

NOTICE TO CONTRACTORS

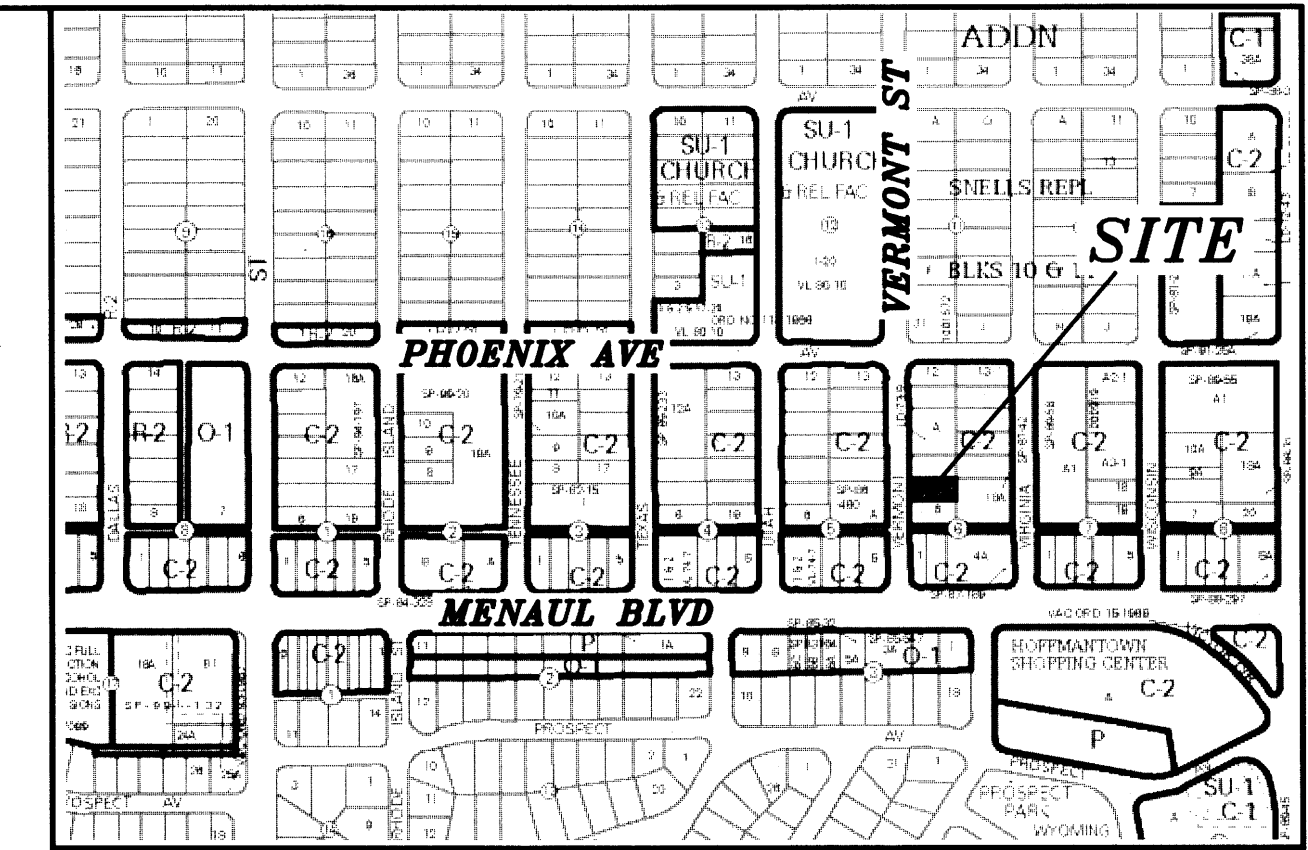
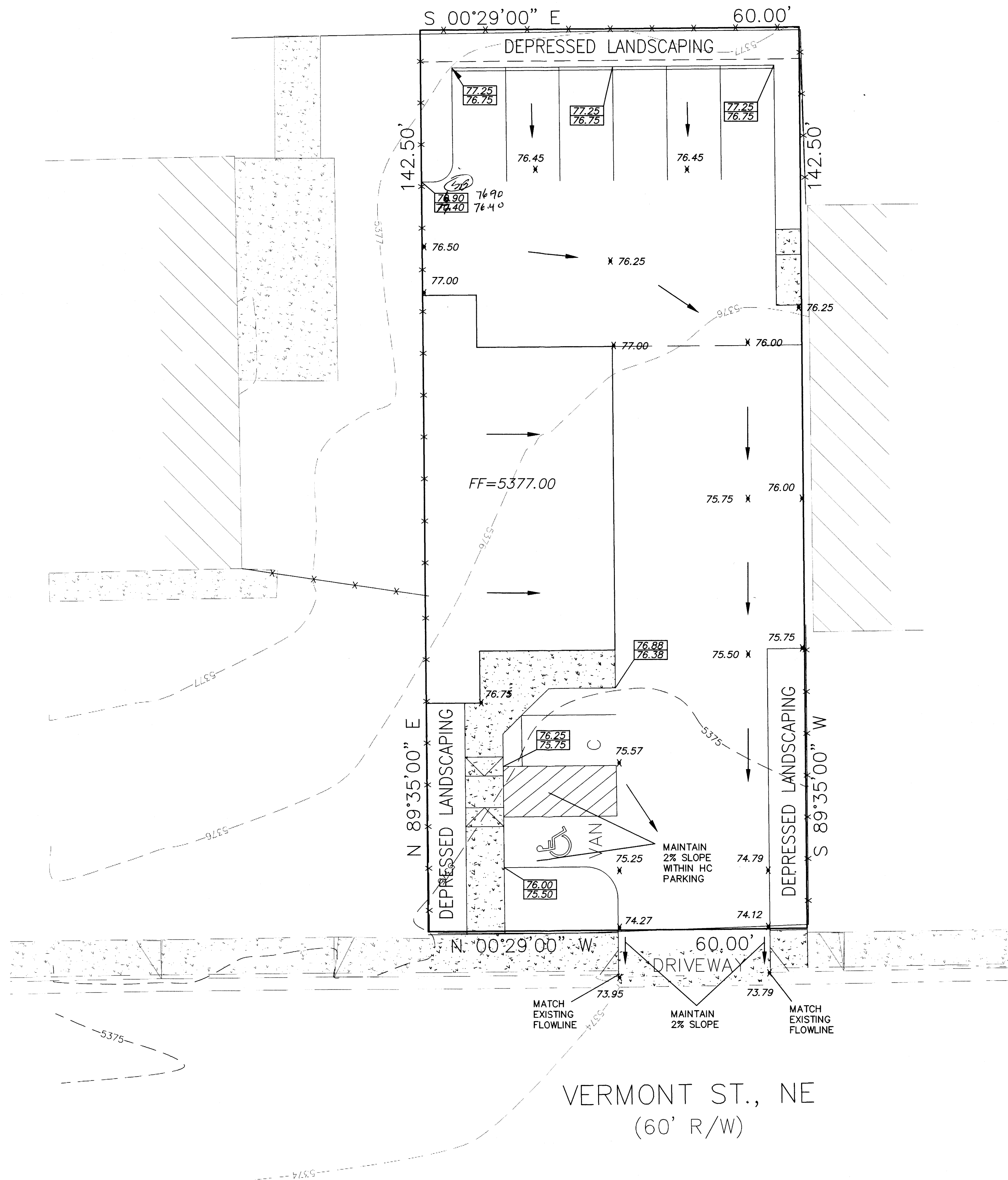
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL FOR LOCATING SERVICE, 260-1990 OR "811", FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES:

1. ADD 5300 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-11-H19 HAVING AN ELEVATION OF 5364.257 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.

EROSION CONTROL PLAN
AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.



LEGAL DESCRIPTION:

LOT 7, BLOCK 6, SOMBRA DEL MONTE
CONTAINING 8,100.00 S.F. (0.1860 ACRE)
ZONING: C-2 USES

ADDRESS

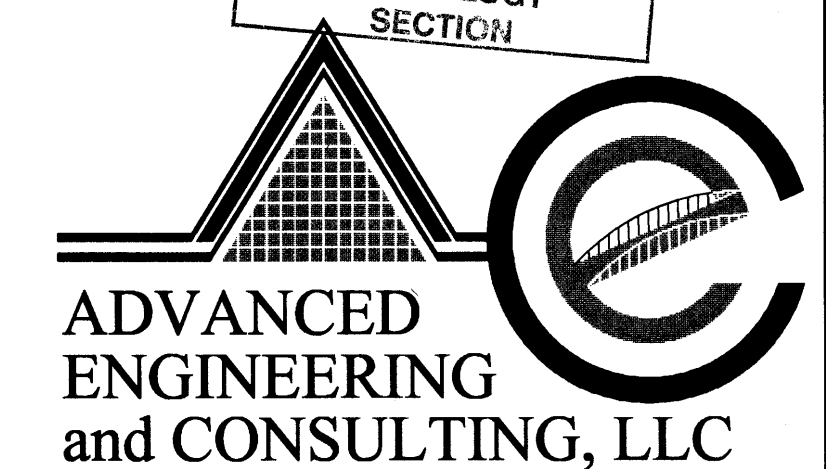
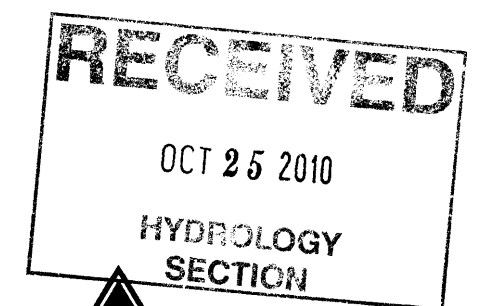
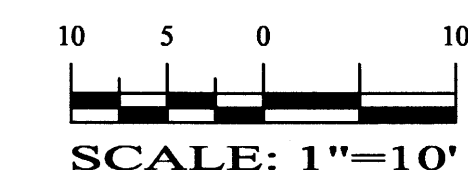
2516 VERMONT, NE, ALBUQUERQUE, NM

LEGEND

---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	BOUNDARY LINE
---	EASEMENT
TC --- 70.90 FL --- 70.40	PROPOSED GRADE
X 70.28	PROPOSED SPOT ELEVATION
* 5265.16	EXISTING GRADE



GRAPHIC SCALE



P.O. BOX 10747
ALBUQUERQUE, NEW MEXICO 87184
(505)899-5570

LOT 7, BLOCK 6, SOMBRA DEL MONTE
GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201005-GR.DWG	SBH	10-07-2010	1 OF 1

ROUGH GRADING APPROVAL

DATE

NOTICE TO CONTRACTORS

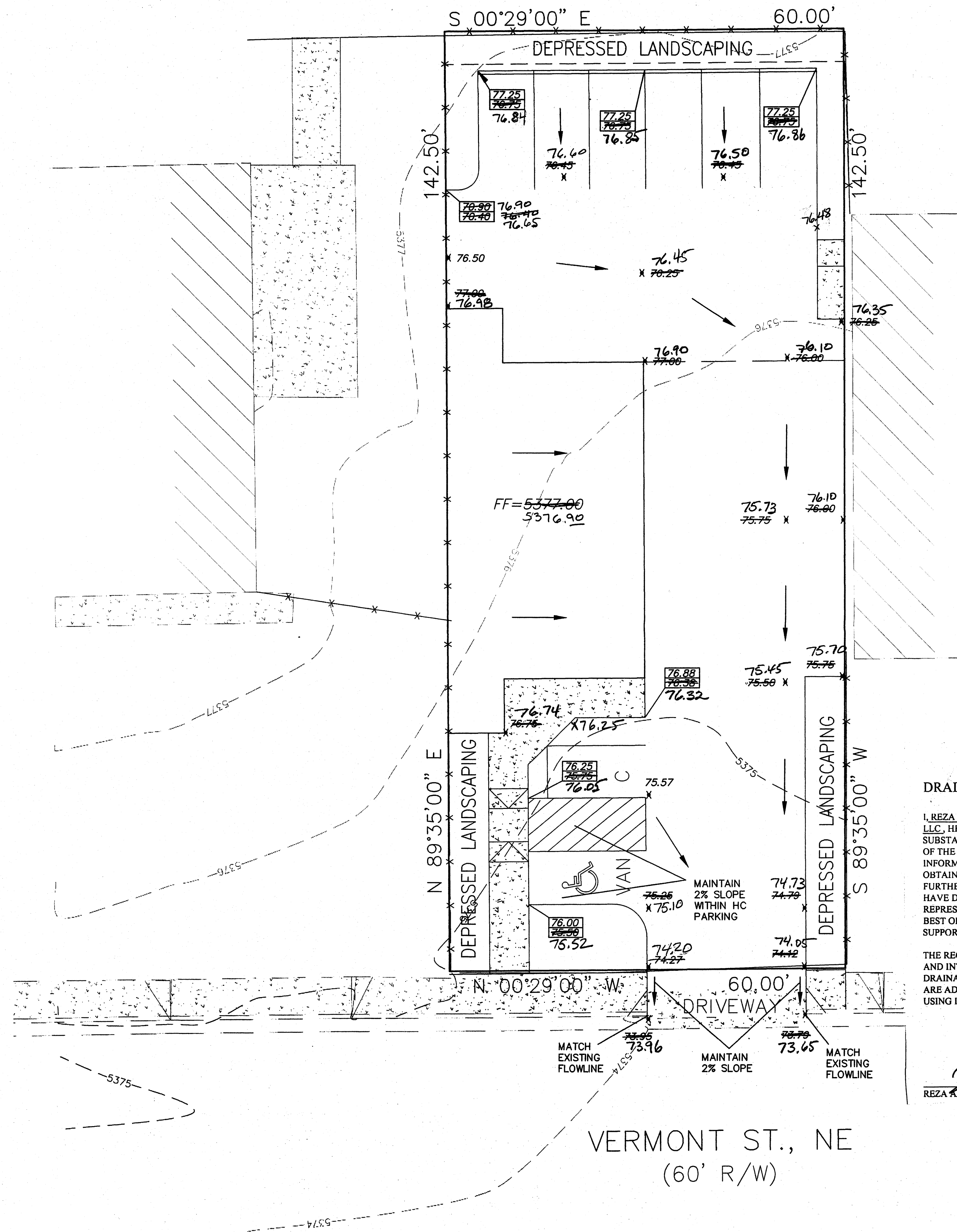
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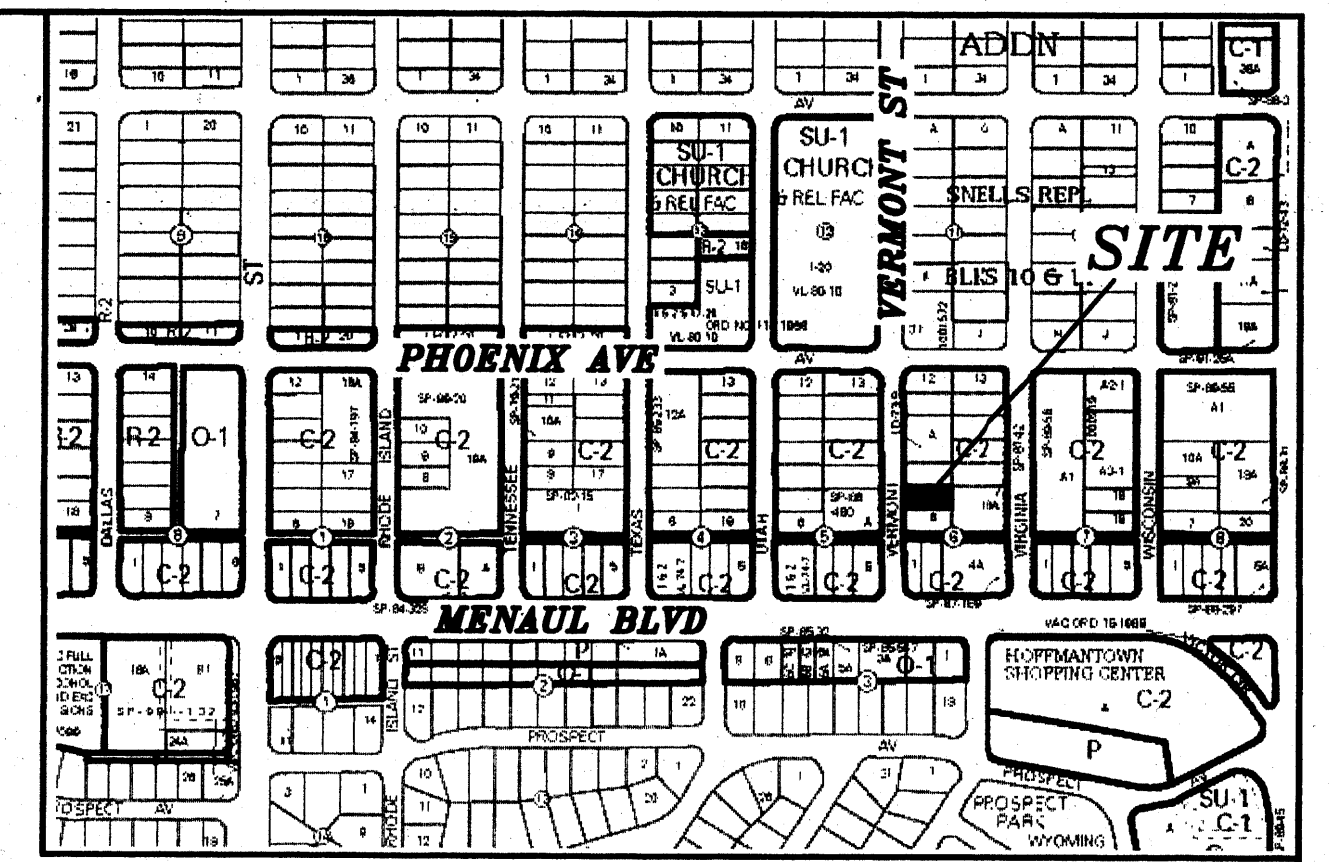


DRAINAGE CERTIFICATION

I, REZA AFAGHPUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10-25-2010. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 2801, OF SBS CONSTRUCTION AND ENGINEERING, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPUR, NMPE 11814
2/19/2014
DATE



LEGAL DESCRIPTION:

LOT 7, BLOCK 6, SOMBRA DEL MONTE
CONTAINING 8,100.00 S.F. (0.1860 ACRE)
ZONING: C-2 USES

ADDRESS

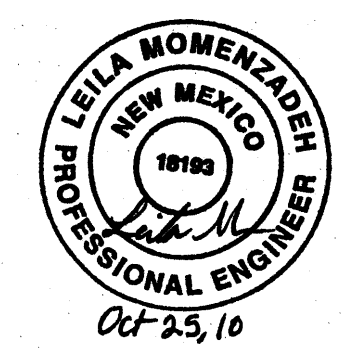
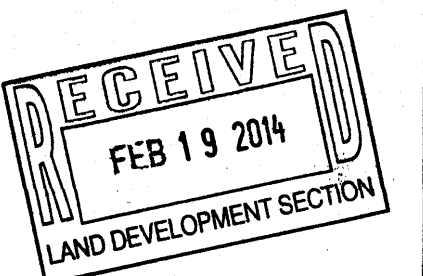
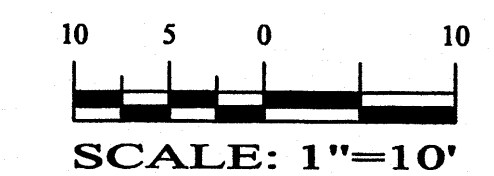
2516 VERMONT, NE, ALBUQUERQUE, NM

LEGEND

- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- 5100 EXISTING CONTOUR (MAJOR)
- 5132 EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- As-Built
- As-Built



GRAPHIC SCALE



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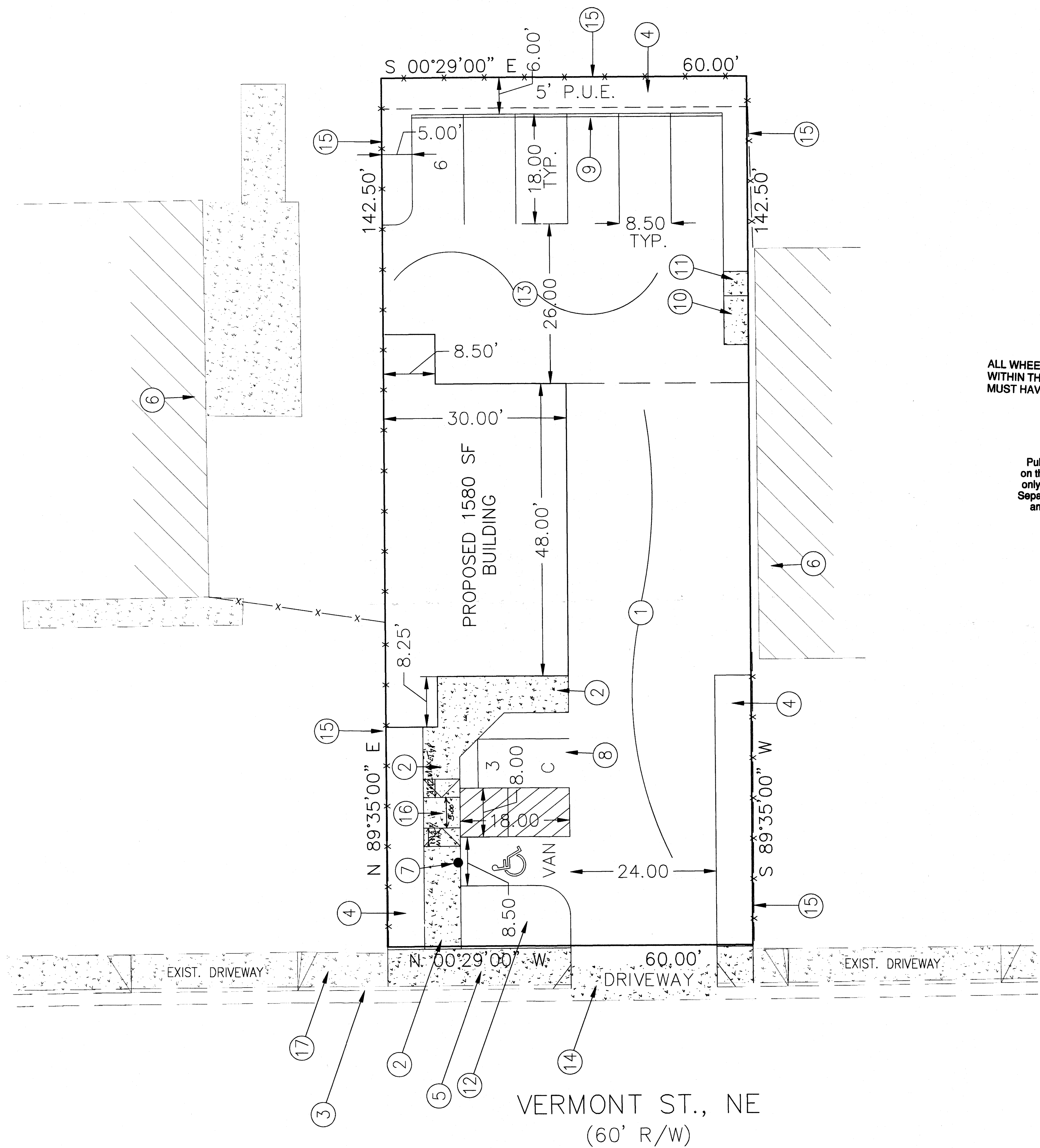
LOT 7, BLOCK 6, SOMBRA DEL MONTE GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
201005-GR.DWG	SBH	10-07-2010	1 OF 1

ROUGH GRADING APPROVAL

DATE

LAST REVISION: 10-07-2010



SITE DATA

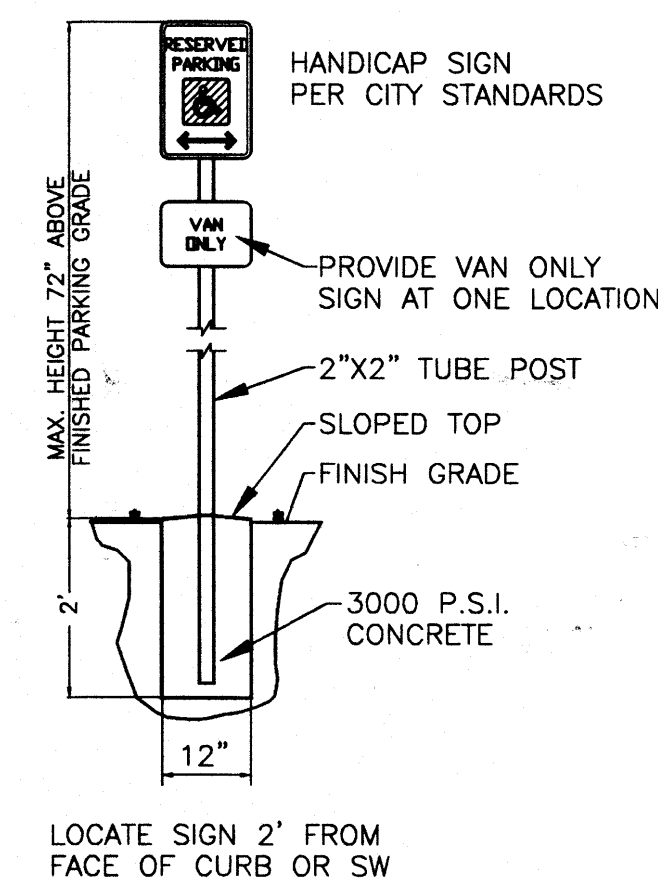
PROPOSED USAGE: OFFICE
 LOT AREA: 8,550 S.F. (0.1963 ACRE)
 NEW BUILDING AREA: 1,580.00 S.F.

LANDSCAPE CALCULATIONS:
 NET LOT AREA 8,550.00 SF ±
 LANDSCAPING REQUIRED: 1,045.00 SF ±
 15% OF 6,520.00 SF
 LANDSCAPE PROVIDED 1,100.00 SF ±

PARKING CALCULATIONS:
 PARKING REQUIRED:
 OFFICE: 1580.00 SF/200 8 SPACES
 TOTAL PARKING PROVIDED: 8 SPACES
 HC PARKING REQUIRED: 1 SPACES (1 VAN)
 HC PARKING PROVIDED: 1 SPACES (1 VAN)
 MOTORCYCLE SPACES REQUIRED: 1 SPACES
 MOTORCYCLE SPACES PROVIDED: 1 SPACES

ALL WHEELCHAIR RAMPS LOCATED
 WITHIN THE PUBLIC RIGHT OF WAY
 MUST HAVE TRUNCATED DOMES.

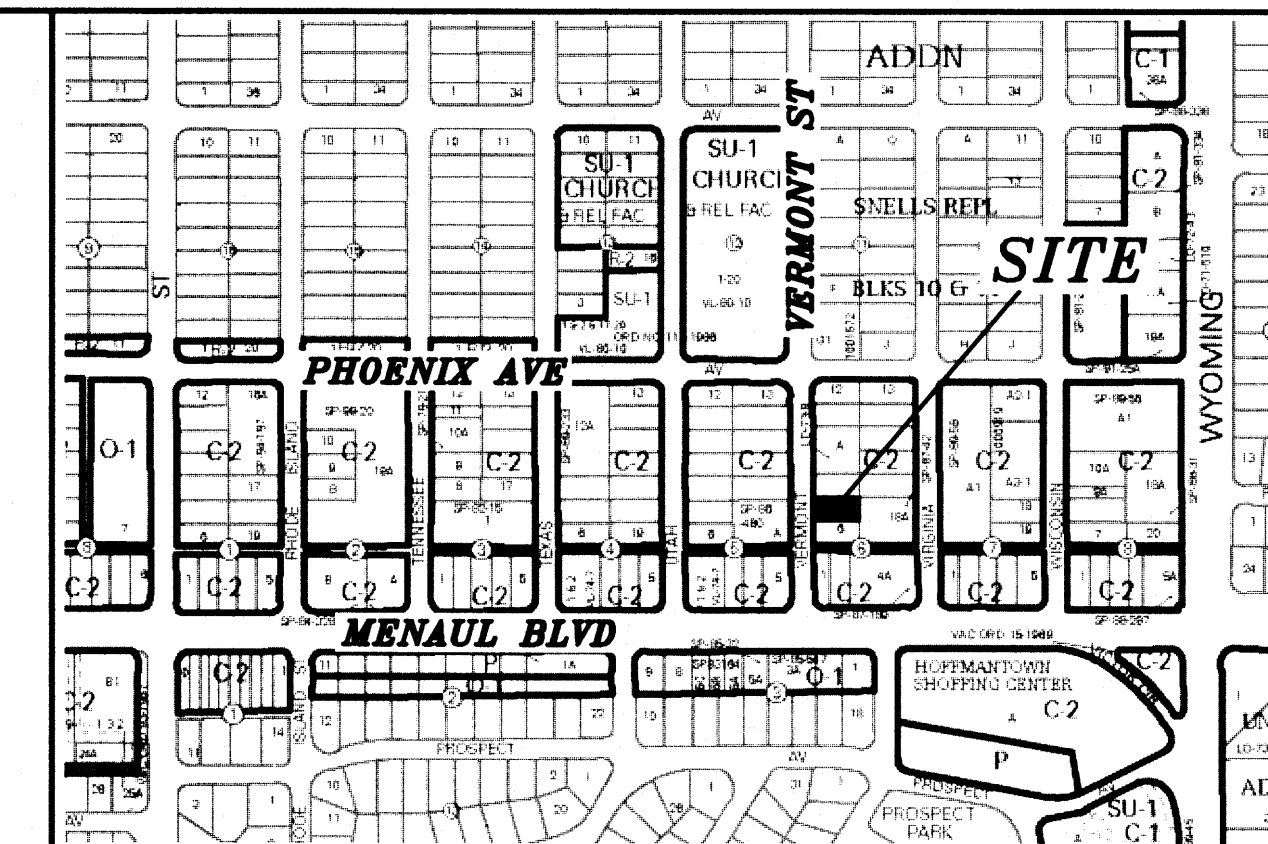
Public Infrastructure shown
 on these plans for information
 only and not part of approval.
 Separate DRG/Permit approval
 and Work Order required.



HANDICAP SIGN DETAIL
 NTS

LEGEND

---	BOUNDARY LINE
---	BUILDING
---	EASEMENT LINE
---	PROPOSED CURB ON SITE
---	NUMBER PARKING SPACES
---	PROPOSED CONCRETE AREA

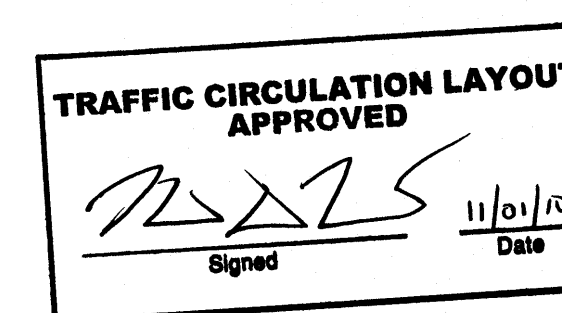


VICINITY MAP:

H-19-Z

LEGAL DESCRIPTION:
 LOT 7, BLOCK 6, SOMBRA DEL MONTE
 CONTAINING 8,100.00 S.F. (0.1860 ACRE)
 ZONING: C-2 USES

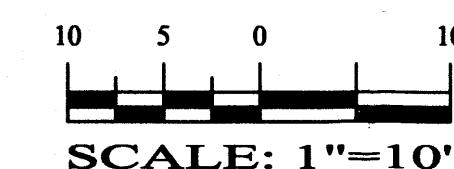
ADDRESS
 2516 VERMONT, NE, ALBUQUERQUE, NM



KEYED NOTES:

1. NEW ASPHALT PAVING
2. NEW RAISED 6' SIDEWALK
3. EXISTING CURB & GUTTER
4. 6' LANDSCAPING BUFFER
5. NEW 6' PUBLIC SIDEWALK PER CITY STD DWG 2430
6. EXISTING BUILDING
7. NEW HANDICAP SIGN PER CITY OF ALBUQ. STANDARDS
8. COMPACT PARKING (8.00' X 15.00')
9. INSTALL PINNED CURB OR SIMILAR
10. NEW MOTOR CYCLE PARKING (4'X8')
11. NEW BIKE RACK PER CITY OF ALBUQ. STANDARDS
12. 10' LANDSCAPING BUFFER
13. PROPOSED 3" GRAVEL OVER COMPACTED SUBGRADE
14. NEW DRIVEWAY ENTRANCE PER CITY STD DWG 2425
15. EXISTING FENCE
16. HC RAMP PER CITY STANDARDS
17. EXISTING 6' SIDEWALK

GRAPHIC SCALE

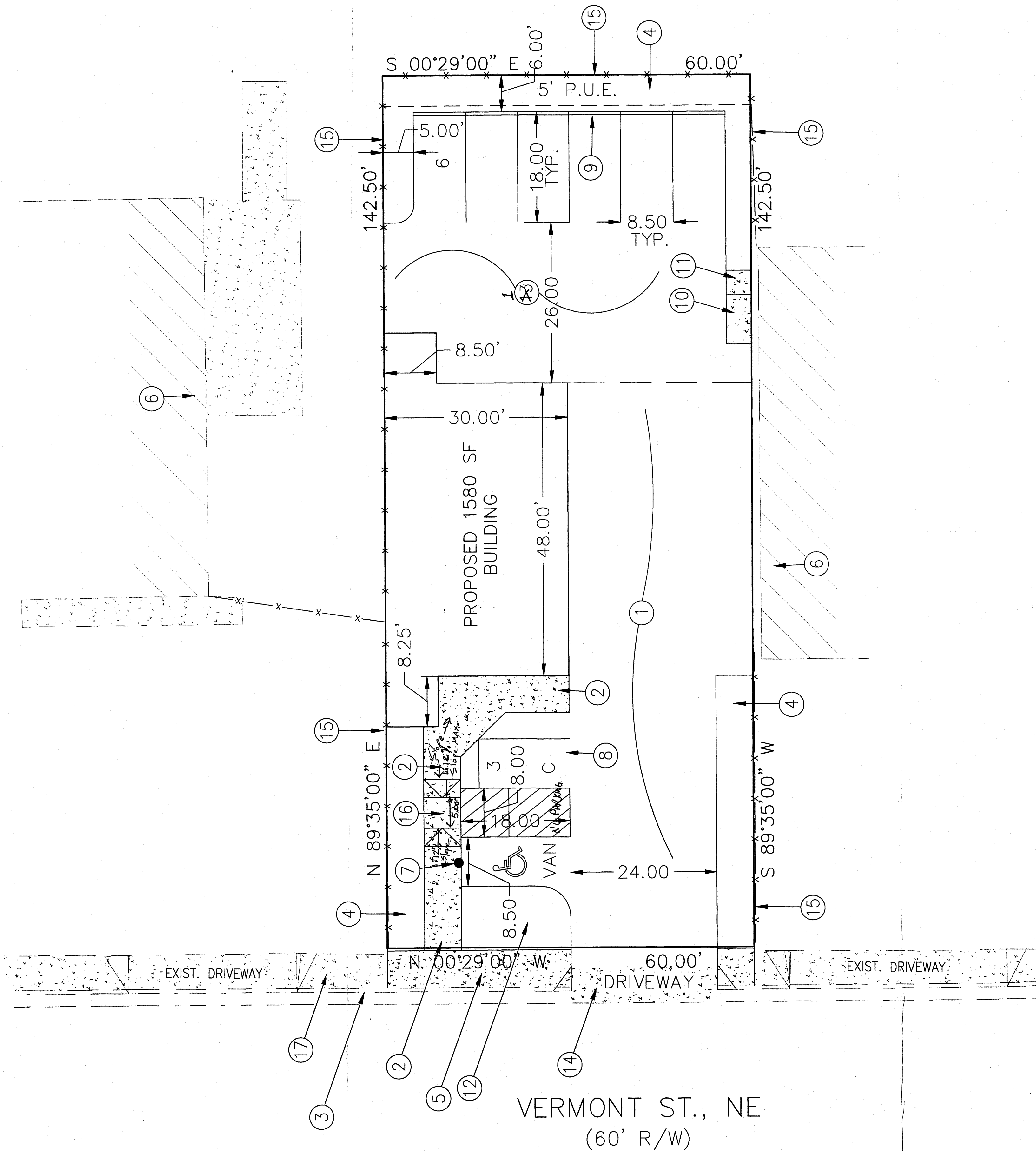


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LOT 7, BLOCK 6, SOMBRA DEL MONTE SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201005-SP.DWG	SBH	10-3-2010	1 OF 1

LAST REVISION: 10-03-10



SITE DATA

PROPOSED USAGE: OFFICE
 LOT AREA: 8,550 S.F. (0.1963 ACRE)
 NEW BUILDING AREA: 1,580.00 S.F.

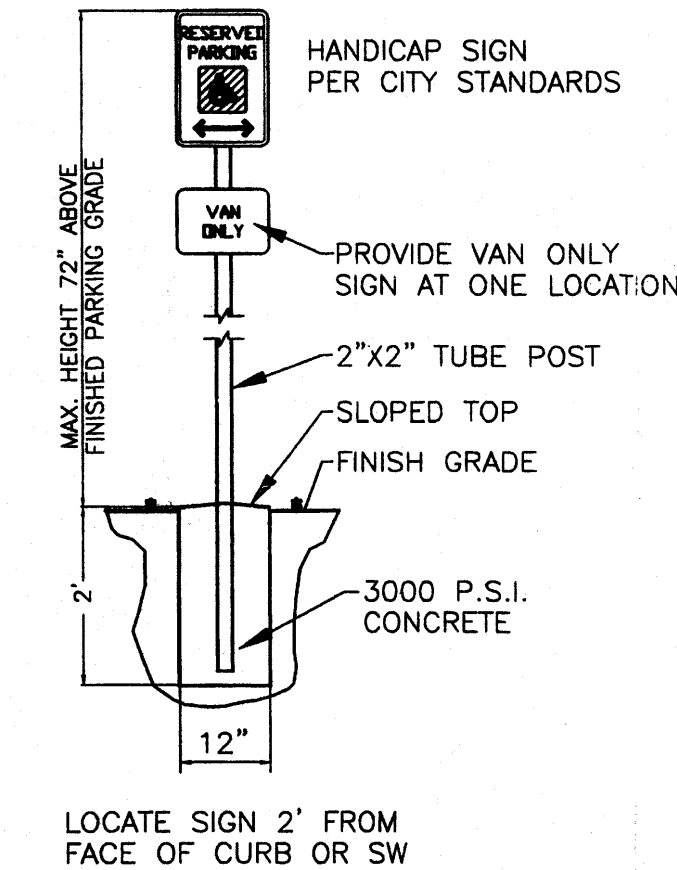
LANDSCAPE CALCULATIONS:
 NET LOT AREA: 8,550.00 SF ±
 LANDSCAPING REQUIRED: 1,045.00 SF ±
 15% OF 6,520.00 SF
 LANDSCAPE PROVIDED: 1,100.00 SF ±

PARKING CALCULATIONS:

PARKING REQUIRED:
 OFFICE: 1580.00 SF/200 8 SPACES
 TOTAL PARKING PROVIDED: 8 SPACES
 HC PARKING REQUIRED: 1 SPACES (1 VAN)
 HC PARKING PROVIDED: 1 SPACES (1 VAN)
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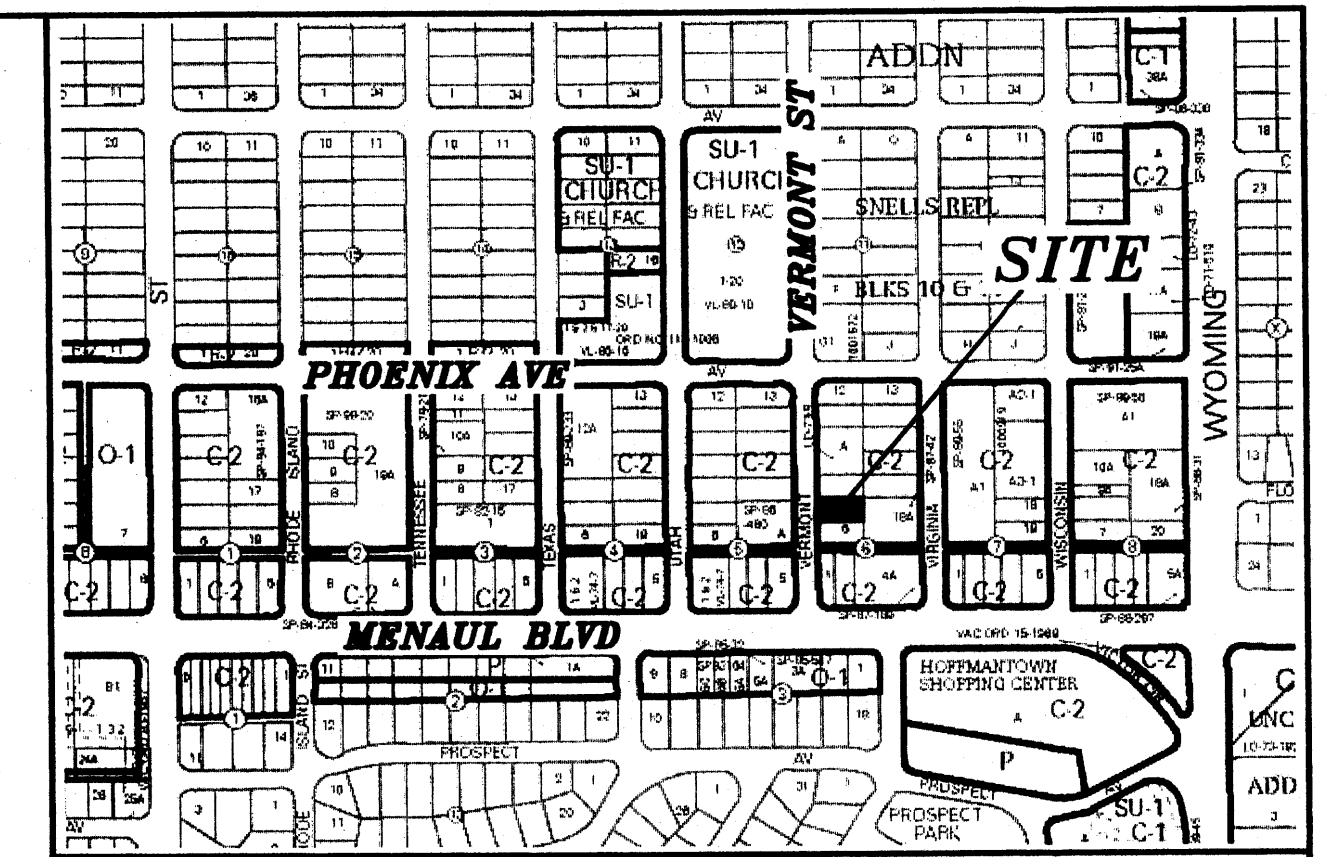
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HANDICAP SIGN DETAIL
 NTS

LEGEND

BOUNDARY LINE
 BUILDING
 EASEMENT LINE
 PROPOSED CURB ON SITE
 NUMBER PARKING SPACES
 PROPOSED CONCRETE AREA



VICINITY MAP:

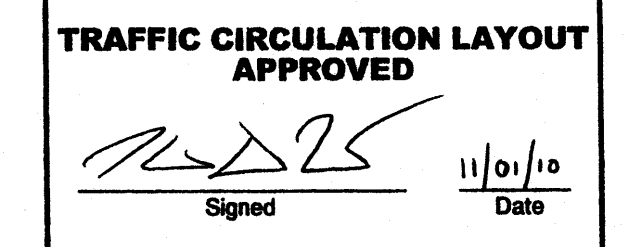
H-19-Z

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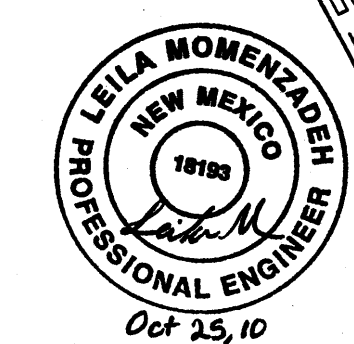
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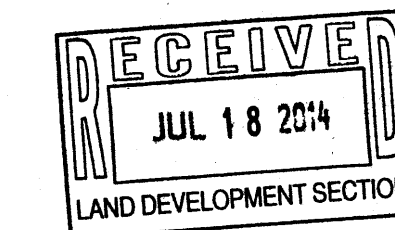
KEYED NOTES:

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- EXISTING FENCE
- HC RAMP PER CITY STANDARDS
- EXISTING 6' SIDEWALK

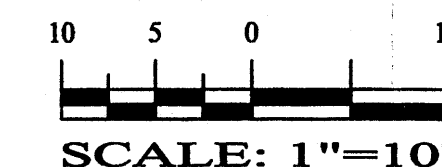
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GRAPHIC SCALE



LOT 7, BLOCK 6, SOMBRA DEL MONTE SITE PLAN FOR BUILDING PERMIT			
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201005-SP.DWG	SBH	10-3-2010	1 OF 1

LAST REVISION: 10-03-10