

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services**

August 15, 2014

Leila Momenzadeh P.E.
SBS Construction and Engineering, LLC
10209 Snowflake Ct NW
Albuquerque, NM 87114

Re: LOT 7 BLK 6 SOMBRA DEL MONTE
Certificate of Occupancy – Transportation Development ment
Engineer's Stamp dated 10-25-10 (H19-D079)
Certification dated 08-11-14

Dear Mrs. Momenzadeh,

Based upon the information provided in your submittal received 08-15-14, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

Albuquerque

If you have any questions, please contact me at (505)924-3630.

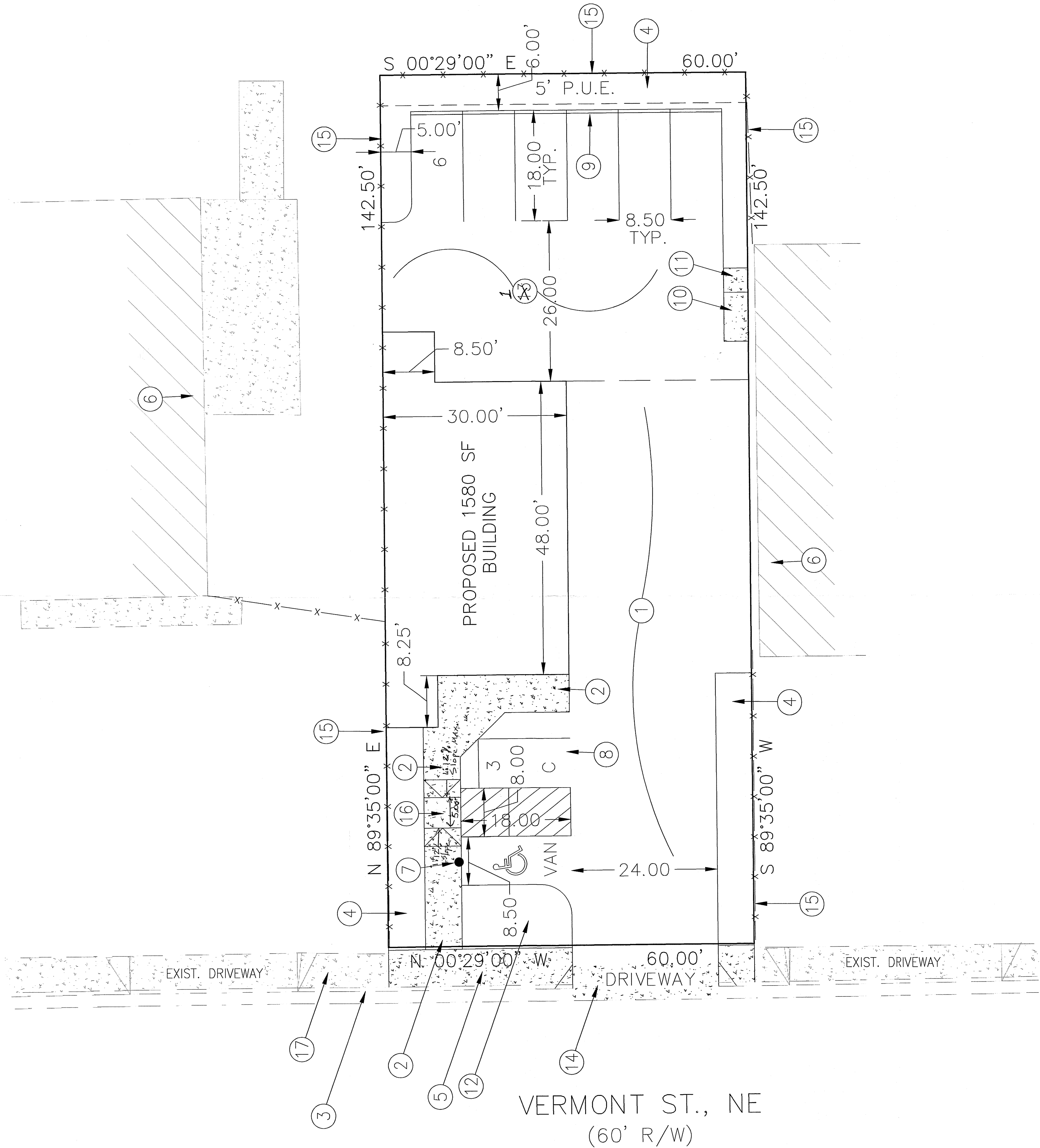
New Mexico 87103

Sincerely,

www.cabq.gov

Racquel M. Michel, P.E.
Senior Engineer, Planning Dept.
Development Review Services

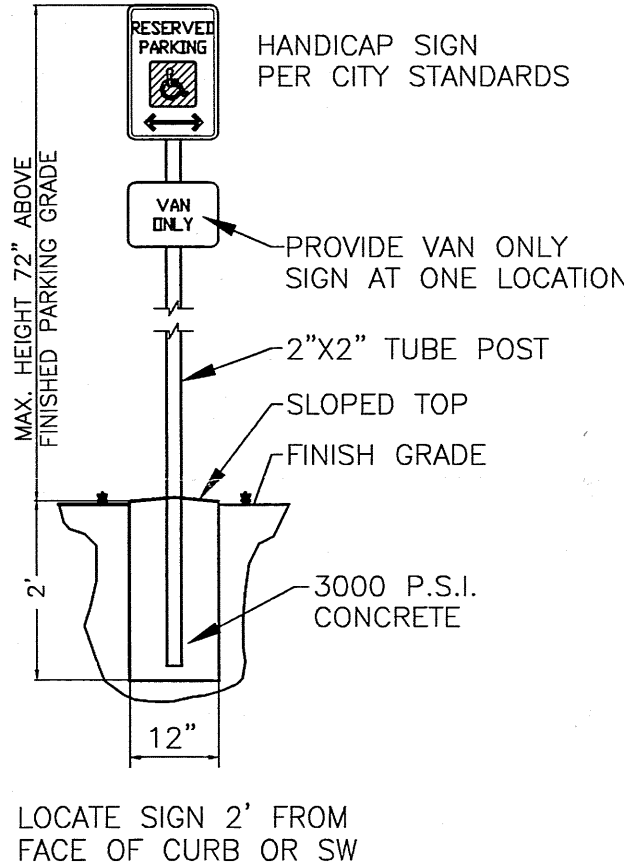
c: File
CO Clerk



SITE DATA		
PROPOSED USAGE:	OFFICE	
LOT AREA:	8,550 S.F.	(0.1963 ACRE)
NEW BUILDING AREA:	1,580.00 S.F.	
LANDSCAPE CALCULATIONS:		
NET LOT AREA	8,550.00 S.F. ±	
LANDSCAPING REQUIRED:	1,045.00 S.F. ±	
15% OF 6,520.00 SF		
LANDSCAPE PROVIDED	1,100.00 S.F. ±	
PARKING CALCULATIONS:		
PARKING REQUIRED:		
OFFICE:	1580.00 SF/200	8 SPACES
TOTAL PARKING PROVIDED:		
		8 SPACES
HC PARKING REQUIRED:		1 SPACES (1 VAN)
HC PARKING PROVIDED:		1 SPACES (1 VAN)
MOTORCYCLE SPACES REQUIRED:		
		1 SPACES
MOTORCYCLE SPACES PROVIDED:		1 SPACES

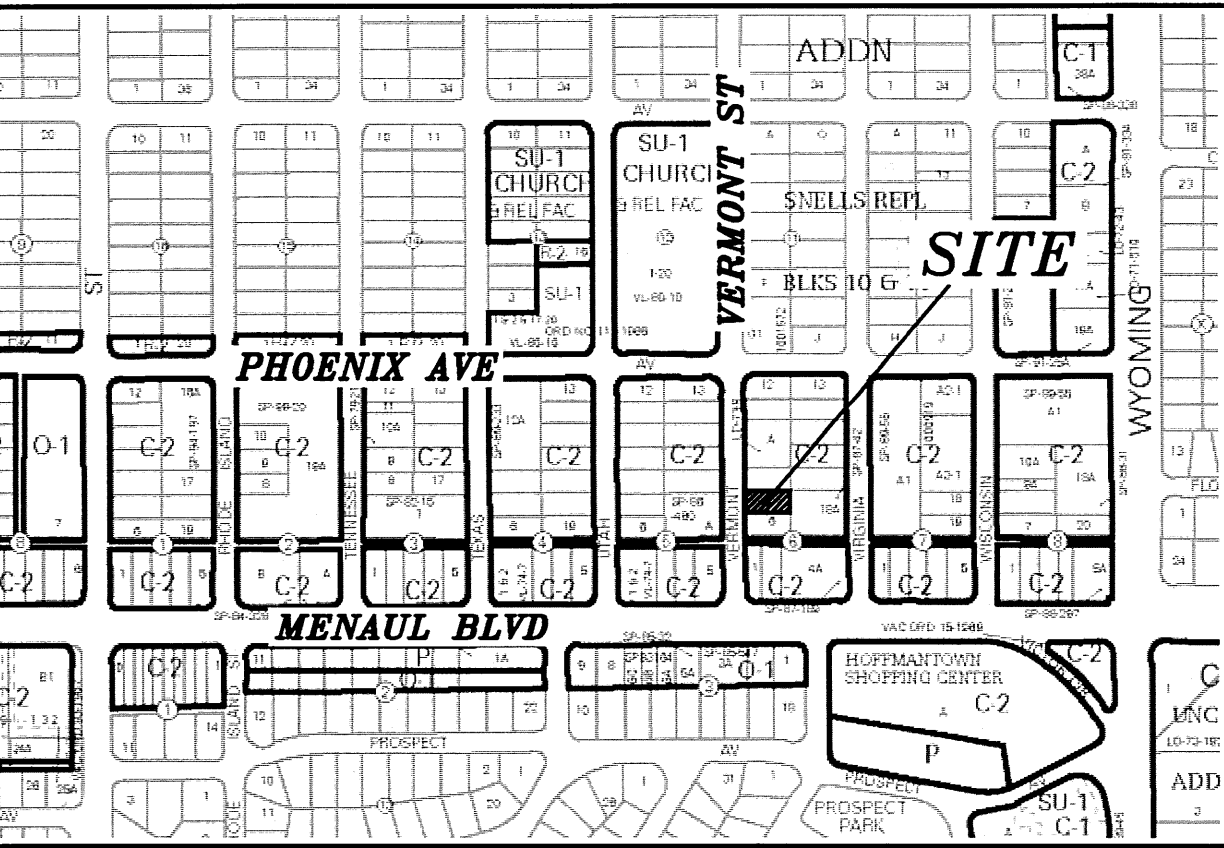
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



HANDICAP SIGN DETAIL
NTS

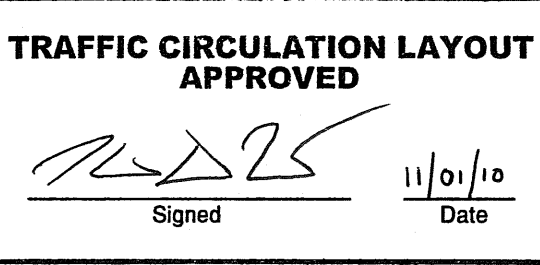
LEGEND	
	BOUNDARY LINE
	BUILDING
	EASEMENT LINE
	PROPOSED CURB ON SITE
	NUMBER PARKING SPACES
	PROPOSED CONCRETE AREA



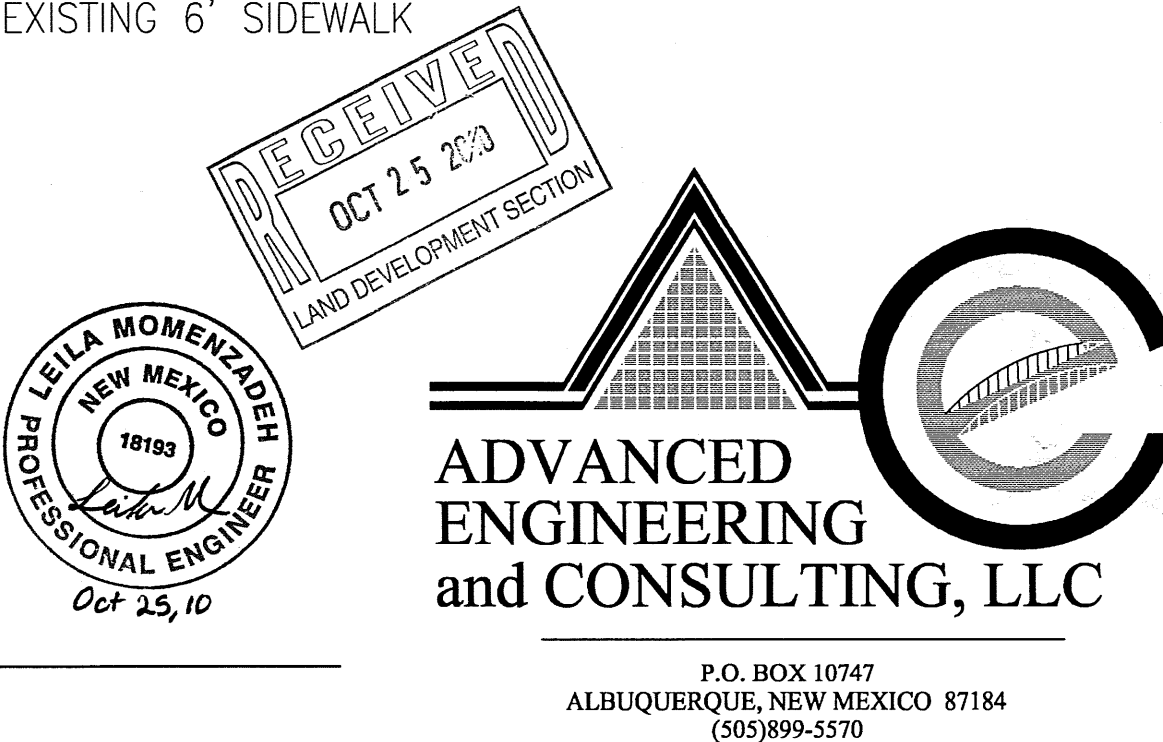
VICINITY MAP: H-19-Z

LEGAL DESCRIPTION:
LOT 7, BLOCK 6, SOMBRA DEL MONTE
CONTAINING 8,100.00 S.F. (0.1860 ACRE)
ZONING: C-2 USES

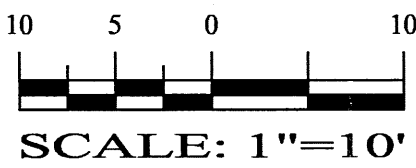
ADDRESS
2516 VERMONT, NE, ALBUQUERQUE, NM



- KEYED NOTES:
- NEW ASPHALT PAVING
 - NEW RAISED 6' SIDEWALK
 - EXISTING CURB & GUTTER
 - 6' LANDSCAPING BUFFER
 - NEW 6' PUBLIC SIDEWALK PER CITY STD DWG 2430
 - EXISTING BUILDING
 - NEW HANDICAP SIGN PER CITY OF ALBUQ. STANDARDS
 - COMPACT PARKING (8.00' X 15.00')
 - INSTALL PINNED CURB OR SIMILAR
 - NEW MOTOR CYCLE PARKING (4'X8')
 - NEW BIKE RACK PER CITY OF ALBUQ. STANDARDS
 - 10' LANDSCAPING BUFFER
 - PROPOSED 3" GRAVEL OVER COMPACTED SUBGRADE
 - NEW DRIVEWAY ENTRANCE PER CITY STD DWG 2425
 - EXISTING FENCE
 - HC RAMP PER CITY STANDARDS
 - EXISTING 6' SIDEWALK



GRAPHIC SCALE



LOT 7, BLOCK 6, SOMBRA DEL MONTE
SITE PLAN FOR BUILDING PERMIT

DRAWING:	DRAWN BY:	DATE:	SHEET #
201005-SP.DWG	SBH	10-3-2010	1 OF 1