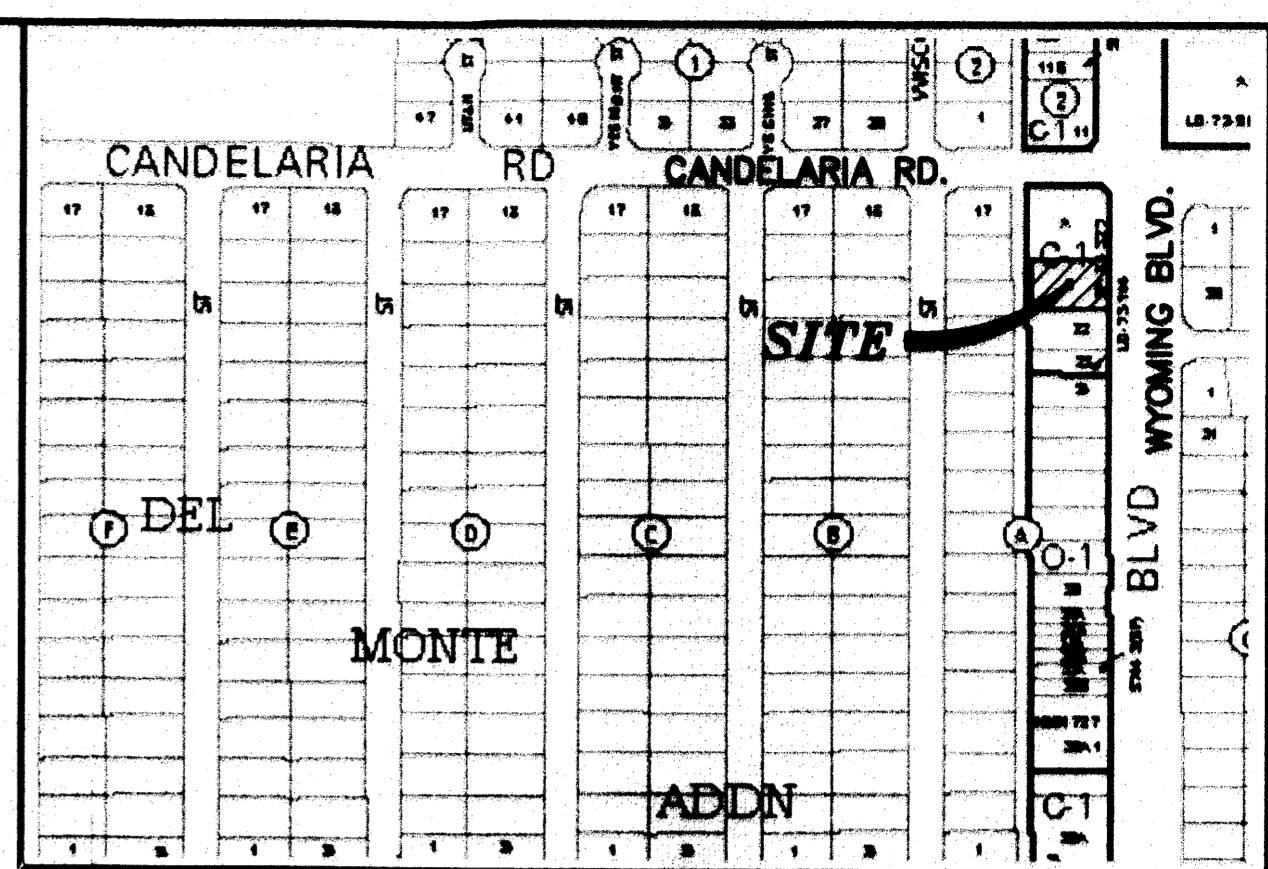


FIRM MAP: 35001C0356 E

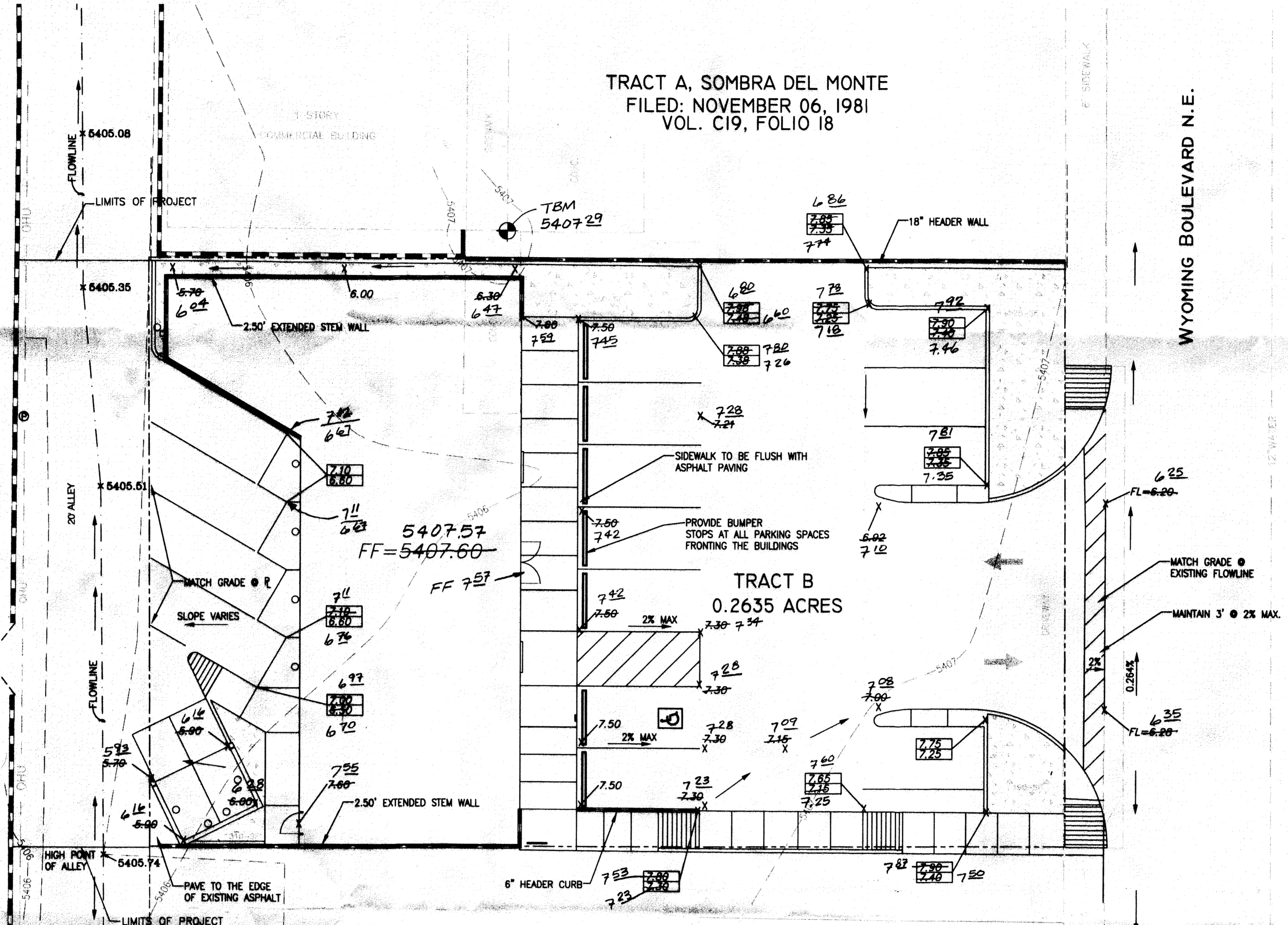
TRACT A, SOMBRA DEL MONTE  
FILED: NOVEMBER 06, 1981  
VOL. C19, FOLIO 18



VICINITY MAP: H-19-Z

**LEGAL DESCRIPTION:**  
TRACT "B", BLOCK "A", SOMBRA DEL MONTE, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A REPLAT OF LOTS 18, 19, 20, AND 21, BLOCK "A", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, NEW MEXICO ON NOVEMBER 6, 1981.

- LEGEND**
- EXISTING SAS MANHOLE
  - EXISTING METER
  - EXISTING VALVE W/BOX
  - EXISTING FIRE HYDRANT
  - EXISTING AIR RELEASE VALVE
  - EXISTING REDUCER
  - EX. 8" SAS --- EXISTING SANITARY SEWER LINE
  - EX. 16" WL --- EXISTING WATER LINE
  - EXISTING CURB & GUTTER
  - PROPOSED CURB & GUTTER
  - 5100 --- EXISTING CONTOUR (MAJOR)
  - 5102 --- EXISTING CONTOUR (MINOR)
  - BOUNDARY LINE
  - EASEMENT
  - LIMITS OF TOP OF EXISTING SLOPE
  - PROPOSED SIDEWALK
  - TC --- FL --- PROPOSED GRADE
  - \* 7.25 --- PROPOSED SPOT ELEVATION
  - X 5285.16 --- EXISTING GRADE
  - EXISTING POWER LINES
  - EXISTING FENCE
  - 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
  - EXISTING FENCE
  - FLOODPLAIN LIMITS FROM FEMA MAP
  - EXISTING GARDEN WALL
  - PROPOSED RETAINING WALL
  - PROPOSED EXTENDED STEM WALL
  - TRW=38.00 --- TOP OF RETAINING WALL
  - TF=32.00 --- TOP OF FOOTING
  - TSW=34.00 --- TOP OF EXTENDED STEM WALL
  - TF=32.00 --- TOP OF FOOTING
  - EXISTING DROP INLET
  - EXISTING STREET LIGHT
  - EXISTING ANCHOR
  - EXISTING POWER POLE
  - SINGLE "A" INLET
  - DOUBLE "A" INLET

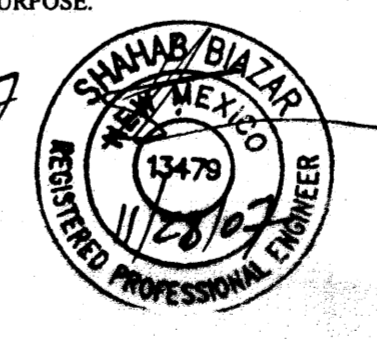


- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM 1986 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THROUGH UPDATE 7.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

I, SHAHAB BIAZAR, NMPE 13479, OF THE FIRM ADVANCED ENGINEERING AND CONSULTING, LLC HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/28/07. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

11/28/07  
DATE  
SHAHAB BIAZAR, NMPE 13479

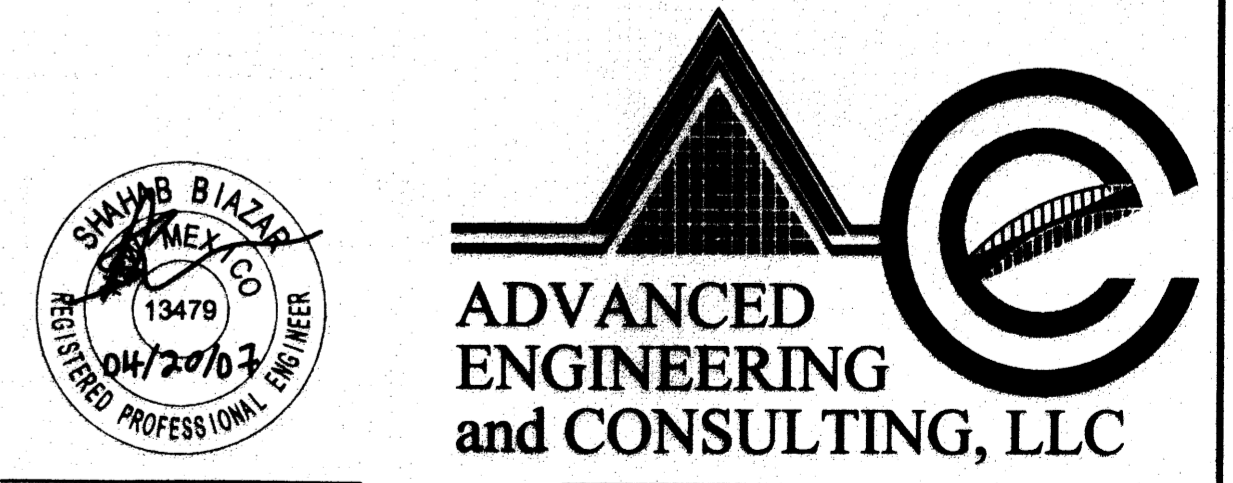


**EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

- GENERAL NOTES:**
- 1: ADD 5400 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
  - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
  - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 12-619 HAVING AN ELEVATION OF 5407.48 FEET ABOVE SEA LEVEL (NAVD88)
  - 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  - 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  - 6: SLOPES ARE AT 3:1 MAXIMUM.
  - 7: ENTRANCE MODIFICATIONS WERE DONE BASED ON THE CITY STD 2426.

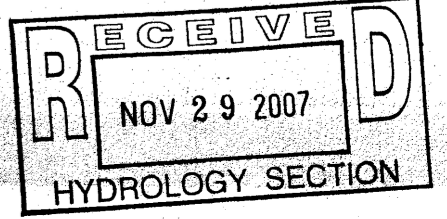
ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_



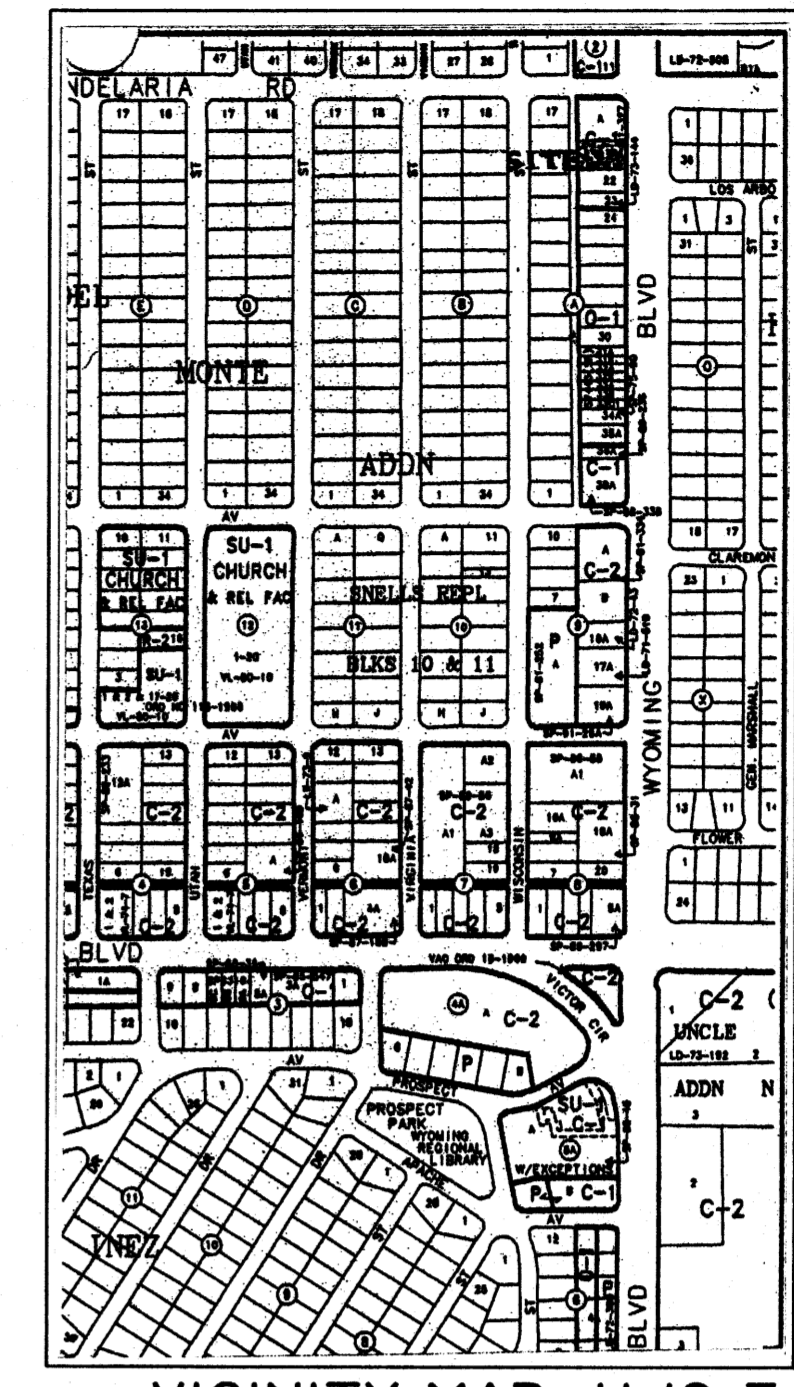
SHAHAB BIAZAR  
P.E. #13479

4416 ANAHEIM AVE., NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)899-570

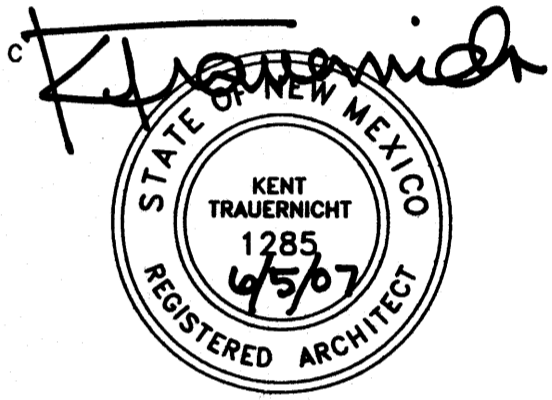
WYOMING OFFICE COMPLEX GRADING AND DRAINAGE PLAN			
DRAWING: 200711-GR.DWG	DRAWN BY: SBB	DATE: 04-20-07	SHEET # 1 OF 1







VICINITY MAP H-19-Z



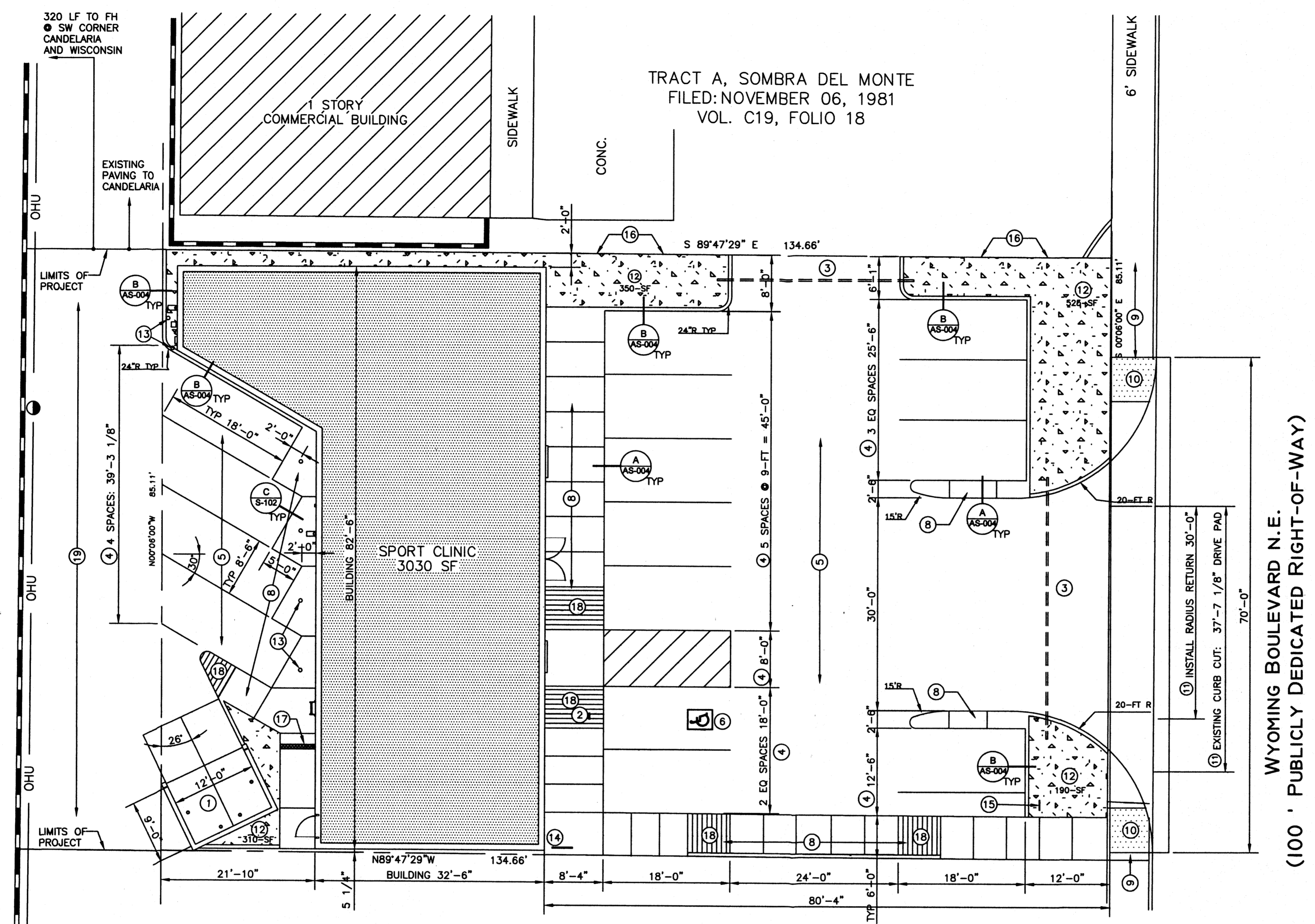
**WYOMING OFFICE BUILDING**

ADDRESS  
2621 WYOMING BLVD NE 87112

MARK	DATE	DESCRIPTION
△	5/27/07	REVISED RAMPS AT CURB CUT

PROJECT NO:  
COPYRIGHT AKT ARCHITECTS, LLC  
SHEET TITLE

**SITE PLAN**



**SITE PLAN**  
1" = 10'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED  
*[Signature]* 6/9/17  
Signed Date

**LANDSCAPE NOTES:**

- ALL LANDSCAPE MATERIAL SHALL BE IRRIGATED. TREES AND SHRUBS SHALL BE IRRIGATED WITH DRIP EMITTERS.
- ALL LANDSCAPE EDGING SHALL STEEL PREFINISHED GREEN, 1/8" X 4" WITH ACCESSORIES AS REQ'D.
- ALL PLANTERS OR PLANTED AREAS SHALL BE FILLED SO THAT THE ROCK MULCH IS FLUSH WITH THE TOP OF ADJACENT CURB OR CONCRETE WALK.
- SEE DETAIL FOR TREE PLANTING.
- SEE DETAIL FOR SHRUB PLANTING.
- WEED BARRIER FABRIC SHALL BE BY DeWITT, (800) 888-9869, POLYPROPYLENE, 4 OZ, BLACK WITH GREEN STRIPE, 5.28 MILS THICK

NOTE: INSTALL IRRIGATION CONTROLLER AS DIRECTED BY THE OWNER.  
NOTE: INSTALL IRRIGATION SYSTEM AS SPECIFIED. MUELLERMIST IRRIGATION CO., RAIN BIRD SPRINKLER MFG. CORP., THE TORO CO., IRRIGATION DIV., OR WEATHER-MATIC DIV/ TELSO INDUSTRIES.  
IRRIGATION SHALL BE INSTALLED AS REQUIRED BY PLANT MATERIAL TYPE AND LOCATION. COVERAGE SHALL BE 95% AT TURF AND 85% AT BEDDED PLANTS.

**KEYED NOTES**

- Dumpster pad, see SHEET A-005.
- Handicapped parking sign, see E/AS-004.
- 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
- Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
- 2 1/2-inch asphalt paving on 4-inch base course over compacted subgrade. Verify with owner for thicker asphalt installation, typical. See L/AS-004.
- Handicapped parking symbol, see detail. City of Albuquerque standard detail 2426.
- No street median cut access from Wyoming Blvd.
- Reinforced concrete walk as shown, 4-inch thick with 6 x 6 - 10 x 10 WWF, 6-ft wide unless shown otherwise. See detail for joints.
- Existing concrete walk, cut and patch back to match existing as required to install radiused curb cut and handicap ramps as shown.
- Install wheelchair ramp per City of Albuquerque standard detail 2426, unidirectional ramp with ADA type truncated dome tactile warning system on ramp surface.

- Cut and remove existing curb and gutter. Install concrete apron and private entrance. Patch back to match existing, see civil. Construct per C.O.A. std. dwg. 2426.
- Landscaped area, see landscaping plan.
- Pipe bollard, center on parking stall, see G/AS-004.
- Bicycle rack, see J/A-004.
- 4' x 8' motorcycle parking space with minimum 12" x 18" sign designating "MOTORCYCLE PARKING". Mount on sign standard with bottom of sign no less 48" above finish grade. SEE E/AS-004.
- Steel landscape edging all along north property line for barrier between properties, see landscaping note, this sheet.
- Trench drain with steel cover in concrete walk, see K/AS-004.
- Wheelchair ramp, see detail F/AS-003. All ramps shall comply with ADA requirements, 60-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of ramps shall be scored per ADA for tactile warning surfacing.
- The alley is paved from the project's north property line to Candelaria. The contractor shall pave the alley from the project's south property line, tying it into the existing paving at the north property line, for paved site parking access from Candelaria. Paving shall be per C&EG paving standards. Contractor shall obtain a City work order for paving and work within the alley right of way.

**ZONING DATA**

LEGAL: TRACT B, BLOCK A, SOMBRA DEL MONTE SUBDIVISION  
ADDRESS: 2621 WYOMING BLVD. NE  
SITE AREA: 0.2633 ACRES (11,469 SF)  
ZONING: C-1 FOR NEIGHBORHOOD COMMERCIAL (ATLAS PAGE H-19-Z)  
ALLOWABLE BLDG HEIGHT: 26-FT

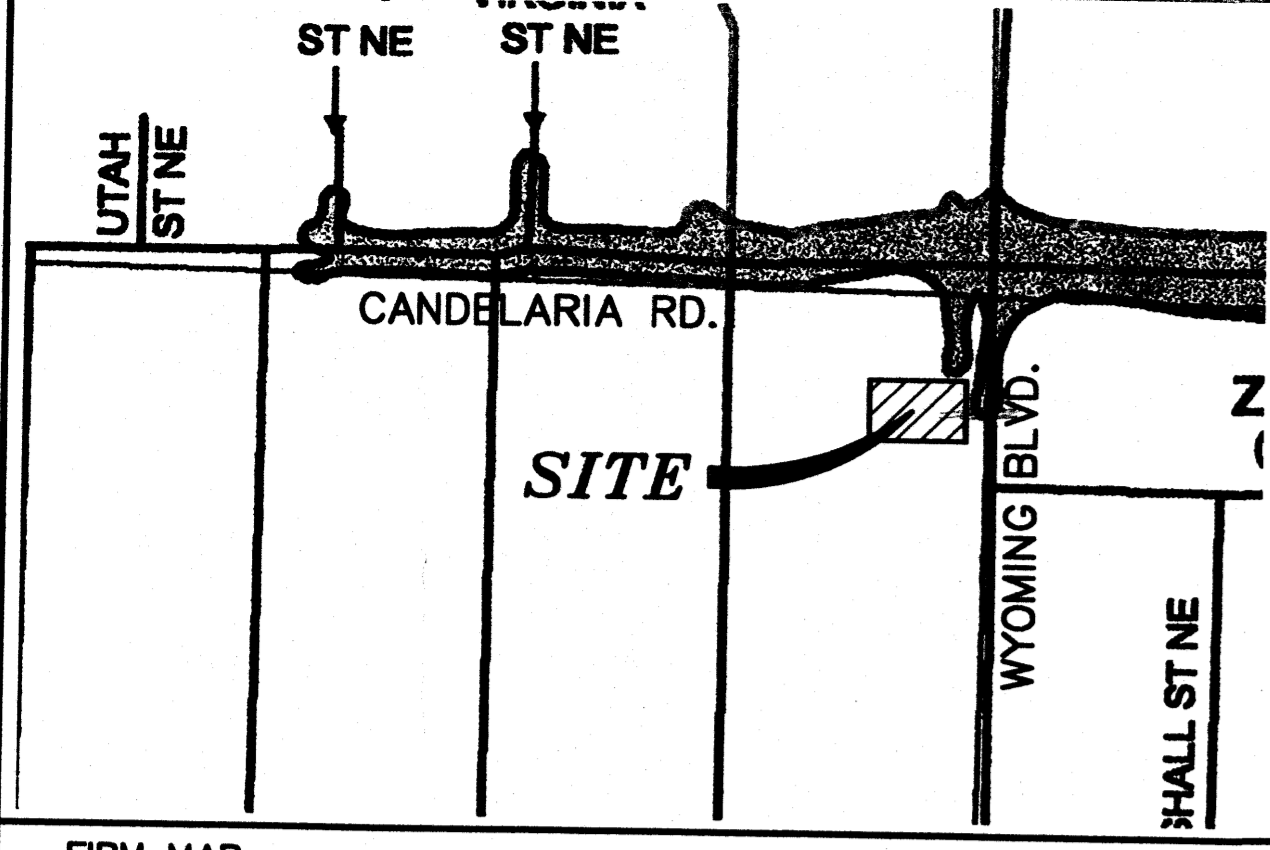
REQUIRED SETBACKS:  
FRONT: 5-FT  
SIDE: 0-FT  
REAR: 0-FT

BUILDING AREA: 3030 SF  
PROVIDED ON-SITE PARKING: 15 SPACES + 1 MOTORCYCLE SPACE (INCLUDES 1 HC-VAN SPACE AND 1 MOTORCYCLE SPACE)  
REQUIRED PARKING (OFFICE): 3030 SF / 200 = 15 SPACES  
10% REDUCTION FOR TRANSIT ROUTE LOCATION: -1  
REQUIRED ON-SITE PARKING: 14 SPACES

NET LOT AREA (GROSS - BLDG): 11,460 - 3030 = 8439 SF  
REQUIRED ON-SITE LANDSCAPING: 1265 SF (15% OF 8439 SF/NET)  
PROVIDED ON-SITE LANDSCAPING: 1375 SF (16% NET LOT AREA)

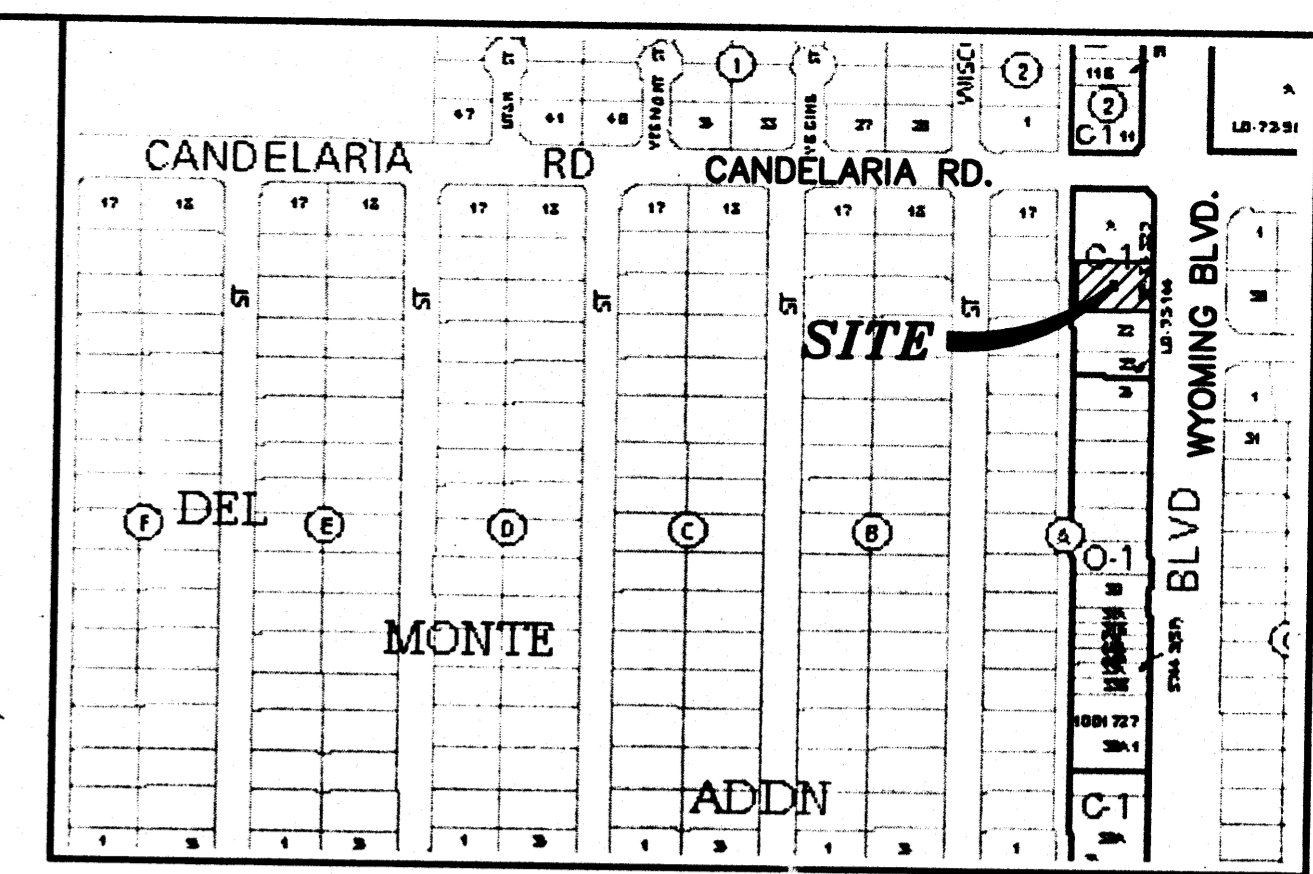
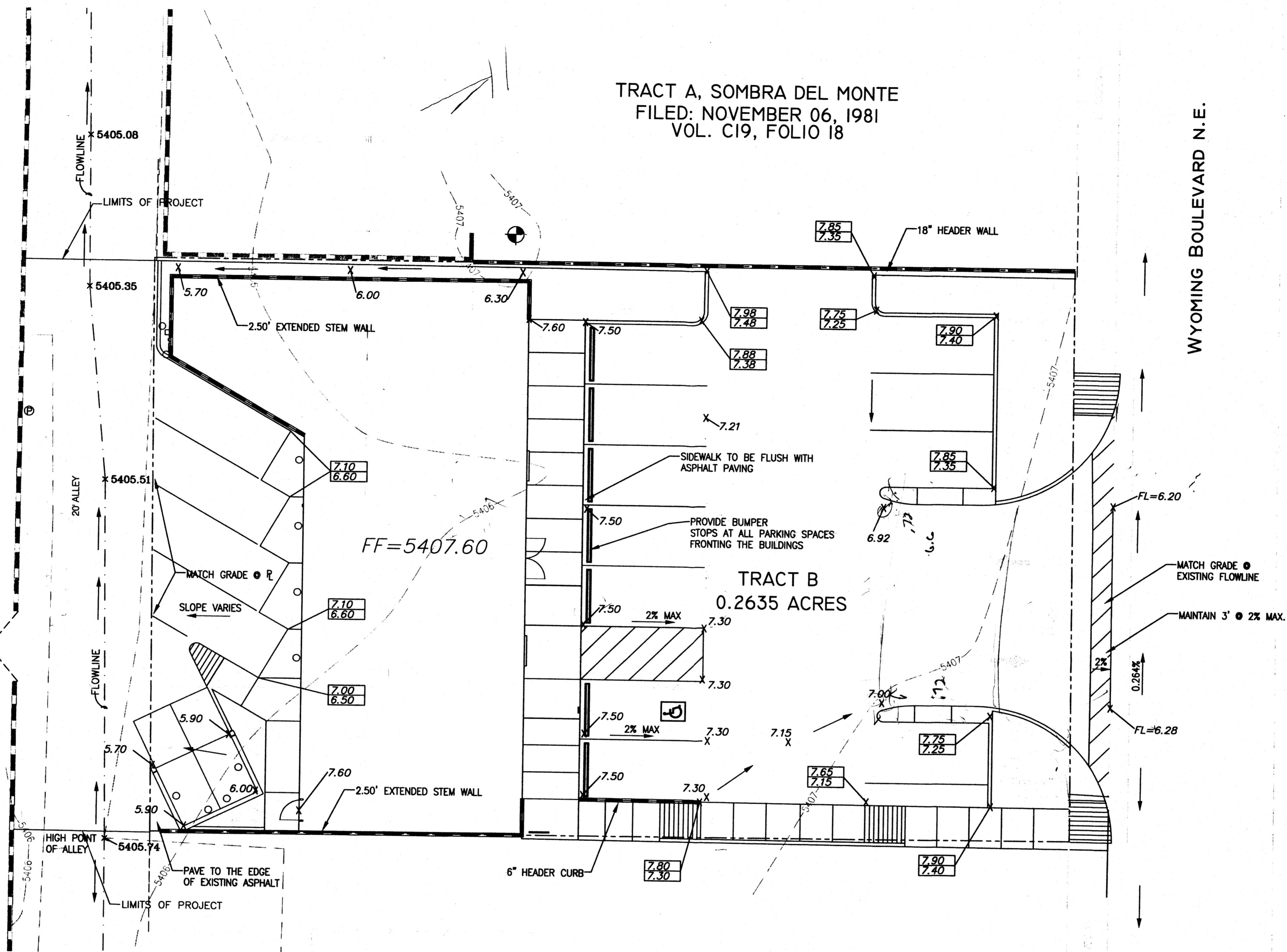
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.





FIRM MAP: 35001C0356 E

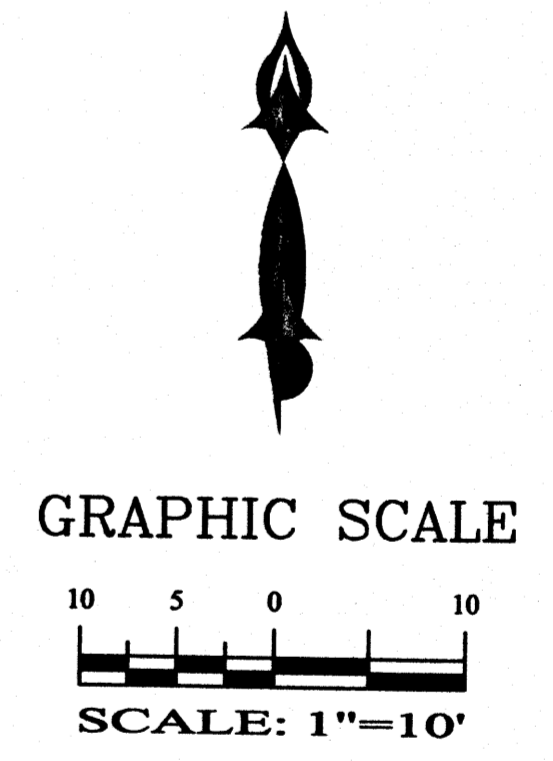
- LEGEND**
- EXISTING SAS MANHOLE
  - EXISTING METER
  - EXISTING VALVE W/BOX
  - EXISTING FIRE HYDRANT
  - EXISTING AIR RELEASE VALVE
  - EXISTING REDUCER
  - EX. 8" SAS
  - EX. 16" WL
  - EXISTING CURB & GUTTER
  - PROPOSED CURB & GUTTER
  - 5100 EXISTING CONTOUR (MAJOR)
  - 5102 EXISTING CONTOUR (MINOR)
  - BOUNDARY LINE
  - EASEMENT
  - LIMITS OF TOP OF EXISTING SLOPE
  - PROPOSED SIDEWALK
  - PROPOSED GRADE
  - PROPOSED SPOT ELEVATION
  - EXISTING GRADE
  - EXISTING POWER LINES
  - EXISTING FENCE
  - 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
  - EXISTING FENCE
  - FLOODPLAIN LIMITS FROM FEMA MAP
  - EXISTING GARDEN WALL
  - PROPOSED RETAINING WALL
  - PROPOSED EXTENDED STEM WALL
  - TOP OF RETAINING WALL
  - TOP OF FOOTING
  - TOP OF EXTENDED STEM WALL
  - TOP OF FOOTING
  - EXISTING DROP INLET
  - EXISTING STREET LIGHT
  - EXISTING ANCHOR
  - EXISTING POWER POLE
  - SINGLE "A" INLET
  - DOUBLE "A" INLET



VICINITY MAP: H-19-Z

**LEGAL DESCRIPTION:**  
 TRACT "B", BLOCK "A", SOMBRA DEL MONTE, A SUBDIVISION OF THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING A REPLAT OF LOTS 18, 19, 20, AND 21, BLOCK "A", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, NEW MEXICO ON NOVEMBER 6, 1981.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM 1986 STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THROUGH UPDATE 7.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



- EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
  3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
  4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
  6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

- GENERAL NOTES:**
- 1: ADD 5400 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
  - 2: CONTOUR INTERVAL IS ONE (1) FOOT.
  - 3: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION 12-G19 HAVING AN ELEVATION OF 5407.49 FEET ABOVE SEA LEVEL (NAVD88)
  - 4: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
  - 5: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
  - 6: SLOPES ARE AT 3:1 MAXIMUM.
  - 7: ENTRANCE MODIFICATIONS WERE DONE BASED ON THE CITY STD 2426.

ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

**ADVANCED ENGINEERING and CONSULTING, LLC**

SHAHAB BIAZAR  
P.E. #13479

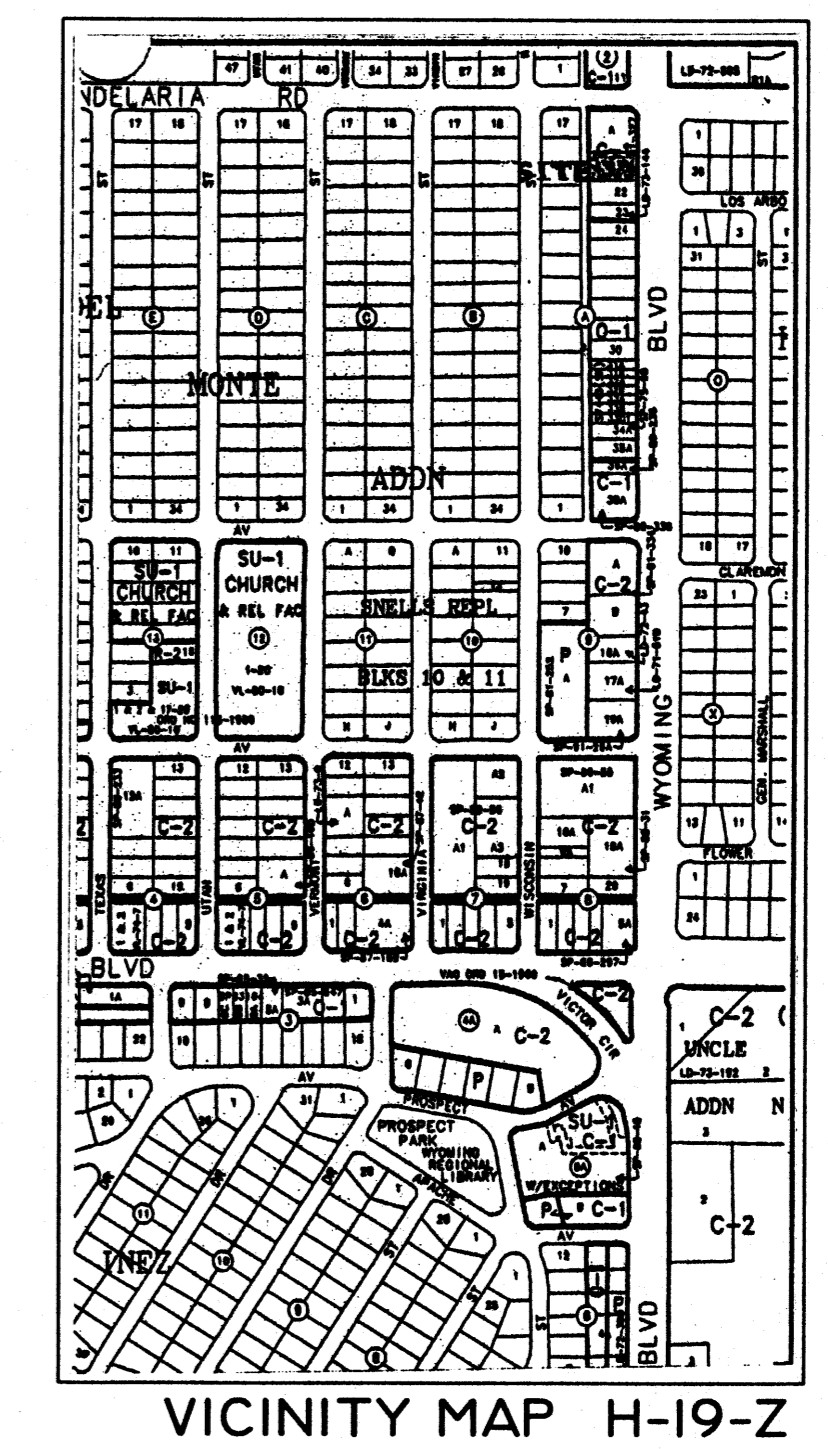
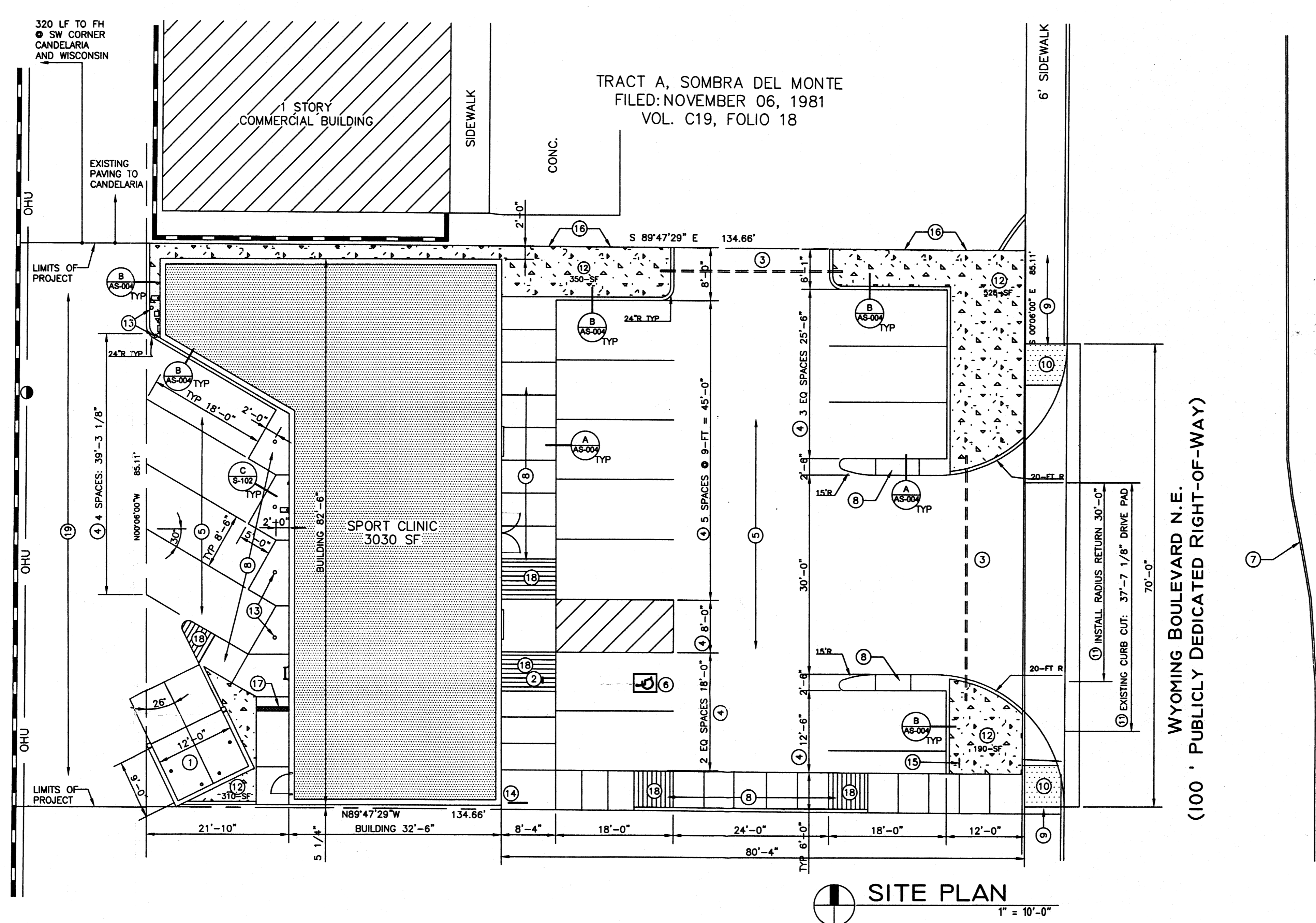
4416 ANAHEIM AVE., NE  
ALBUQUERQUE, NEW MEXICO 87113  
(505)899-570

WYOMING OFFICE COMPLEX GRADING AND DRAINAGE PLAN			
DRAWING: 200711-GRDWG	DRAWN BY: SBB	DATE: 04-20-07	SHEET # 1 OF 1

LAST REVISION: 04-20-07

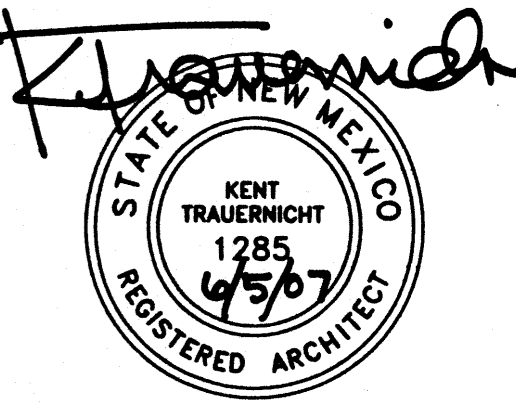
APR 23 2007  
HYDROLOGY SECTION





**akt architects, LLC**  
 P.O. BOX 3366  
 ALBUQUERQUE, NM 87190  
 T: (505) 281-9560  
 F: (505) 286-1055  
 C: (505) 259-7919  
 aktarch@earthlink.net

CONSULTANT



PROJECT

**WYOMING  
OFFICE  
BUILDING**

ADDRESS  
2621 WYOMING  
BLVD NE 87112

**SITE PLAN**  
1" = 10'-0"

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**  
*[Signature]* 6/9/07  
 Signed Date

**LANDSCAPE NOTES:**

- ALL LANDSCAPE MATERIAL SHALL BE IRRIGATED. TREES AND SHRUBS SHALL BE IRRIGATED WITH DRIP EMITTERS.
- ALL LANDSCAPE EDGING SHALL STEEL PREFINISHED GREEN, 1/8" X 4" WITH ACCESSORIES AS REQ'D.
- ALL PLANTERS OR PLANTED AREAS SHALL BE FILLED SO THAT THE ROCK MULCH IS FLUSH WITH THE TOP OF ADJACENT CURB OR CONCRETE WALK.
- SEE DETAIL FOR TREE PLANTING.
- SEE DETAIL FOR SHRUB PLANTING.
- WEED BARRIER FABRIC SHALL BE BY DEWITT, (800) 888-9669. POLYPROPYLENE, 4 OZ, BLACK WITH GREEN STRIPE, 5.28 MILS THICK

NOTE: INSTALL IRRIGATION CONTROLLER AS DIRECTED BY THE OWNER.  
 NOTE: INSTALL IRRIGATION SYSTEM AS SPECIFIED. MUELLER/IRI IRRIGATION CO., RAIN BIRD SPRINKLER MFG. CORP., THE TORO CO., IRRIGATION DIV., OR WEATHER-MATIC DIV/ TELSO INDUSTRIES. IRRIGATION SHALL BE INSTALLED AS REQUIRED BY PLANT MATERIAL TYPE AND LOCATION. COVERAGE SHALL BE 95% AT TURF AND 85% AT BEDDED PLANTS.

**KEYED NOTES**

- Dumpster pad, see SHEET A-005.
- Handicapped parking sign, see E/AS-004.
- 3" PVC pipe under pavement for installing irrigation lines. Stub line up inside building for irrigation controller, location per owners direction.
- Two coats traffic paint. Markings shall be 4" wide striping (yellow on conc, white on asphalt), as shown throughout the paved areas as shown.
- 2 1/2-inch asphalt paving on 4-inch base course over compacted subgrade. Verify with owner for thicker asphalt installation, typical. See L/AS-004.
- Handicapped parking symbol, see detail. City of Albuquerque standard detail 2426.
- No street median cut access from Wyoming Blvd.
- Reinforced concrete walk as shown, 4-inch thick with 6 x 6 - 10 x 10 WWF, 6-ft wide unless shown otherwise. See detail for joints.
- Existing concrete walk, cut and patch back to match existing as required to install radiused curb cut and handicap ramps as shown.
- Install wheelchair ramp per City of Albuquerque standard detail 2426; unidirectional ramp with ADA type truncated dome tactile warning system on ramp surface.

- Cut and remove existing curb and gutter. Install concrete apron and private entrance. Patch back to match existing, see civil. Construct per C.O.A. std. dwg. 2426.
- Landscaped area, see landscaping plan.
- Pipe bollard, center on parking stall, see G/AS-004.
- Bicycle rack, see J/A-004.
- 4' x 8' motorcycle parking space with minimum 12" x 18" sign designating "MOTORCYCLE PARKING". Mount on sign standard with bottom of sign no less 48" above finish grade. SEE E/AS-004.
- Steel landscape edging all along north property line for barrier between properties, see landscaping note, this sheet.
- Trench drain with steel cover in concrete walk, see K/AS-004.
- Wheelchair ramp, see detail F/AS-003. All ramps shall comply with ADA requirements, 60-inch min. width, 1:12 max slope, 1:10 max slope at side flares. The full width and depth of ramps shall be scored per ADA for tactile warning surfacing.
- The alley is paved from the project's north property line to Candelaria. The contractor shall pave the alley from the project's south property line, tying it into the existing paving at the north property line, for paved site parking access from Candelaria. Paving shall be per CAGD paving standards. Contractor shall obtain a City work order for paving and work within the alley right of way.

**ZONING DATA**

LEGAL: TRACT B, BLOCK A, SOMBRA DEL MONTE SUBDIVISION  
 ADDRESS: 2621 WYOMING BLVD. NE  
 SITE AREA: 0.2633 ACRES (11,469 SF)  
 ZONING: C-1 FOR NEIGHBORHOOD COMMERCIAL (ATLAS PAGE H-19-Z)  
 ALLOWABLE BLDG HEIGHT: 26'-FT

REQUIRED SETBACKS:  
 FRONT: 5'-FT  
 SIDE: 0'-FT  
 REAR: 0'-FT

BUILDING AREA: 3030 SF  
 PROVIDED ON-SITE PARKING: 15 SPACES + 1 MOTORCYCLE SPACE (INCLUDES 1 HC-VAN SPACE AND 1 MOTORCYCLE SPACE)  
 REQUIRED PARKING (OFFICE): 3030 SF / 200 = 15 SPACES  
 10% REDUCTION FOR TRANSIT ROUTE LOCATION: -1  
 REQUIRED ON-SITE PARKING: 14 SPACES

NET LOT AREA (GROSS - BLDG): 11,460 - 3030 = 8439 SF  
 REQUIRED ON-SITE LANDSCAPING: 1265 SF (15% OF 8439 SF/NET)  
 PROVIDED ON-SITE LANDSCAPING: 1375 SF (16% NET LOT AREA)

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.

**SITE PLAN**  
 RECEIVED  
 NOV 28 2007  
 HYDROLOGY SECTION

AS-001