

# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOT 7, BLOCK 6, SOMBRA DEL MONTE Building Permit #: \_\_\_\_\_ City Drainage #: H19/D079  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: LOT 7, BLOCK 6, SOMBRA DEL MONTE  
 City Address: 2516 VERMONT NE, ALBUQUERQUE, NM

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR  
 Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
 Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 08/11/2014 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan.** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# *SBS CONSTRUCTION AND ENGINEERING, LLC*

AUGUST 11, 2014

TRAFFIC ENGINEERING, PLANNING DEPT.  
DEVELOPMENT AND BUILDING PERMIT  
600 2nd STREET, SW  
ALBUQUERQUE, NM 87102

RE: LOT 7, BLOCK 6, SOMBRE DEL MONTE, 2516 VERMONT STREET, NE  
FINAL CERTIFICATE OF OCCUPANCY ( H19/D079 )

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC,  
HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND  
IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED  
11-01-2010.

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS  
BEEN OBTAINED BY LEONARD MARTINEZ OF SBS CONSTRUCTION AND  
ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE  
PROJECT SITE ON AUGUST 6, 2014 AND HAVE DETERMINED BY VISUAL INSPECTION  
THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE  
CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND  
BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR  
CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE  
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC  
ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE  
ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING  
IT FOR ANY OTHER PURPOSE.



REZA AFAGHPOUR, PE

8/11/2014

DATE



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

August 15, 2014

Leila Momenzadeh P.E.  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: LOT 7 BLK 6 SOMBRA DEL MONTE  
Certificate of Occupancy – Transportation Development ment  
Engineer's Stamp dated 10-25-10 (H19-D079)  
Certification dated 08-11-14**

Dear Mrs. Momenzadeh,

Based upon the information provided in your submittal received 08-15-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

c: File  
CO Clerk

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services**

July 24, 2014

Leila Momenzadeh P.E.  
SBS Construction and Engineering, LLC  
10209 Snowflake Ct NW  
Albuquerque, NM 87114

**Re: LOT 7 BLK 6 SOMBRA DEL MONTE** *2512 Vermont St.*  
**180-Day Temporary Certificate of Occupancy- Transportation  
Development**  
Engineer's Stamp dated 10-25-10 (H19-D079)  
Certification dated 07-15-14

Dear Mrs. Momenzadeh,

Based upon the information provided in your submittal received 07-18-14,  
Transportation Development has no objection to the issuance of a 180-day Temporary  
Certificate of Occupancy. This letter serves as a "green tag" from Transportation  
Development for a 180-day Temporary Certificate of Occupancy to be issued by the  
Building and Safety Division.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Prior to the issuance of a permanent Certificate of Occupancy, the following items must  
be addressed:

- The ADA van accessible sign must have the required language per 66-7-352.4C  
NMSA 1978 "Violators are subject to a fine and/or towing."
- The ADA access aisle shall have the words "NO PARKING" in capital letters, each  
of which shall be at least one foot high and at least two inches wide, placed at the  
rear of the parking space so as to be close to where an adjacent vehicle's rear tire  
would be placed. (66-1-4.1.B NMSA 1978)

Once corrections are complete resubmit acceptable package along with fully  
completed Drainage Transportation Information Sheet to front counter personnel for log  
in and evaluation by Transportation. For digital submittal and minor comments and/or  
repairs, please submit photos to [rmichel@cabq.gov](mailto:rmichel@cabq.gov) or [mortiz@cabq.gov](mailto:mortiz@cabq.gov) prior to  
submittal. If you have any questions, please contact me at (505) 924-3630.

Sincerely,

Racquel M. Michel, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

C: CO Clerk  
File

# SBS CONSTRUCTION AND ENGINEERING, LLC

JULY 15, 2014

TRAFFIC ENGINEERING, PLANNING DEPT.  
DEVELOPMENT AND BUILDING PERMIT  
600 2nd STREET, SW  
ALBUQUERQUE, NM 87102

RE: LOT 7, BLOCK 6, SOMBRE DEL MONTE, 2516 VERMONT STREET, NE  
FINAL CERTIFICATE OF OCCUPANCY ( H19/D079 )

I, REZA AFAGHPOUR, NMPE OF THE SBS CONSTRUCTION AND ENGINEERING, LLC,  
HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND  
IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED  
11-01-2010.

THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS  
BEEN OBTAINED BY LEONARD MARTINEZ OF SBS CONSTRUCTION AND  
ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE  
PROJECT SITE ON JULY 11, 2014 AND HAVE DETERMINED BY VISUAL INSPECTION  
THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE  
CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND  
BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR  
CERTIFICATE OF OCCUPANCY.

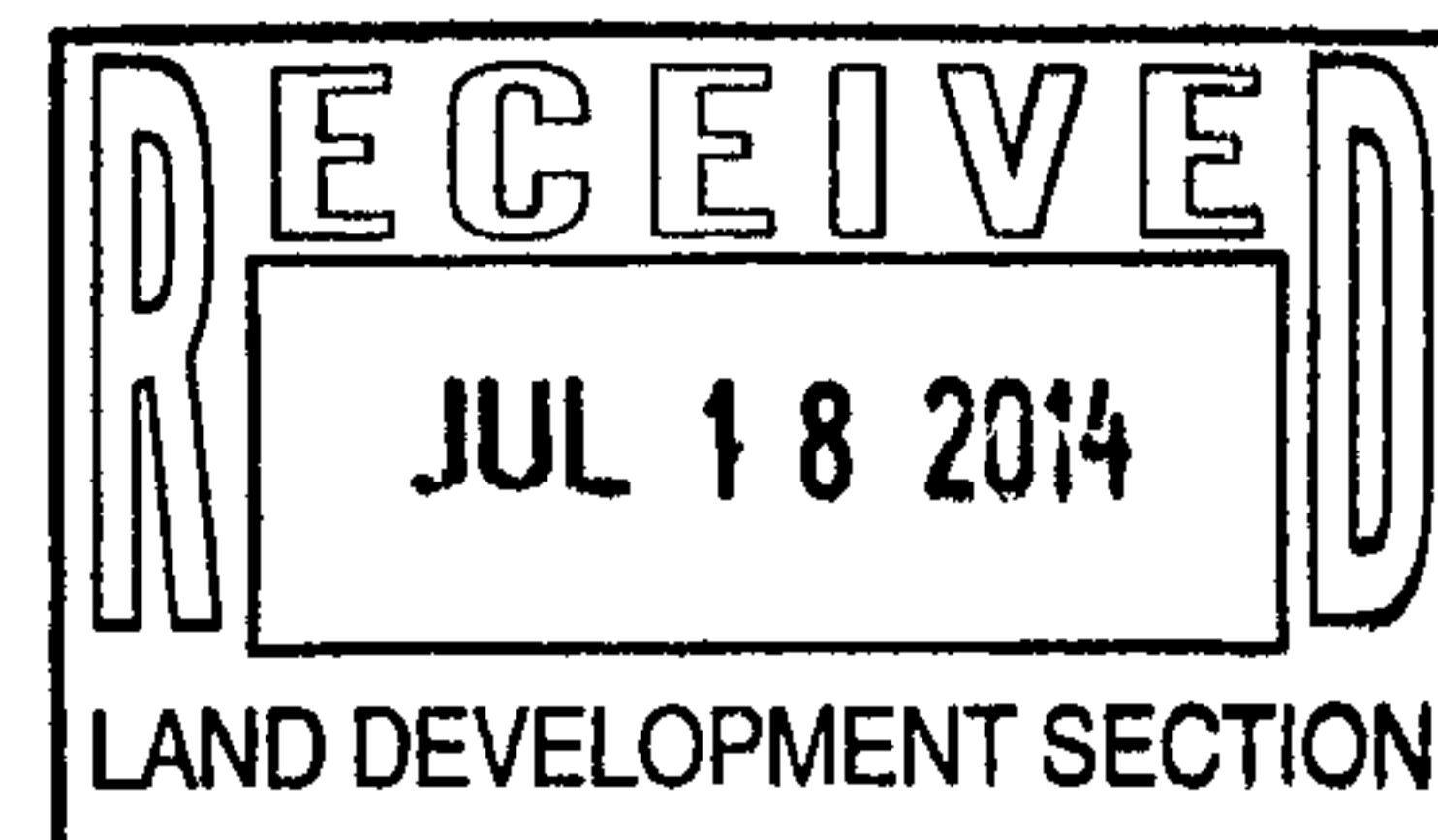
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE  
AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC  
ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE  
ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING  
IT FOR ANY OTHER PURPOSE.

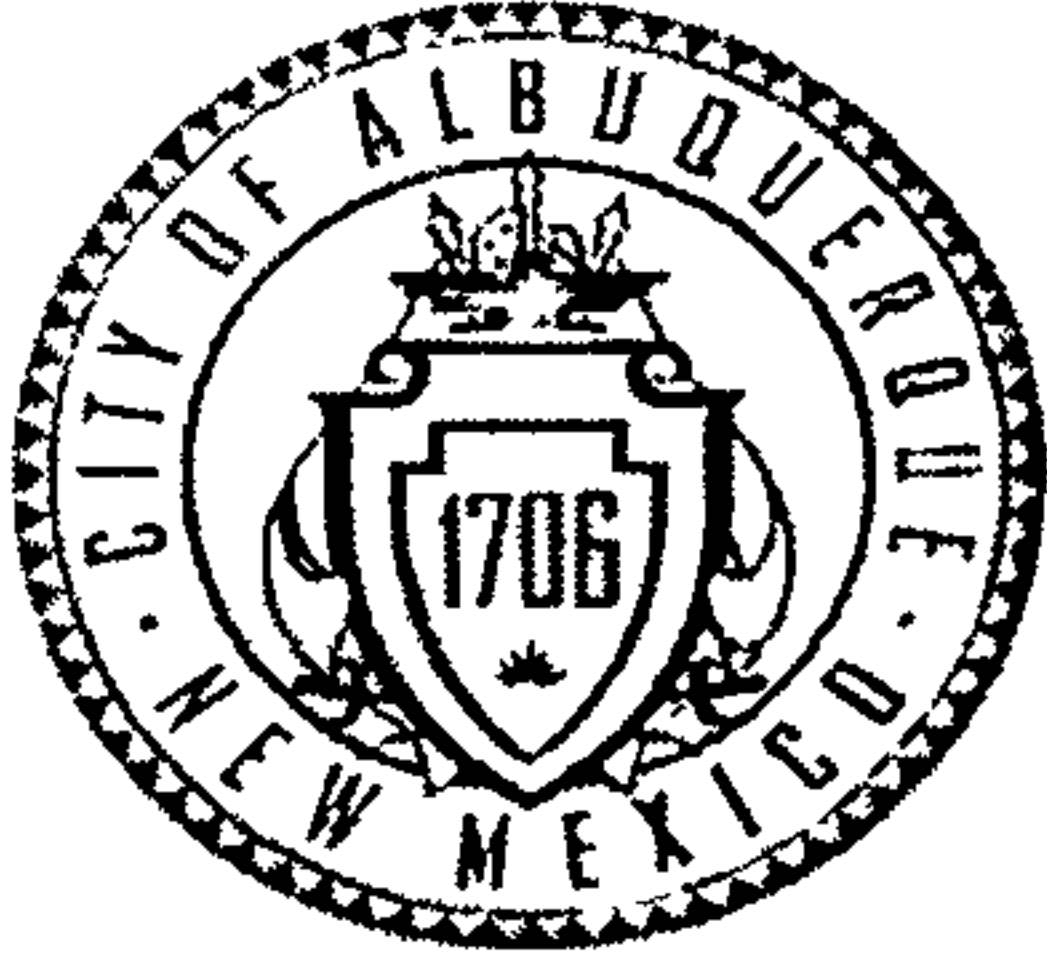


REZA AFAGHPOUR, PE

7/15/2014

DATE





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOT 7, BLOCK 6, SOMBRA DEL MONTE Building Permit #: \_\_\_\_\_ City Drainage #: H19/D079  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: LOT 7, BLOCK 6, SOMBRA DEL MONTE  
 City Address: 2516 VERMONT NE, ALBUQUERQUE, NM

Engineering Firm: SBS CONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR  
 Address: 10209 SNOWFLAKE CT., NW, ALBUQUERQUE, NM 87114  
 Phone#: 505-804-5013 Fax#: 505-897-4996 E-mail: AECLLC@AOL.COM

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

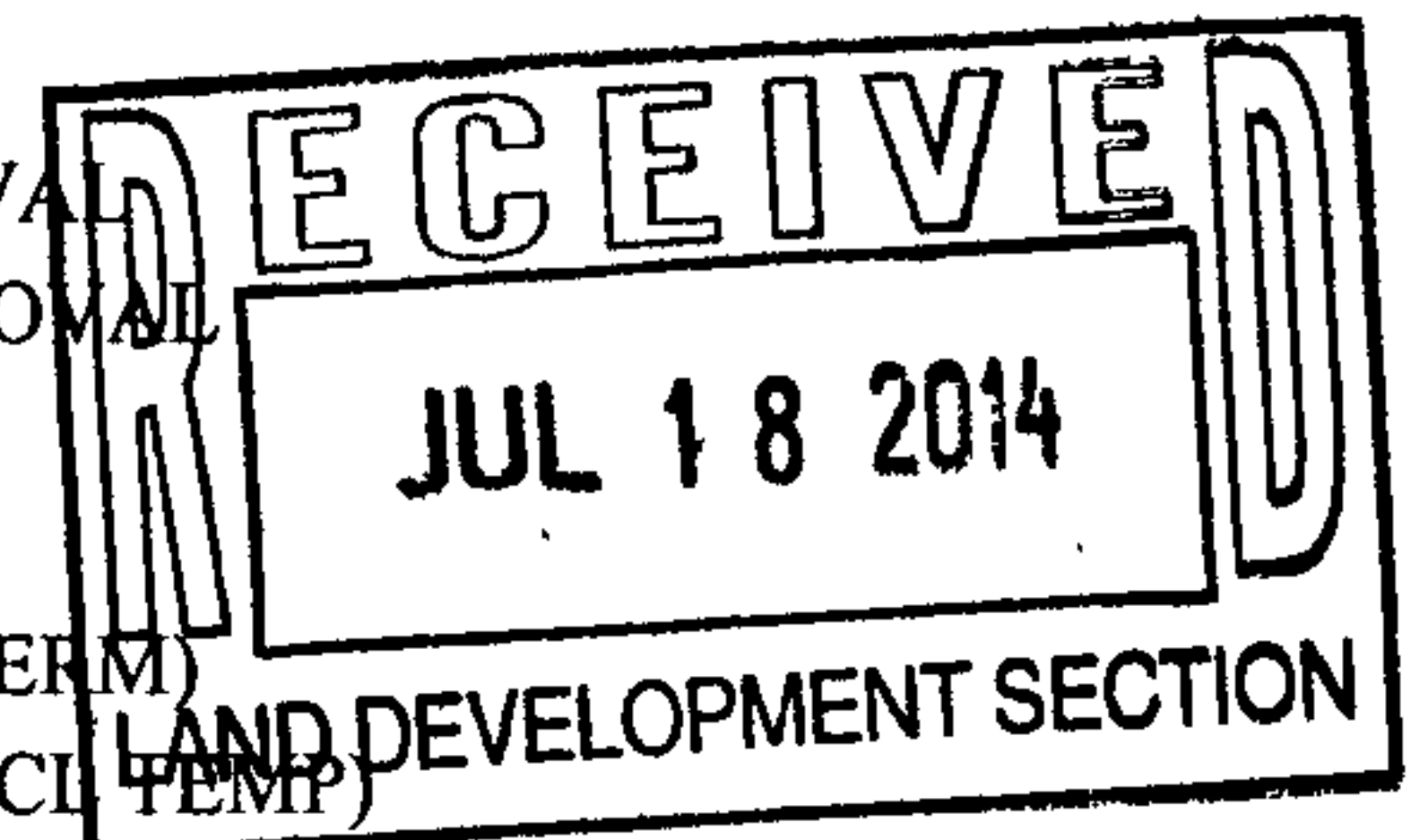
Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: 07/15/2014 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



# CITY OF ALBUQUERQUE



November 1, 2010

Leila Momenzadeh, P.E.  
Advanced Engineering and Consulting, LLC  
PO Box 10747  
Albuquerque, NM 87184

Re: Lot 7 Block 6 Sombra del Monte, 2516 Vermont Street NE, Traffic Circulation Layout  
Engineer's Stamp dated 10-25-10 (H19-D079)

Dear Ms. Momenzadeh,

The TCL submittal received 10-25-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(Rev. 12/05)

PROJECT TITLE: LOT 7, BLOCK 6, SOMBRA DEL MONTE ZONE ATLAS/DRG. FILE #: H19/D079  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: 2516 VERMONT NE, ALBUQUERQUE, NM  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shawn Biazar  
 ADDRESS: P.O. BOX 10747 PHONE: (505) 899-5570  
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87184

*Call once reviewed*

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

*@ 804-5013*

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

- DRAINAGE REPORT
- DRAINAGE PLAN 1ST SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR / LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER/ARCHITECT CERT (TCL)
- ENGINEER/ARCHITECT CERT (DRB S.P.)
- ENGINEER/ARCHITECT CERT (AA)
- OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY) \_\_\_\_\_

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

- YES
- NO
- COPY PROVIDED

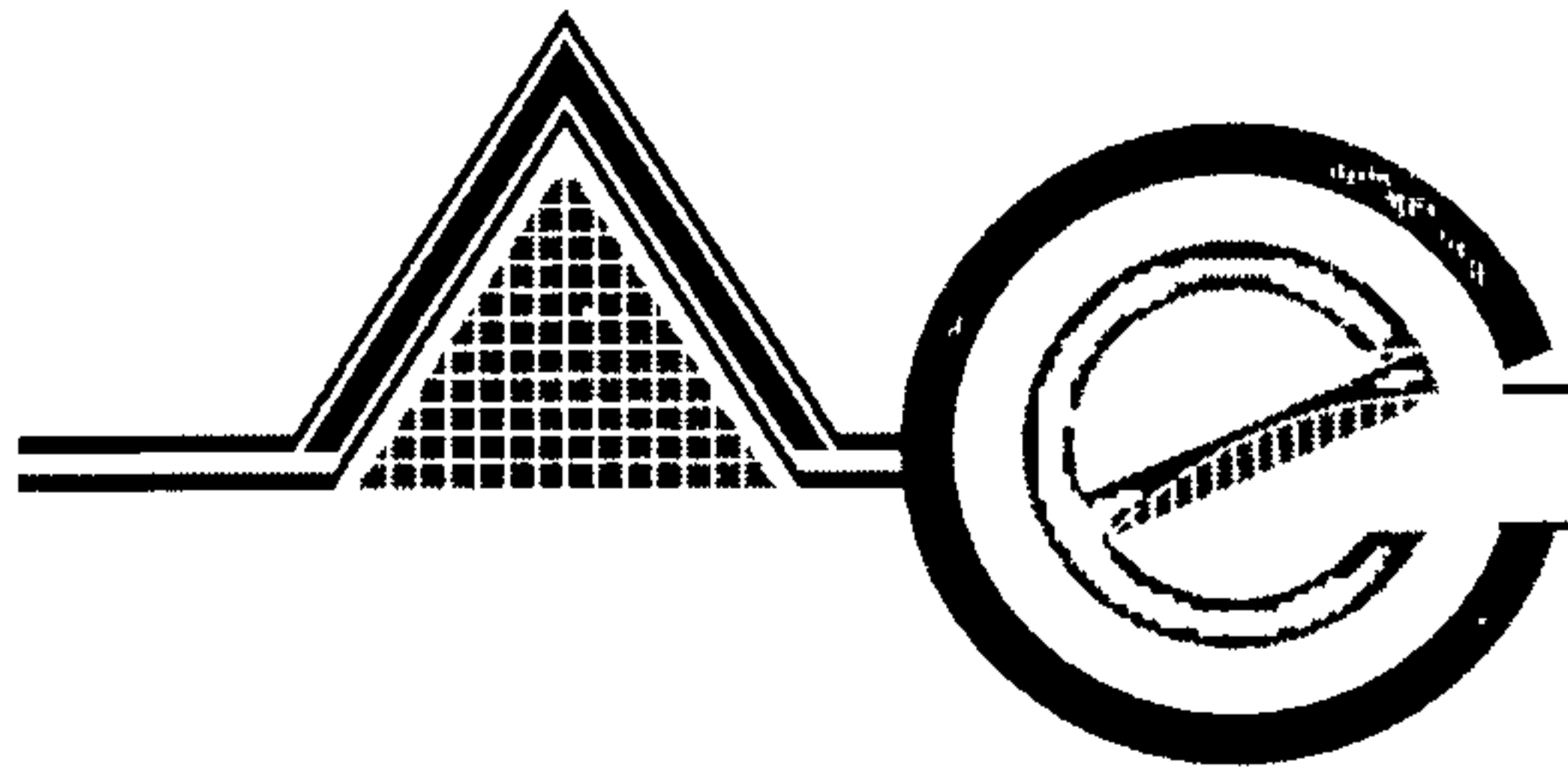
DATE SUBMITTED: 10 / 25 / 2010 BY: Shawn Biazar



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.





ADVANCED ENGINEERING and CONSULTING, LLC

October 25, 2010

*Consulting  
Design  
Development  
Management  
Inspection  
Surveying*

Ms. Kristal D. Metro, P.E.  
Traffic Engineering, Planning Dept.  
Development and Building Permit  
600 2<sup>nd</sup> Street, SW  
Albuquerque, NM 87102

RE: **Lot 7, Block 6, Sombmre Del Monte, 2516 Vermont Street, NE  
Traffic Circulation Layout ( H19/D079 )**

Dear Ms. Metro:

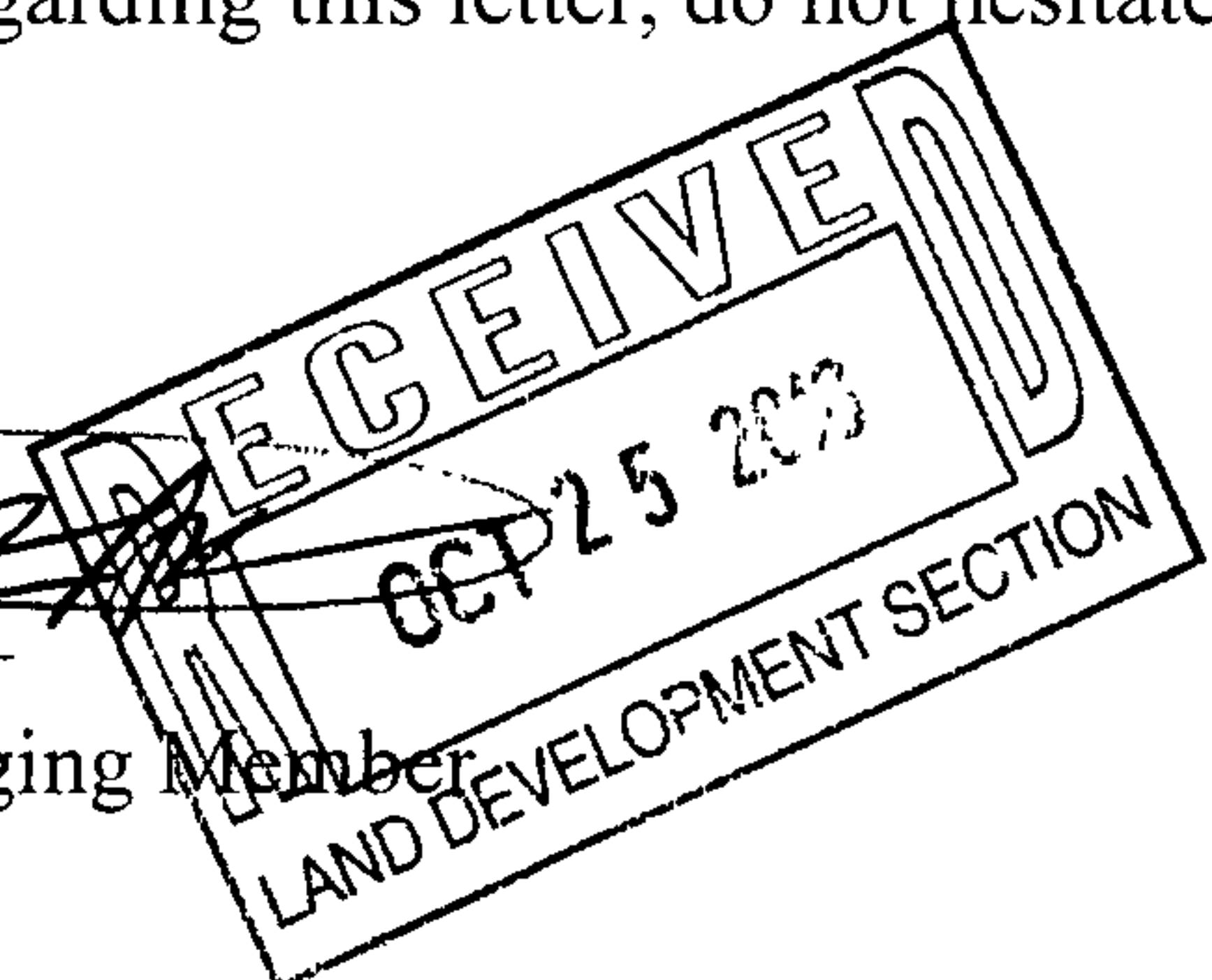
Attached please find two copies of the revised site plan for above referenced site. Addressed below for the comments dated October 20, 2010.

- 1) The keyway has been dimensioned on the site plan.
- 2) The note **Typical** has been added to the parking dimensions per our discussion.
- 3) Note # 5 shows the width of the new sidewalk and note # 17 shows the width of the existing sidewalk.
- 4) See attached copy of the zoning ordinance addressing this issue.
- 5) The sidewalk is not flush with asphalt. We have added a handicap ramp to the sidewalk.
- 6) The fence extends to the street only. There are no fence in the front of the property. We have changed the color of existing fence to clarify this issue.

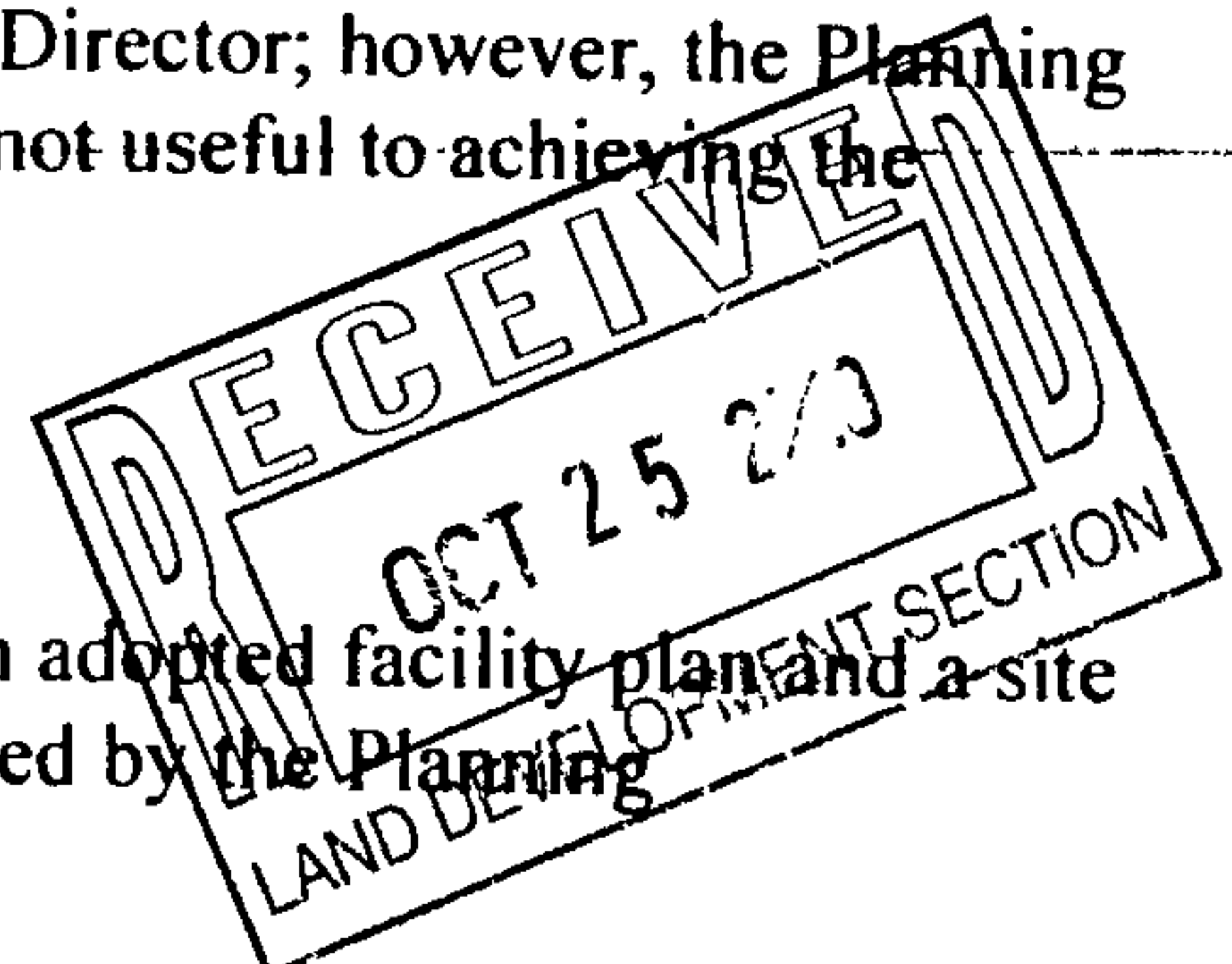
Please revised the Engineer's name and our mailing address in your data base to the one on the site plan and sublittal sheet. Should you have any questions regarding this letter, do not hesitate to contact me.

Sincerely,

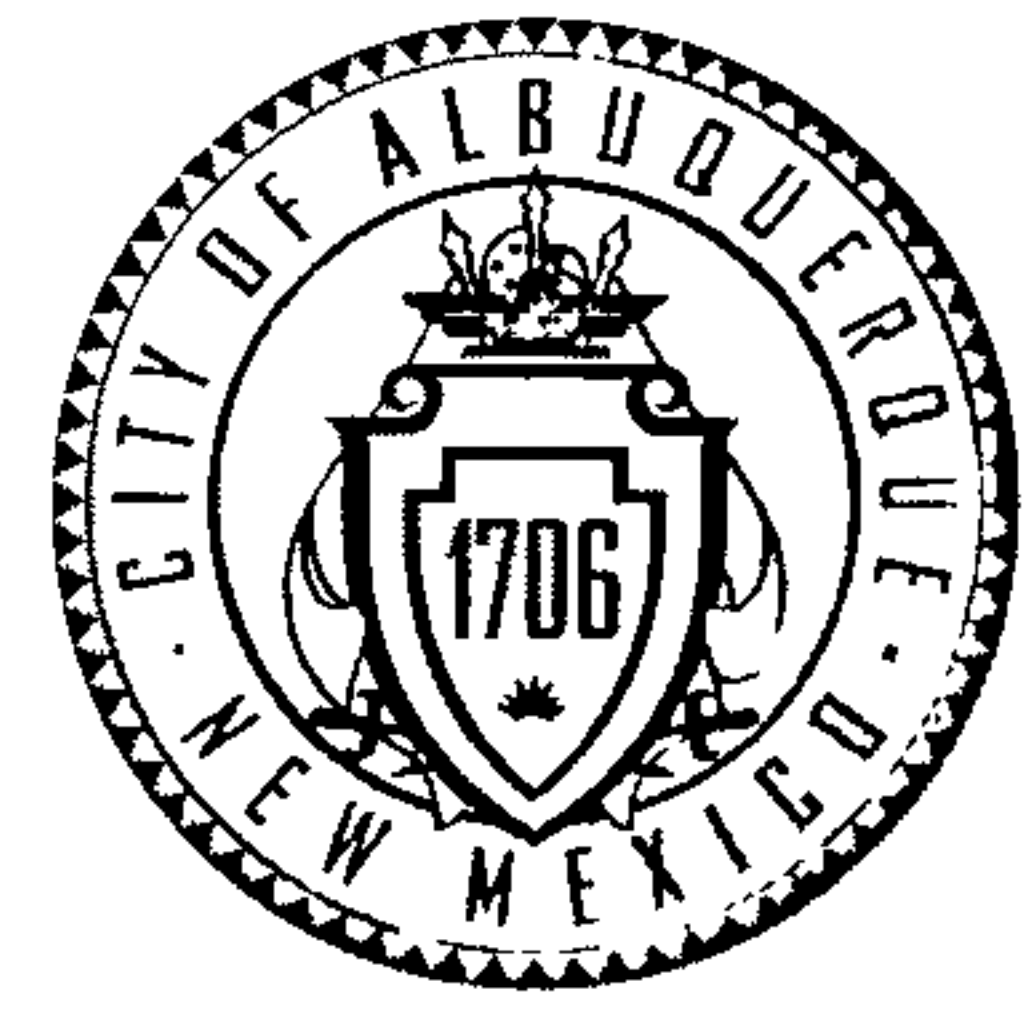
Shawn Biazar, Managing Member



- (10) Office.
- (11) Park-and-ride temporary facilities.
- (12) Parking lot, providing it complies with the following:
- (a) Paving, all of which shall be maintained level and serviceable.
1. The lot must be graded and surfaced with one of the following:
- a. Blacktop or equal: Two inches of asphalt concrete on a prime coat over a four inch compacted subgrade, or a surface of equal or superior performance characteristics.
- ~~X~~ b. For parking lots of 20 or fewer spaces, Gravel: A layer at least two inches thick of gravel-sized from 3/8" minimum to one-inch maximum diameter, at least 1/2 inch of which shall be maintained on the surface; gravel shall be kept off the right-of-way.
2. If street curbs and gutters exist adjacent to the parking lot property on a side where lot egress is allowed, the surfacing shall be blacktop for the width of the egress drive(s) and shall extend inward from the property line a minimum of 25 feet along all normal lines of egress traffic flow from the lot.
- (b) The lot shall have barriers which prevent vehicles from extending over the sidewalk or abutting lots, or beyond the sides of a parking structure.
- (c) A solid wall or fence at least six feet high shall be erected on sides which abut land, other than public right-of-way land, in a residential zone. (See also § 14-16-3-10 of this Zoning Code) However:
1. Such wall or fence shall be three feet high in the area within 11 feet of a public sidewalk or planned public sidewalk location.
2. If the wall or fence plus retaining wall would have an effective height of over eight feet on the residential side, the Zoning Hearing Examiner shall decide the required height; such decision shall be made by the same process and criteria required for a conditional use.
- (d) In a parking structure there shall be a six-foot solid wall on every parking level where the structure is within 19 feet of privately owned land in a residential zone.
- (e) Ingress or egress shall be designed to discourage parking lot traffic from using local residential streets for more than 150 feet, unless no reasonable alternative is available.
- (f) A parking lot hereafter developed shall include landscaping planted and maintained according to a Landscaping Plan approved by the Planning Director; however, the Planning Commission may waive this requirement where it is found not useful to achieving the intent of this Zoning Code.
- (13) Photocopy, photography studio, except adult photo studio.
- (14) Public utility structure, provided its location is in accord with an adopted facility plan and a site development plan for building permit purposes has been approved by the Planning Commission.



# CITY OF ALBUQUERQUE



February 20, 2014

Reza Afaghpour, P.E.  
SBS Construction and Engineering  
10209 Snowflake Ct. NW  
Albuquerque, NM 87114

**Re: Lot 7 Block 6 Sombra Del Monte, 2512 Vermont NE  
Request for Permanent C.O. - Accepted  
Engineer's Stamp dated: 10-25-10 (H19/D079)  
Certification dated: 2-19-14**

Dear Mr. Afaghpour,

Based on the Certification received 2/19/2014, the site is acceptable for release of Permanent Certificate of Occupancy by the Hydrology department.

Hydrology is asking for an electronic copy, in .pdf format, of this certification for our records once the permanent CO is accepted. This certification can be e-mailed to: [rrael@cabq.gov](mailto:rrael@cabq.gov).

PO Box 1293

Albuquerque

If you have any questions, you can contact me at 924-3986 or Rudy Rael at 924-3977.

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Planning Dept.  
Development and Building Services

RR/CC  
C: CO Clerk—Katrina Sigala  
email





# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: LOT 7 BLOCK 6, SOMBRA DEL MONTE Building Permit # \_\_\_\_\_ City Drainage #: H19/D079

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: LOT 7 BLOCK 6, SOMBRA DEL MONTE

City Address: 2510 VERMONT ST, NE

Engineering Firm: SBS SONSTRUCTION AND ENGINEERING, LLC Contact: SHAWN BIAZAR

Address: 10209 SNOWFLAKE CT, NW, ALBUQUERQUE, NM 87114

Phone# (505) 804-5013 Fax#: (505) 897-4996 E-mail: AECLLC@AOL.COM

Owner: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Architect: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone# \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Surveyor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax# \_\_\_\_\_ E-mail: \_\_\_\_\_

Contractor: \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

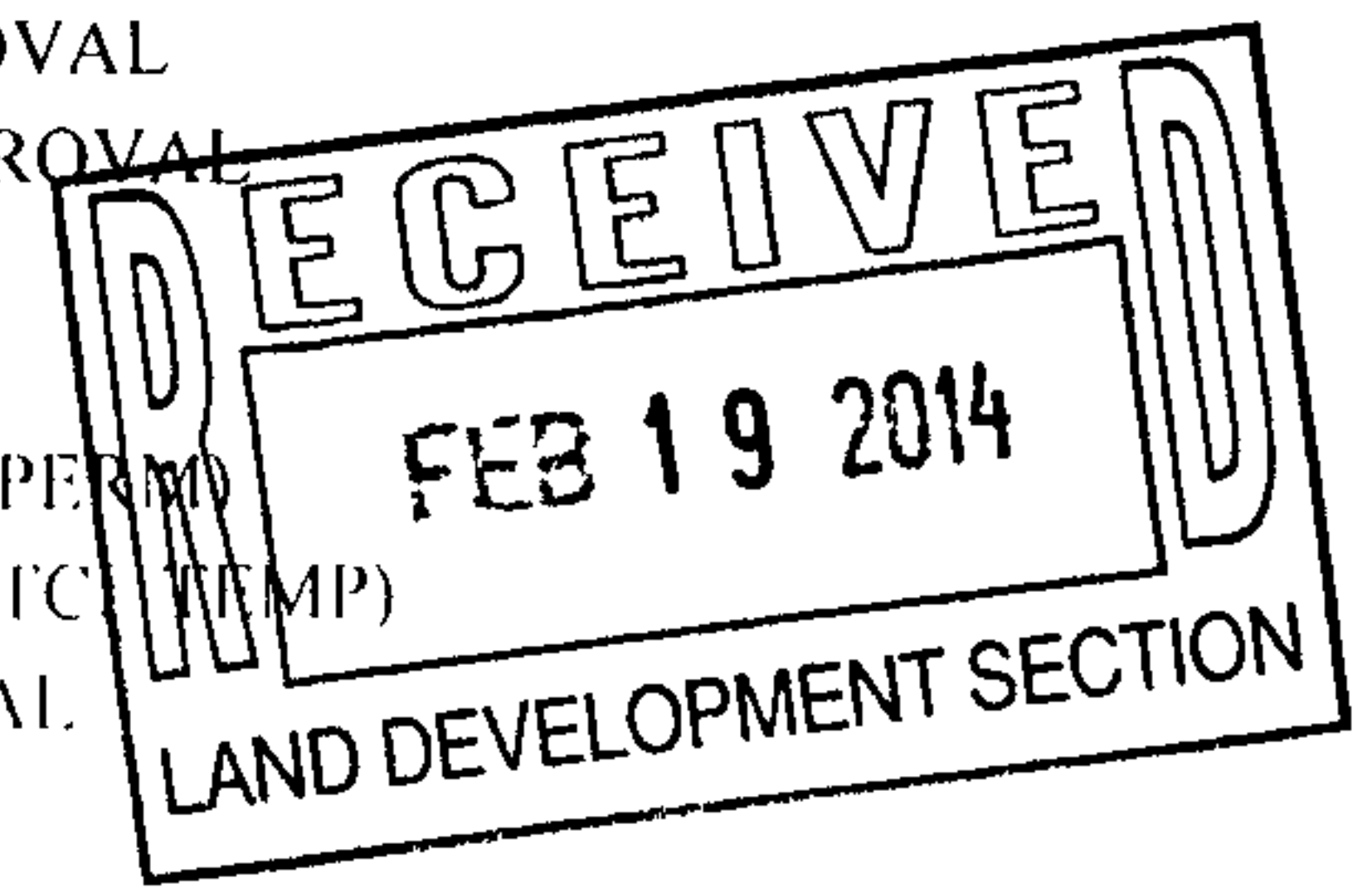
Phone# \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/OMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CLRT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



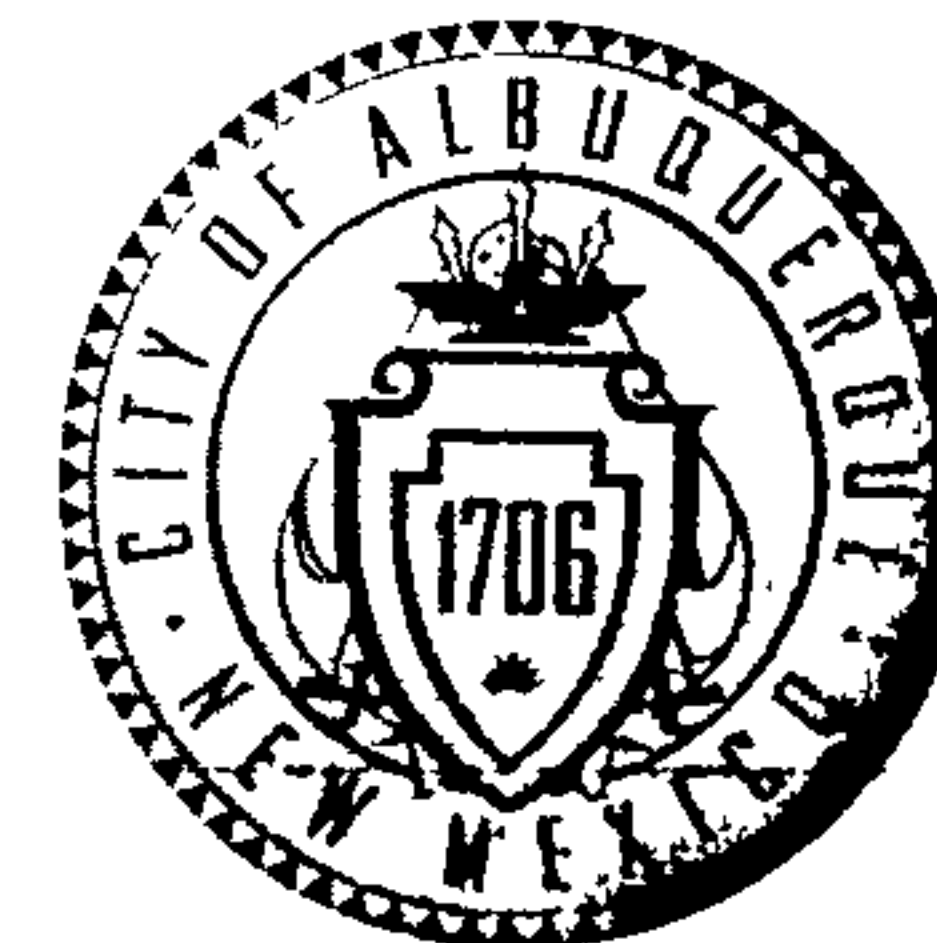
WAS A PRE-DESIGN CONFERENCE ATTENDED.  Yes  No  Copy Provided

DATE SUBMITTED 02-19-2014 By: SHAWN BIAZAR

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

# CITY OF ALBUQUERQUE



November 1, 2010

Leila Momenzadeh, P.E.  
Advanced Engineering and Consulting, LLC  
P.O. Box 10747  
Albuquerque, NM 87184

**Re: Lot 7 Block 6 Sombra Del Monte  
Grading and Drainage Plan  
Engineer's Stamp dated 10-25-10 (H19/D079)**

Dear Ms. Momenzadeh,

Based upon the information provided in your submittal received 10-25-2010, the above referenced plan is approved for Building Permit and Grading Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

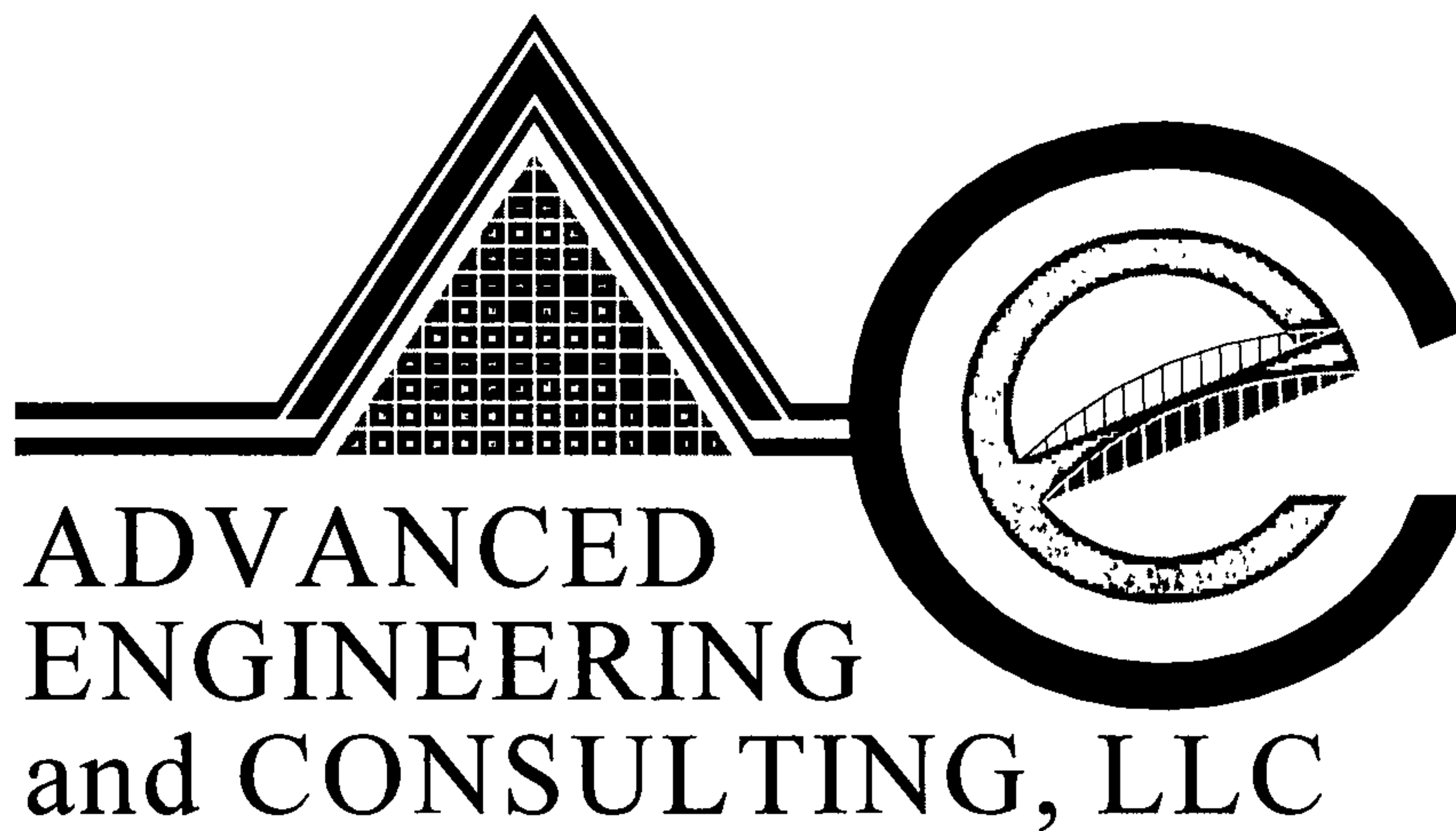
C: File

DRAINAGE REPORT  
FOR

# LOT 7

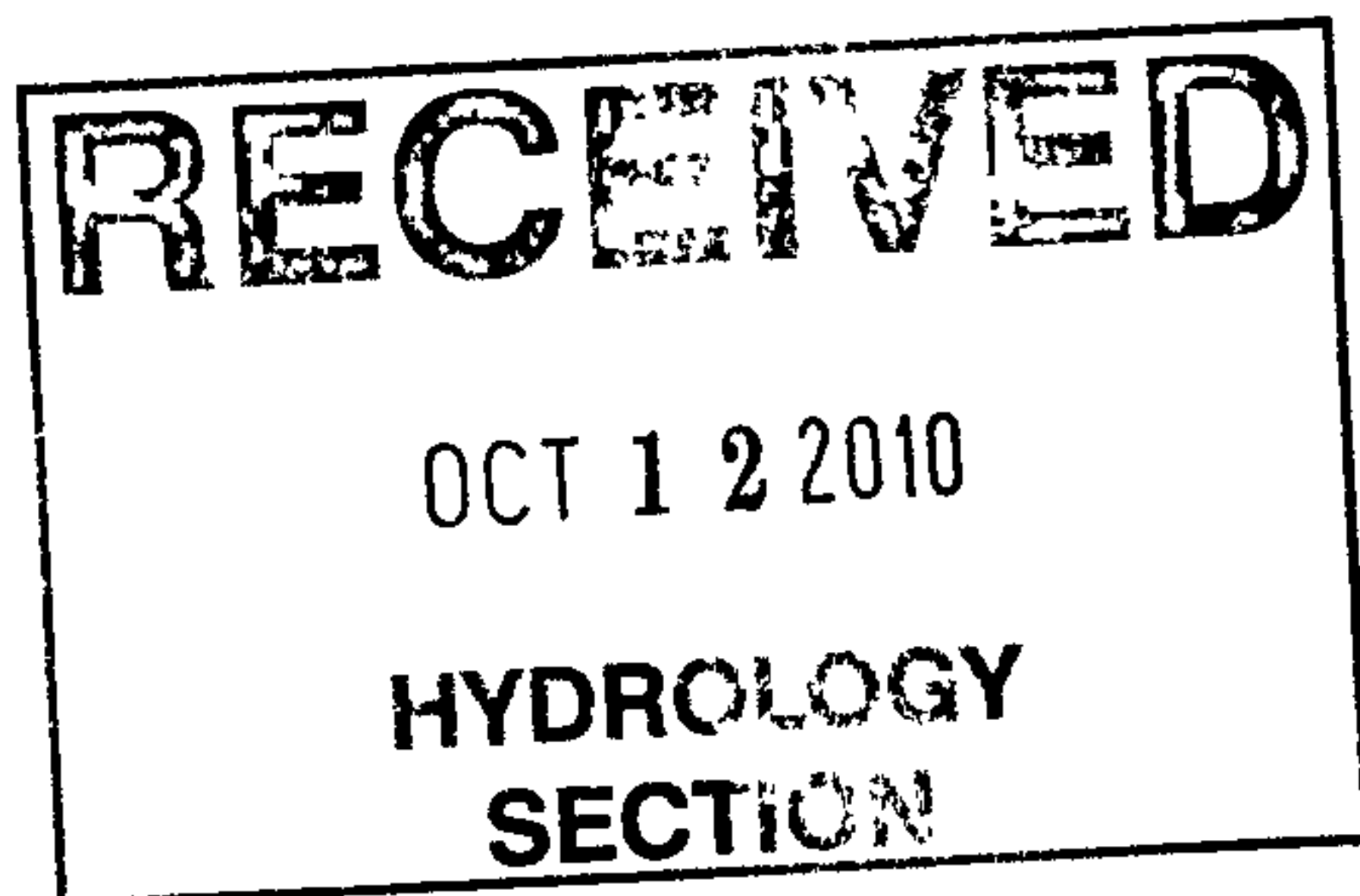
BLOCK 6, SOMBRA DEL MONTE  
2516 VERMONT, NE, ALBUQUERQUE, NM  
12

Prepared by:

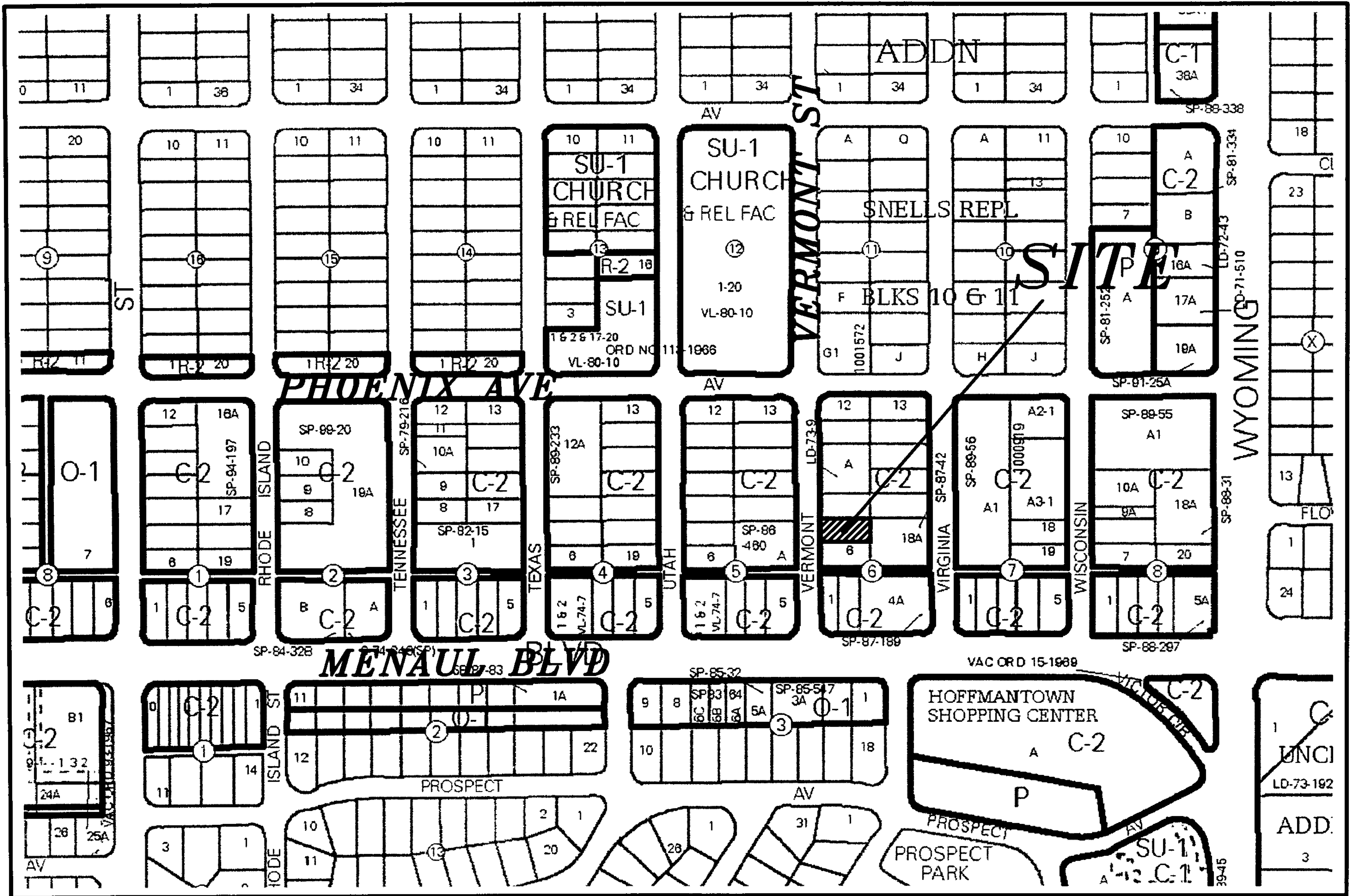


P.O. BOX 10747  
Albuquerque, New Mexico 87184

October, 2010







VICINITY MAP:

H-19-Z

## **Location**

Lot 7, Block 6, Sombra Del Monte is located at 2516 Vermont Street NE, Albuquerque, NM. See attached portion of Zone Atlas page number H-19 for exact location.

## **Purpose**

The purpose of this drainage report is to present a grading and drainage solution for the proposed building. We are requesting rough grading, site plan, and building permit approval.

## **Existing Drainage Conditions**

The site for the most part drains from East to West. Small portion of the site drains South to the adjacent property. Very small amount of runoff may enter the site from the north. No other offsite runoff enters this site. The site does not fall within ~~a falls within~~ a 100-year floodplain.

## **Proposed Conditions and On-Site Drainage Management Plan**

The offsite runoff from the north will continue to drain to this site. The proposed runoff from the site will drain from East to West to Vermont Street and then South to Menaul Boulevard. From there the runoff is then intercepted by the storm drain within Menaul Boulevard. The increase in the runoff is fairly insignificant that will not have an impact on the capacity of the storm drain system within Menaul Boulevard.

## **Calculations**

City of Albuquerque, Development Process Manuel, Section 22.2, Hydrology Section, was used for runoff calculations. See this report for the Summary Table of the runoff. See also this report for the AHYMO input and output files for runoff calculations.



**RUNOFF CALCULATIONS**  
(INPUT DATA FOR AHYMO CALCULATIONS)

The site is @ Zone 3

**DEPTH (INCHES) @ 100-YEAR STORM**

$$P_{60} = 2.14 \text{ inches}$$

$$P_{360} = 2.60 \text{ inches}$$

$$P_{1440} = 3.10 \text{ inches}$$

**DEPTH (INCHES) @ 10-YEAR STORM**

$$P_{60} = 2.14 \times 0.667 \\ = 1.43 \text{ inches}$$

$$P_{360} = 1.73$$

$$P_{1440} = 2.07$$

## RUNOFF CALCULATION RESULTS

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	8550.00	0.1963	0.000307

### HISTORICAL

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
ON-SITE	0.38	0.11	100%, 0%, 0%, 0%

### PROPOSED

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
ON-SITE	0.97	0.63	0%, 5%, 5%, 90%

*15%*

# AHYMO INPUT FILE

```
* LOT 7, BLOCK 6, SOMBRA DEL MONTE
*****
*      100-YEAR,  6-HR STORM (UNDER HISTORICAL CONDITIONS)      *
*****
START
RAINFALL          TYPE=1 RAIN QUARTER=0.0 IN
                  RAIN ONE=2.14 IN RAIN SIX=2.60 IN
                  RAIN DELAY=3.10 IN DT=0.00512 HR
COMPUTE NM HYD   ID=1 HYD NO=100.0 AREA=0.000307 SQ MI
                  PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
                  TP=0.1333 HR MASS RAINFALL=-1
*****
*      10-YEAR,   6-HR STORM (UNDER HISTORICAL CONDITIONS)      *
*****
*
START            TIME=0.0
RAINFALL        TYPE=1 RAIN QUARTER=0.0 IN
                  RAIN ONE=1.43 IN RAIN SIX=1.73 IN
                  RAIN DAY=2.07 IN DT=0.03333 HR
COMPUTE NM HYD  ID=1 HYD NO=110.0 AREA=0.000307 SQ MI
                  PER A=110.00 PER B=0.00 PER C=0.00 PER D=0.00
                  TP=0.1333 HR MASS RAINFALL=-1
*****
*      100-YEAR,  6-HR STORM (UNDER PROPOSED CONDITIONS)      *
*****
START
RAINFALL        TYPE=1 RAIN QUARTER=0.0 IN
                  RAIN ONE=2.14 IN RAIN SIX=2.60 IN
                  RAIN DELAY=3.10 IN DT=0.03333 HR
COMPUTE NM HYD  ID=1 HYD NO=101.0 AREA=0.000307 SQ MI
                  PER A=0.00 PER B=5.00 PER C=5.00 PER D=90.00
                  TP=0.1333 HR MASS RAINFALL=-1
*****
*      10-YEAR,   6-HR STORM (UNDER PROPOSED CONDITIONS)      *
*****
START            TIME=0.0
RAINFALL        TYPE=1 RAIN QUARTER=0.0 IN
                  RAIN ONE=1.43 IN RAIN SIX=1.73 IN
                  RAIN DAY=2.07 IN DT=0.03333 HR
COMPUTE NM HYD  ID=1 HYD NO=111.0 AREA=0.000307 SQ MI
                  PER A=0.00 PER B=5.00 PER C=5.00 PER D=90.00
                  TP=0.1333 HR MASS RAINFALL=-1
*****
FINISH
```





**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(Rev. 12/05)

PROJECT TITLE: LOT 7, BLOCK 6, SOMBRA DEL MONTE ZONE ATLAS/DRG. FILE #: H19/D079  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: 2516 VERMONT NE, ALBUQUERQUE, NM  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC  
 ADDRESS: P.O. BOX 10747  
 CITY, STATE: Albuquerque, New Mexico

CONTACT: Shawn Biazar  
 PHONE: (505) 899-5570  
 ZIP CODE: 87184

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: Fax 897-4996  
 PHONE: when done  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

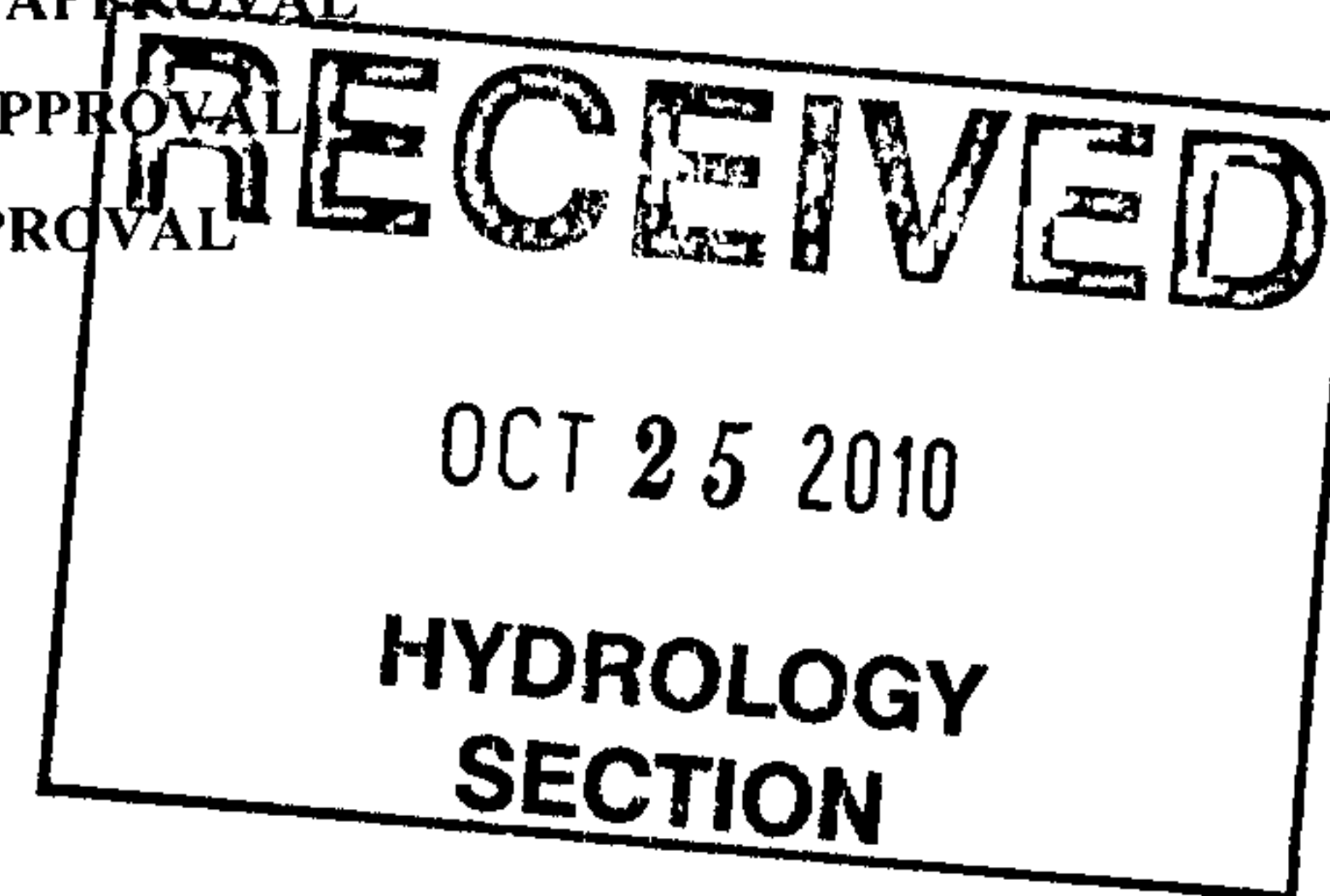
- DRAINAGE REPORT
- DRAINAGE PLAN 1ST SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR / LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER/ARCHITECT CERT (TCL)
- ENGINEER/ARCHITECT CERT (DRB S.P.)
- ENGINEER/ARCHITECT CERT (AA)
- OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY) \_\_\_\_\_

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

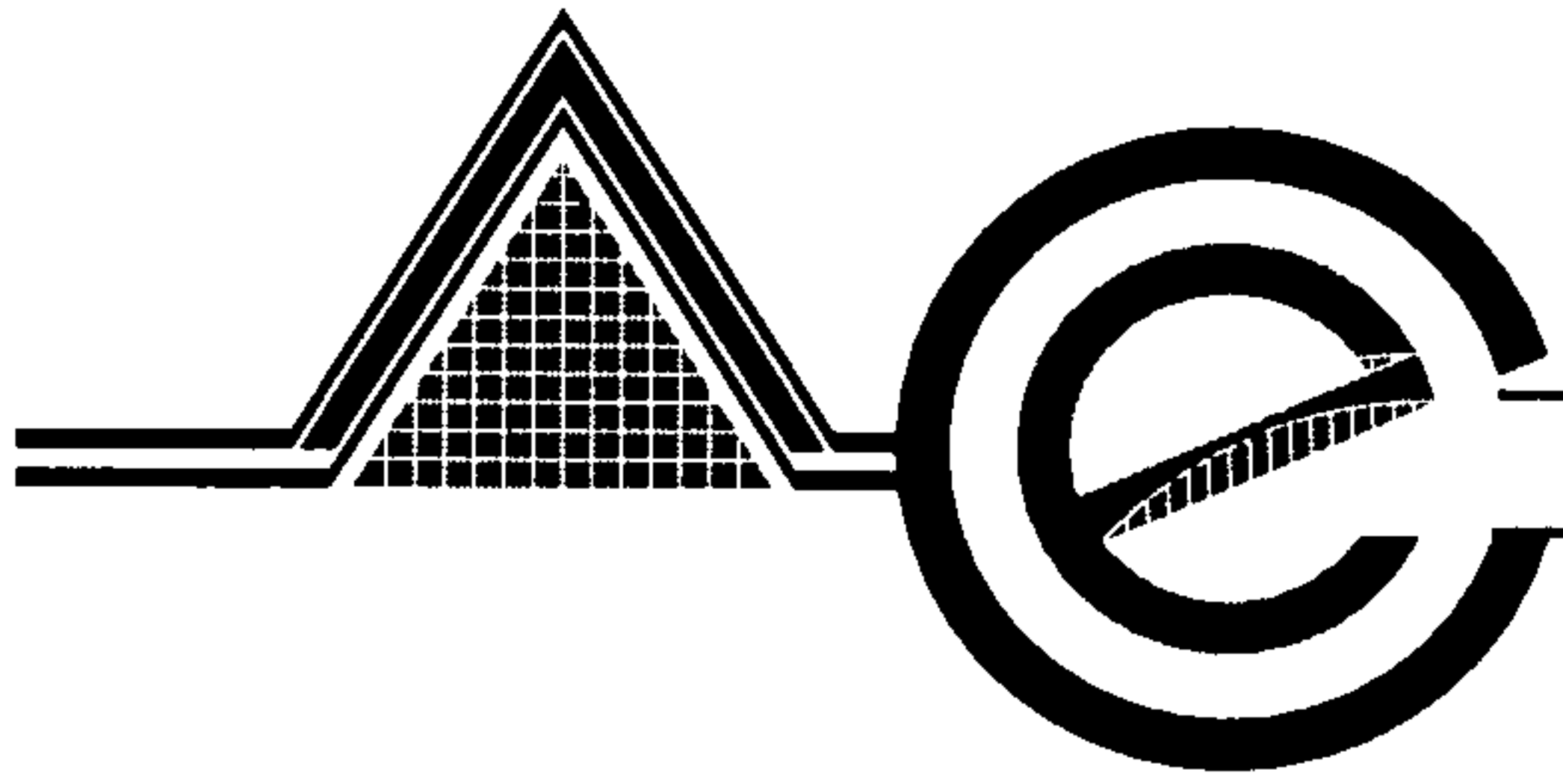
- YES
- NO
- COPY PROVIDED



DATE SUBMITTED: 10 / 25 / 2010 BY: Shawn Biazar

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



ADVANCED ENGINEERING and CONSULTING, LLC

October 25, 2010

*Consulting  
Design  
Development  
Management  
Inspection  
Surveying*

Mr. Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Permit  
600 2<sup>nd</sup> Street, SW  
Albuquerque, NM 87102

RE: **Lot 7, Block 6, Sombmre Del Monte, Grading and Drainage Plan, H19/D079**

Dear Mr. Cherne:

Attached please find a copy of the revised grading and drainage plan. Addressed below for the comments dated October 18, 2010.

- 1) We have shown the direction of the flow on the proposed building.
- 2) We have clarified the landscaping areas and have added the depressed landscaping note to the grading plan.
- 3) The two pads on both sides of the building are part of the building. The grading plan shows these two pads as part of the building.
- 4) The grades at the entrance were raised 0.20' as we discussed to address the water block issue.

Please revised our mailing address in your data base to the one on the sublittal sheet.

Should you have any questions regarding this letter, do not hesitate to contact me.

Sincerely,

Shawn Biazar, Managing Member

