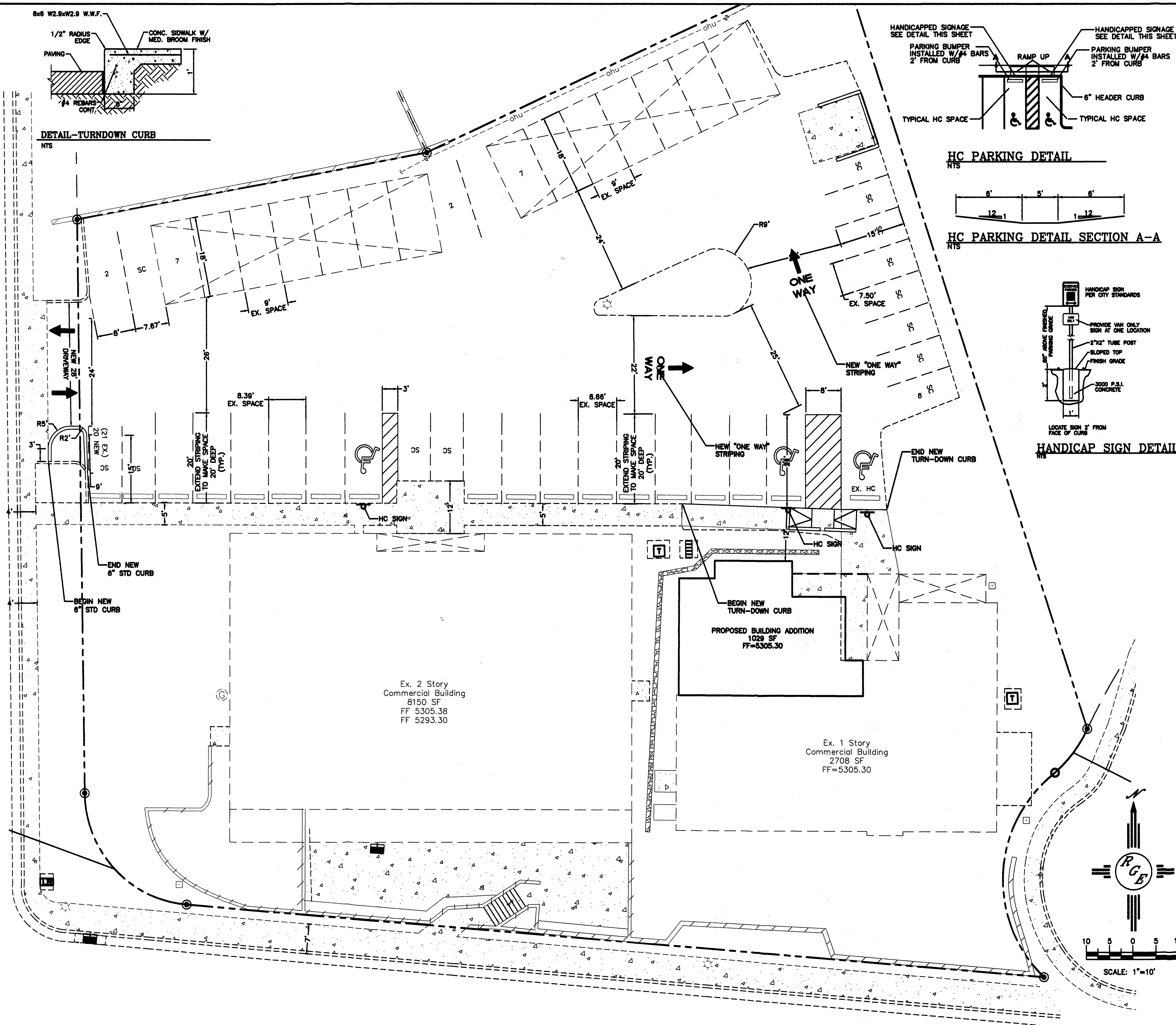
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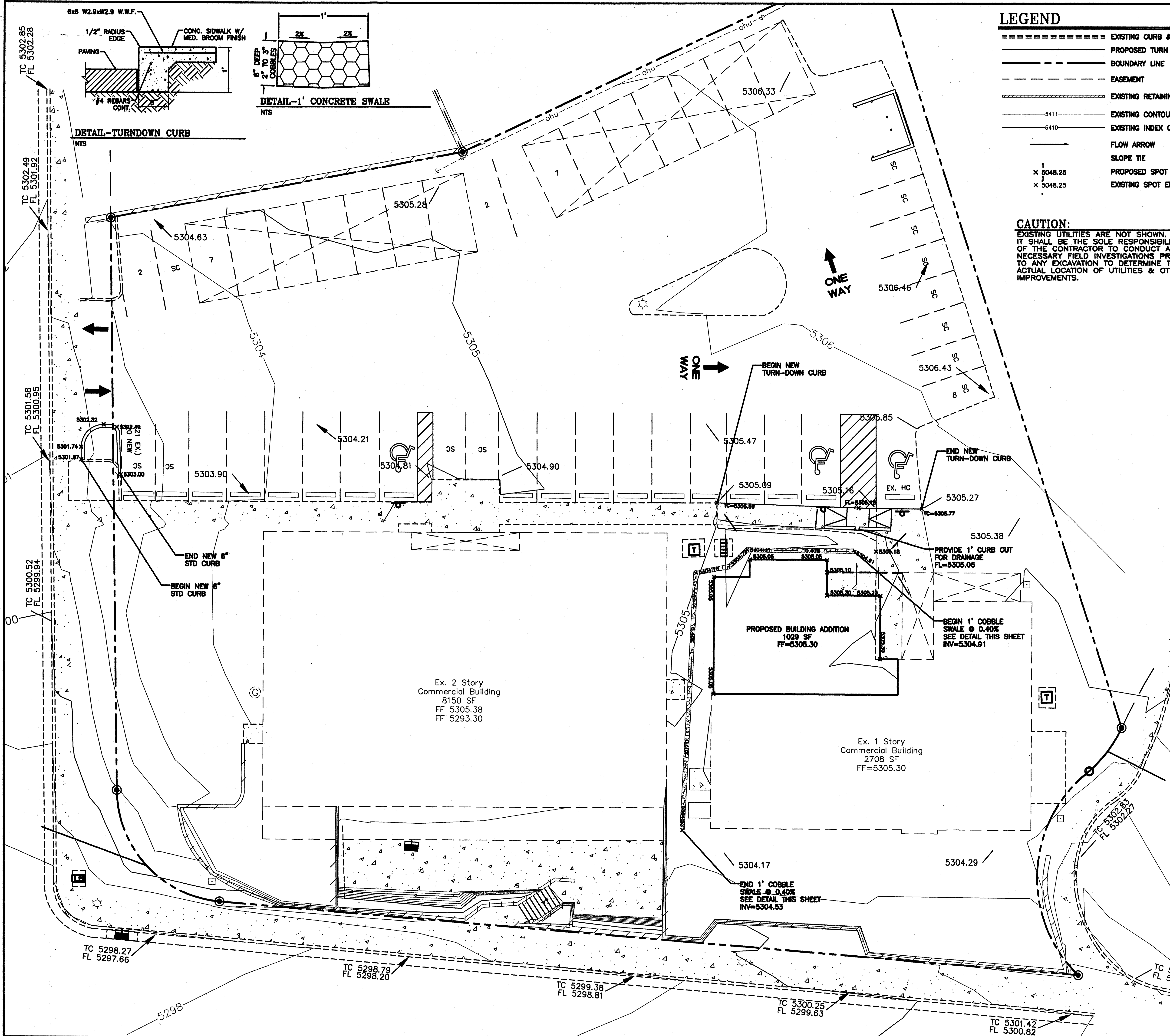
SHEET #

1

JOB #

2534

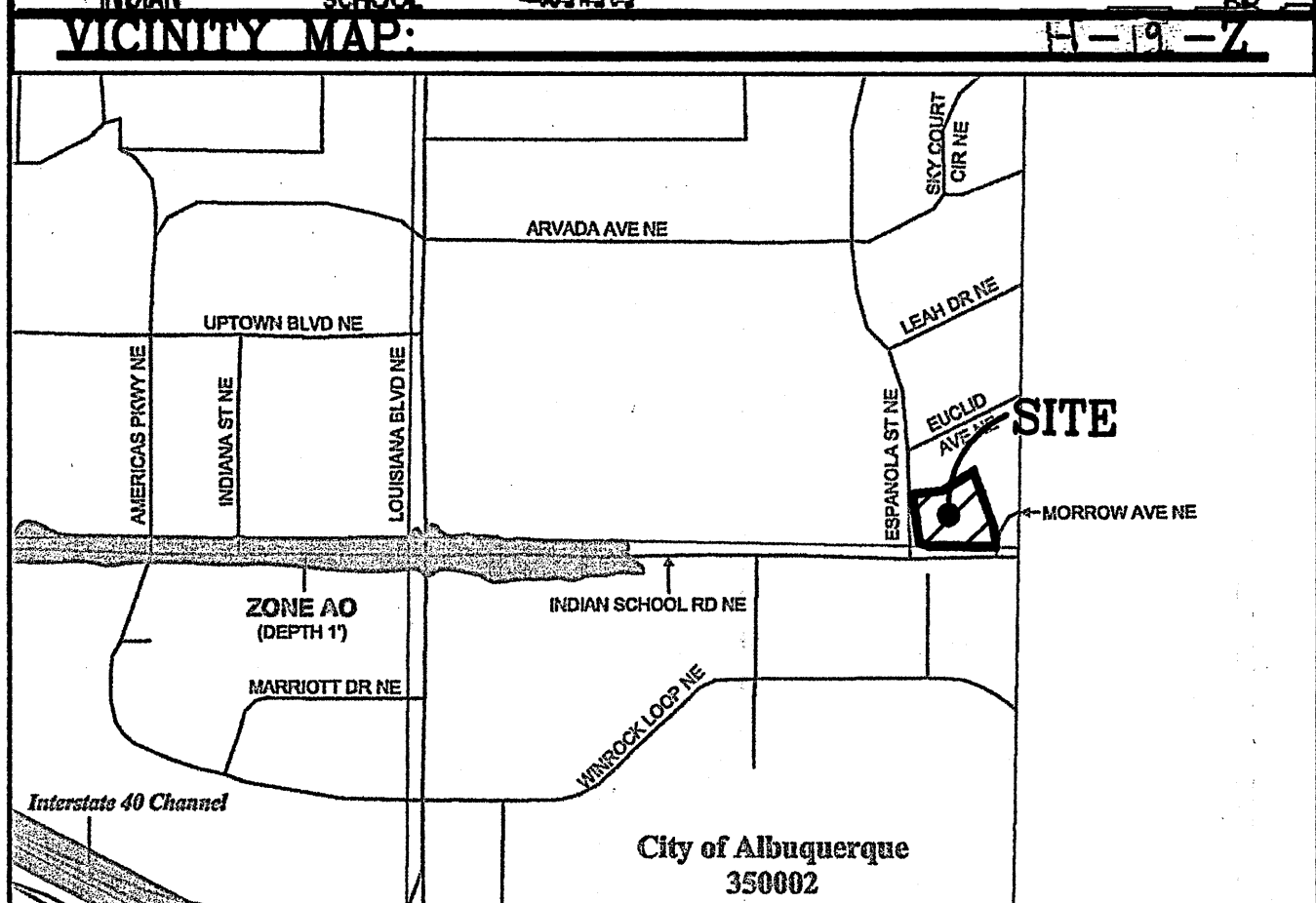
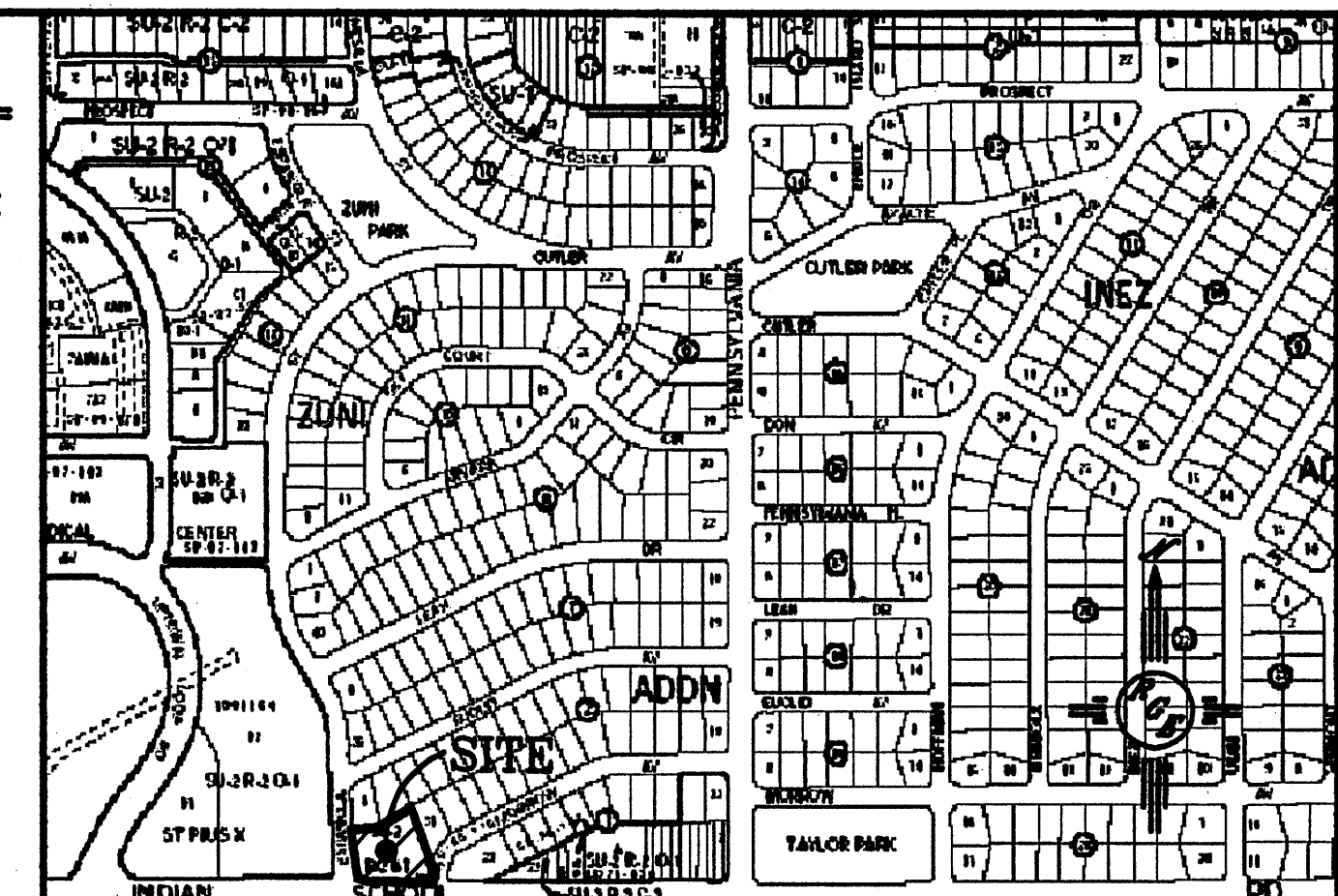




LEGEND

- EXISTING CURB & GUTTER
- PROPOSED TURN DOWN SIDEWALK
- BOUNDARY LINE
- EASEMENT
- EXISTING RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- FLOW ARROW
- SLOPE TIE
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION

CAUTION:
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TO ANY EXCAVATION TO DETERMINE THE
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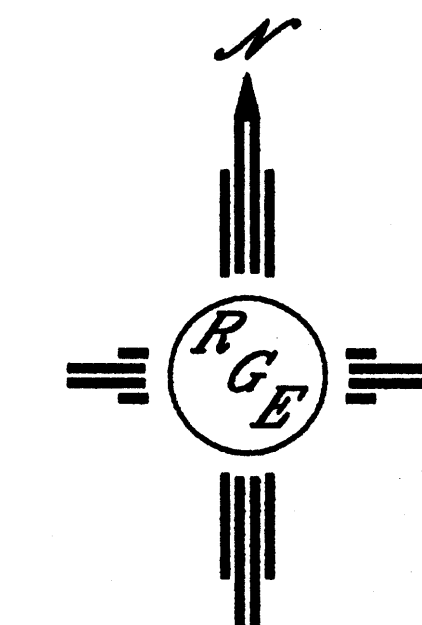


FIRM MAP: 35001C0352E

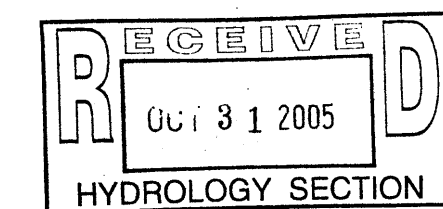
LEGAL DESCRIPTION:
TRACT LETTERED "D-1" IN BLOCK
NUMBERED TWO (2) OF THE PLAT OF ZUNI ADDITION, ALBUQUERQUE, NEW MEXICO

NOTES:
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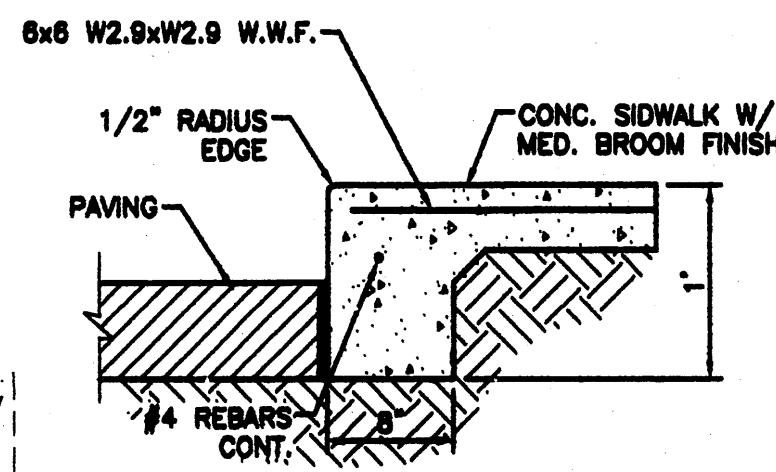


SCALE: 1"=10'

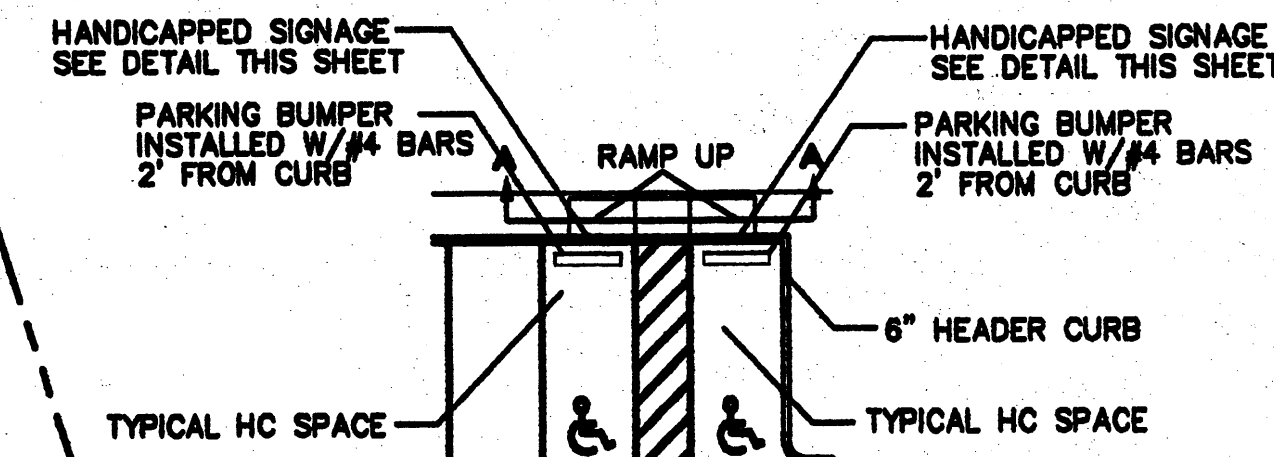


ROUGH GRADING APPROVAL DATE

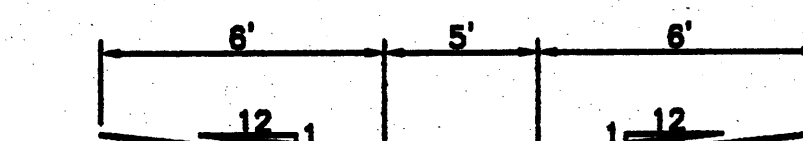
ENGINEER'S SEAL DAVID SOULE NEW MEXICO 14582 10/31/2005 REGISTERED PROFESSIONAL ENGINEER DAVID SOULE P.E. #14522	TRACT D-1 BUILDING EXPANSION GRADING AND DRAINAGE PLAN <i>Rio Grande Engineering</i> 1806 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 672-0669	DRAWN BY WCU DATE 10-18-05 2534-GRB-9-25-05X SHEET # — JOB # 2534
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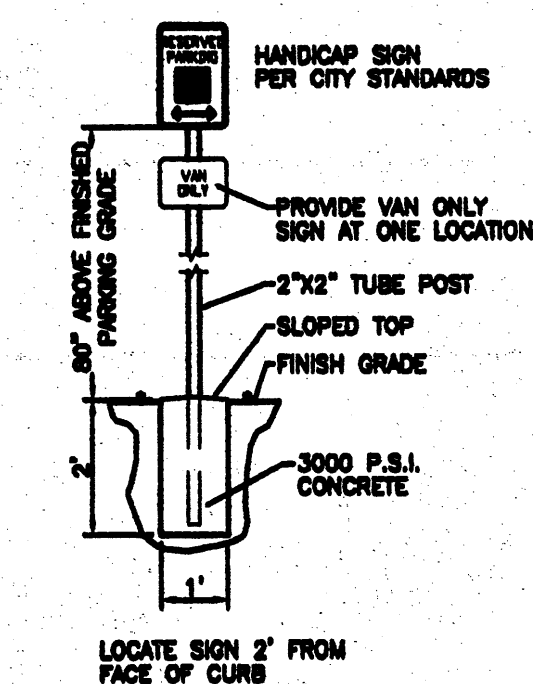
DETAIL-TURNDOWN CURB
NTS



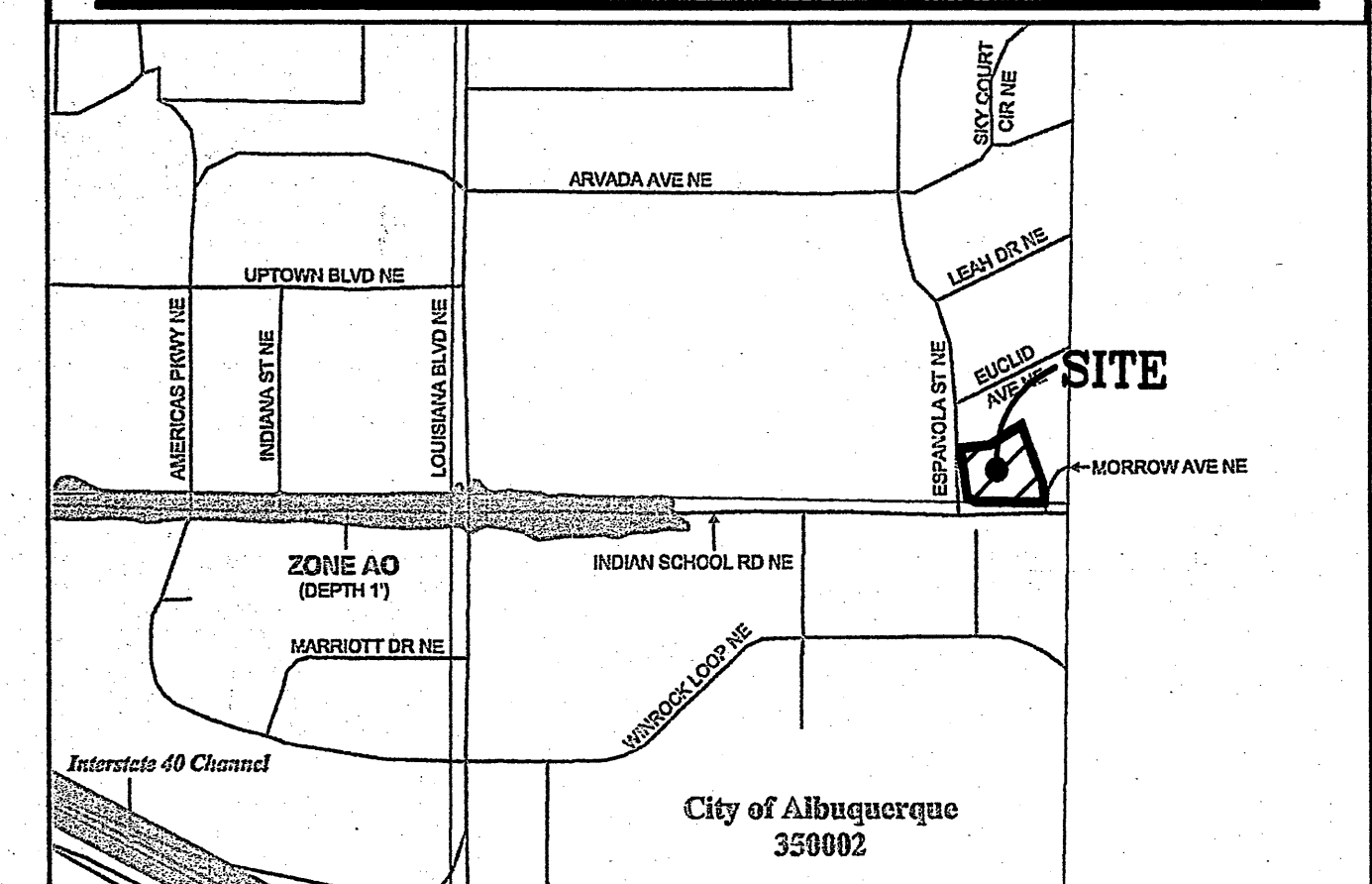
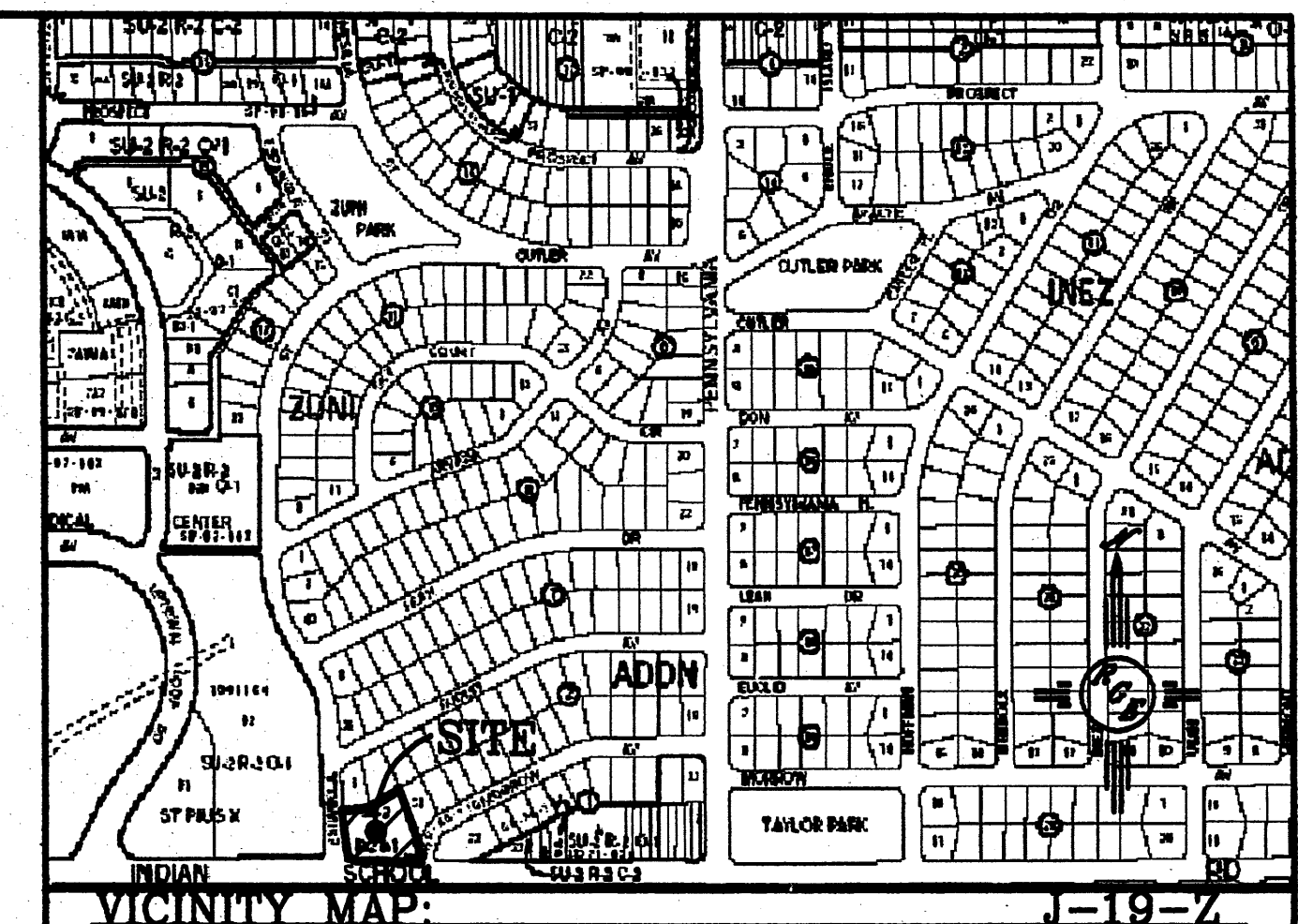
HC PARKING DETAIL
NTS



HC PARKING DETAIL SECTION A-A
NTS



HANDICAP SIGN DETAIL
NTS



FIRM MAP: 35001C0352E

LEGAL DESCRIPTION:
TRACT LETTERED "D-1" IN BLOCK
NUMBERED TWO (2) OF THE PLAT OF ZUNI ADDITION, ALBUQUERQUE, NEW MEXICO

NOTES:
1. ALL INTERIOR SF AND DIMENSION OF FLOOR: PROVIDED BY OWNER.

SITE DATA

LOT SIZE:	8696 AC±
EXISTING ZONING:	SU-2/R-2/O-1
PROPOSED ZONING:	C-1 (SC)
PROPOSED USE:	OFFICE
EXISTING TOTAL BUILDING SF:	10858 SF
BUILDING 1 SF:	8150 SF
1ST FLOOR:	2680 SF (1 SPACE PER 200 SF)
LOWER LEVEL:	5470 SF (1 SPACE PER 300 SF)
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PROPOSED BUILDING SF:	1029 SF (1 SPACE PER 200 SF)
PROPOSED TOTAL BUILDING SF:	11887 SF
PARKING PROVIDED:	46 SPACES (AFTER HC RESTRIPE)
PARKING REQUIRED:	46 SPACES (W/10% BUS CREDIT)
HC PARKING PROVIDED:	3 SPACES
HC PARKING REQUIRED:	3 SPACES

LEGEND

=====	EXISTING CURB & GUTTER
-----	PROPOSED TURN DOWN CURB
-----	BOUNDARY LINE
-----	EXISTING BOUNDARY LINE
-----	CENTERLINE
-----	RIGHT-OF-WAY

TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 10/25/05

RECEIVED
APR 12 2006
HYDROLOGY SECTION

RECEIVED
OCT 18 2005
HYDROLOGY SECTION

ENGINEER'S SEAL DAVID SOULE P.E. #14522	TRACT D-1 BUILDING EXPANSION	DRAWN BY: WCMJ DATE: 10-07-05
	TRAFFIC CONTROL LAYOUT	2534-TCL-8-25-05X SHEET #
 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999		JOB # 2534

TRAFFIC CIRCULATION LAYOUT WITH SURVEY WORK BY OTHER
12/12/01
TCL CERTIFICATION

I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HERBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-18-05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY WILL PLOTNER, NMPS 14271, OF THE FIRM CARTESIAN SURVEY. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/10/06 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OF OCCUPANCY.

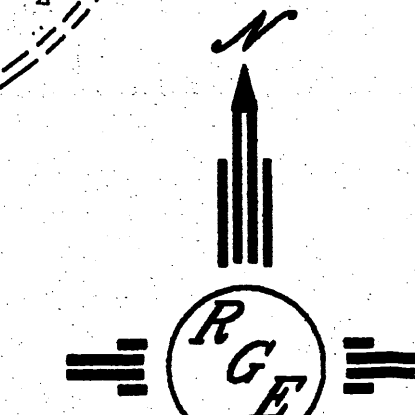
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF THE ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DAVID SOULE, NMPE
14522
LICENSED PROFESSIONAL ENGINEER
4/12/06

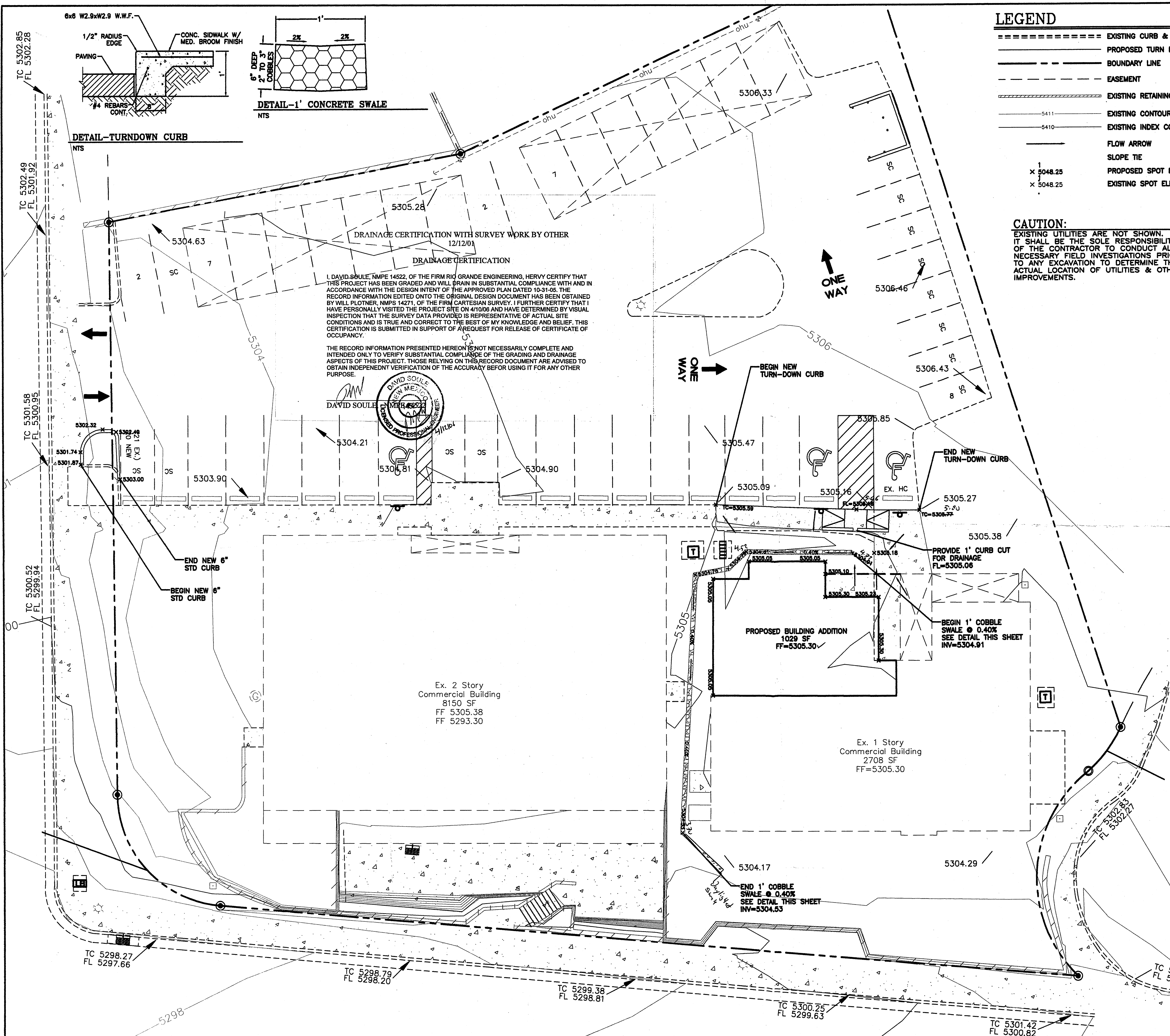
Commercial Building
8150 SF
FF 5305.38
FF 5293.30

PROPOSED BUILDING ADDITION
1029 SF
FF=5305.30

Ex. 1 Story
Commercial Building
2708 SF
FF=5305.30

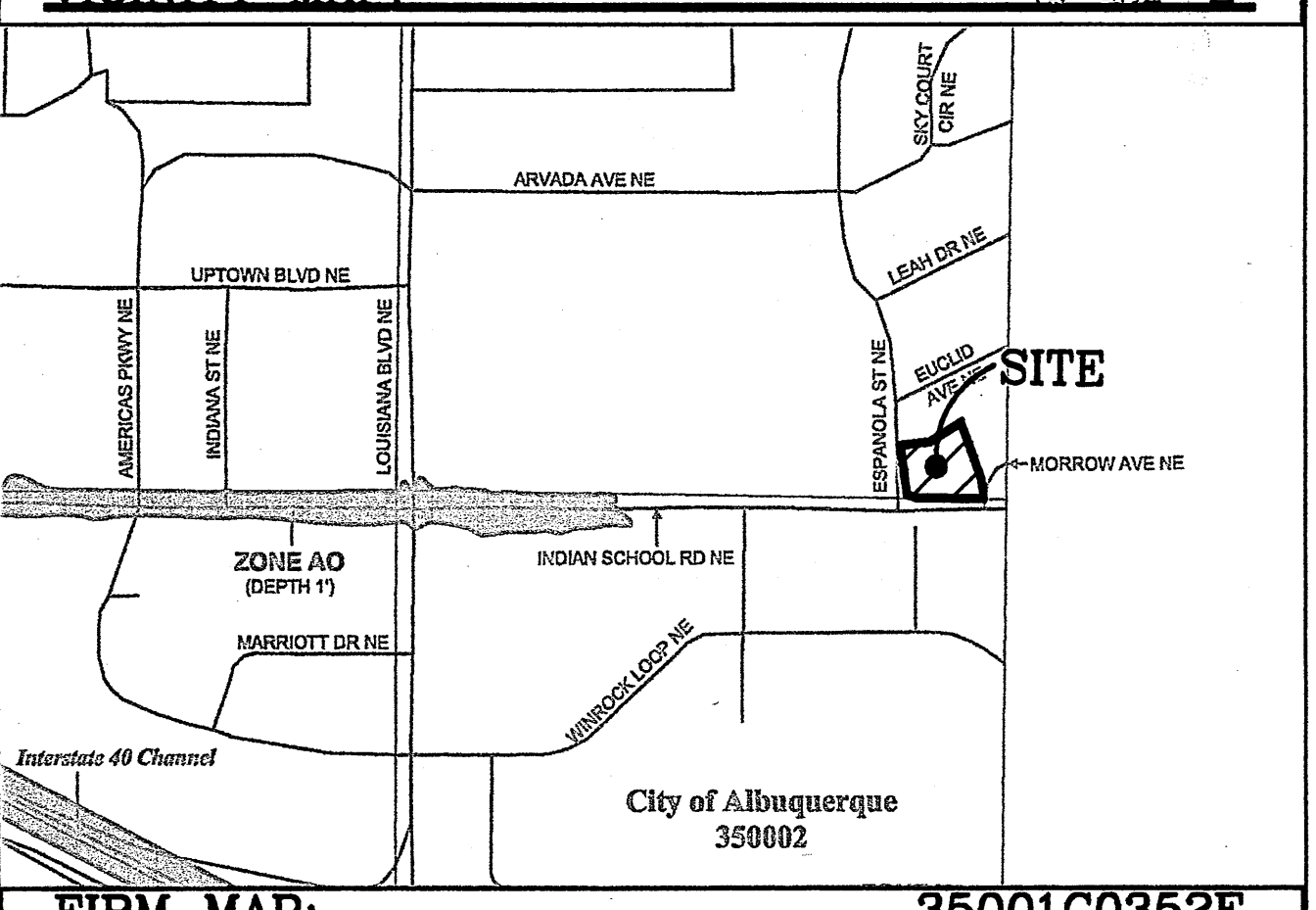
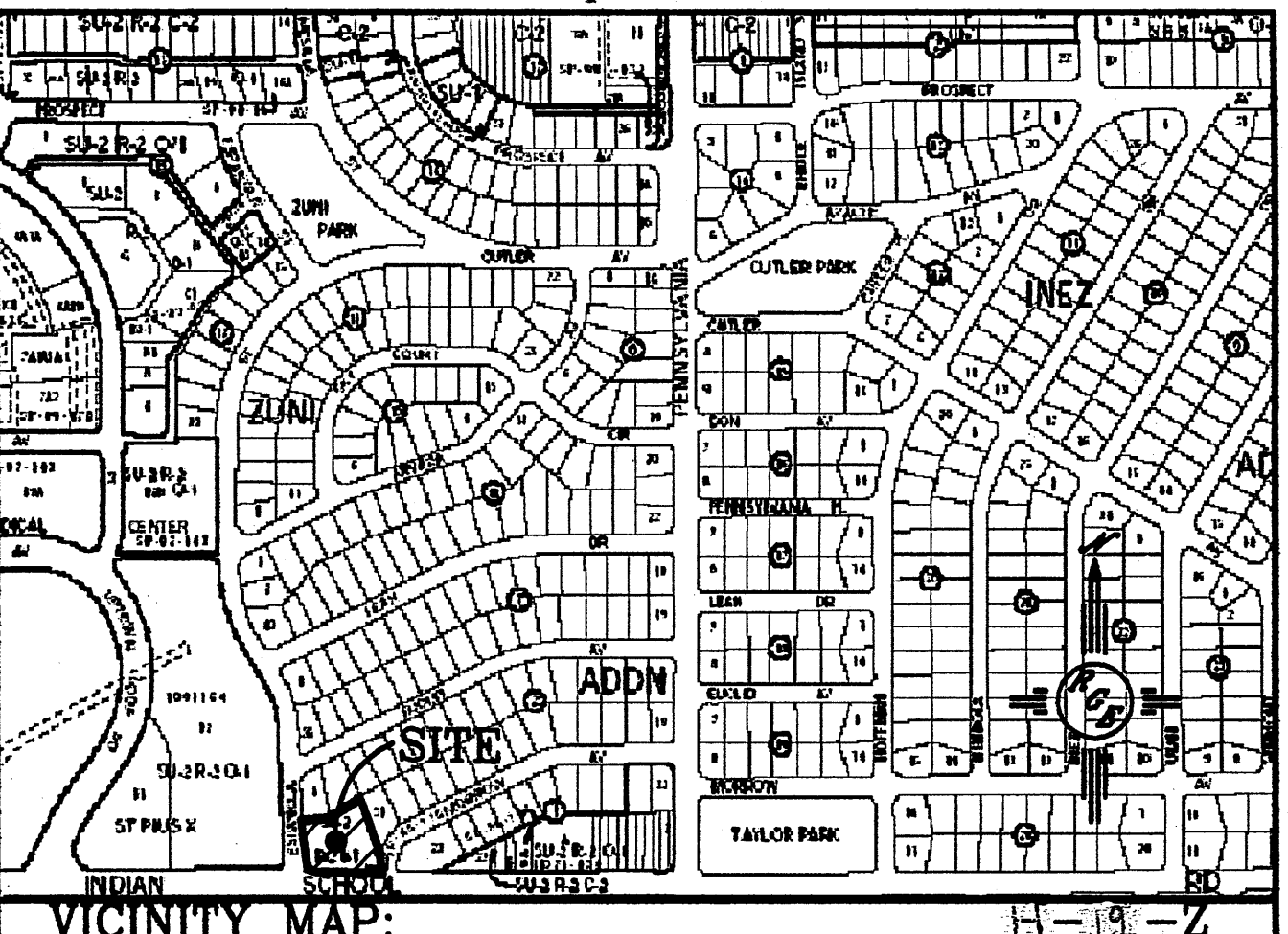


SCALE: 1"=10'



- LEGEND**
- EXISTING CURB & GUTTER
 - PROPOSED TURN DOWN SIDEWALK
 - BOUNDARY LINE
 - EASEMENT
 - EXISTING RETAINING WALL
 - EXISTING CONTOUR
 - EXISTING INDEX CONTOUR
 - FLOW ARROW
 - SLOPE TIE
 - PROPOSED SPOT ELEVATION
 - EXISTING SPOT ELEVATION

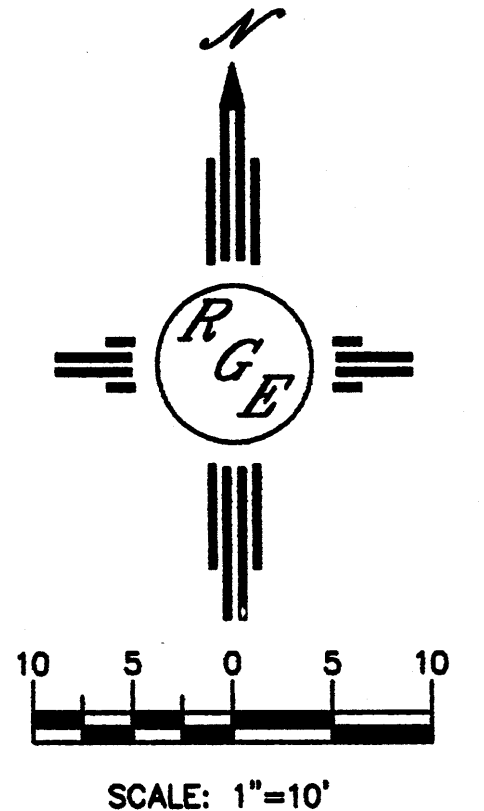
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LEGAL DESCRIPTION:
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ROUGH GRADING APPROVAL		DATE	
ENGINEER'S SEAL	TRACT D-1 BUILDING EXPANSION	DRAWN BY WCWJ	DATE 10-18-05
	GRADING AND DRAINAGE PLAN	2534-GRB-9-25-05X	
		SHEET #	—
DAVID SOULE P.E. #14522		JOB #	2534
1608 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 672-0889			