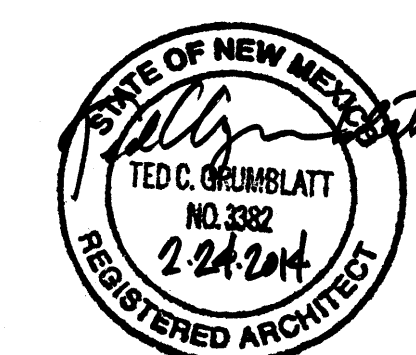


CONSULTANT



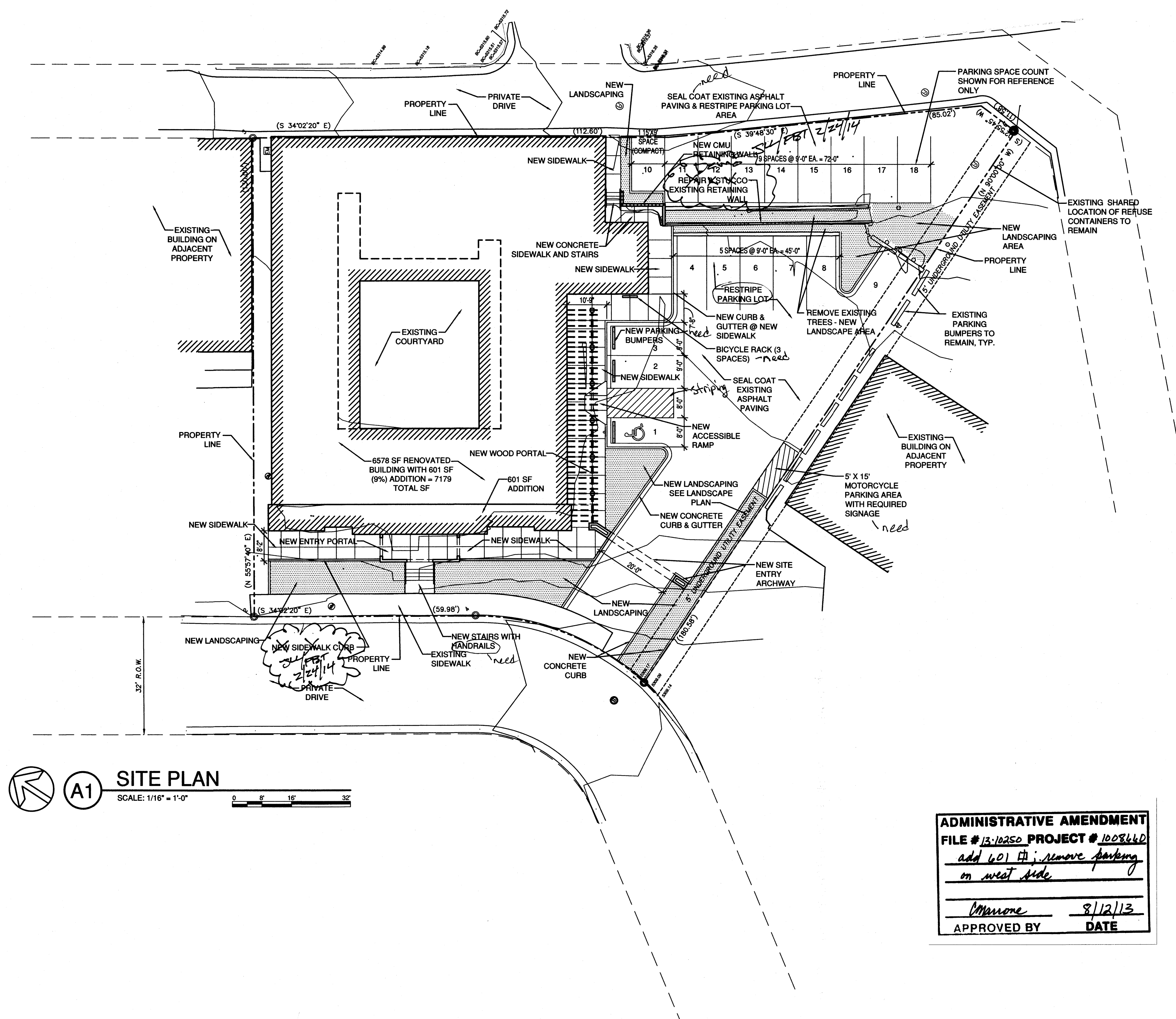
UPTOWN DENTAL
7101 PROSPECT NE
ALBUQUERQUE, NM

[illegible]

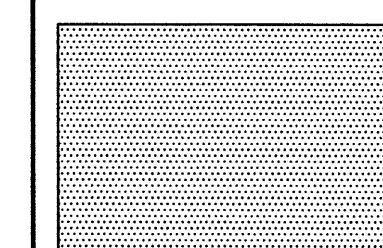
ISSUE: ADMINISTRATIVE AMENDMENT TO SITE PLAN
DATE: 8/12/2013
PROJECT NO:
CAD DWG FILE:
DRAWN BY: JLL
CHECKED BY: TCG

SHEET TITLE
SITE PLAN FOR ADMINISTRATIVE AMENDMENT

AS-101-AA



LEGEND



NEW LANDSCAPE AREAS - SEE LANDSCAPE PLAN

SITE INFORMATION

ADDRESS:
7101 PROSPECT PL NE

EXISTING ZONING:
SU-3 (NO PROPOSED CHANGES)

LEGAL DESCRIPTION:
LOT D, BLOCK B, OF THE LOUISIANA SUBDIVISION

LOT SIZE:
1/2 ACRE

PROPOSED BUILDING USE:
DENTAL OFFICE

PARKING REQUIRED:
5 SPACES PER 1 DOCTOR. OR 15 SPACES (3 DOCTORS)

PARKING PROVIDED:
18 SPACES (1 COMPACT, 1 VAN ACCESSIBLE, AND 16 REGULAR)

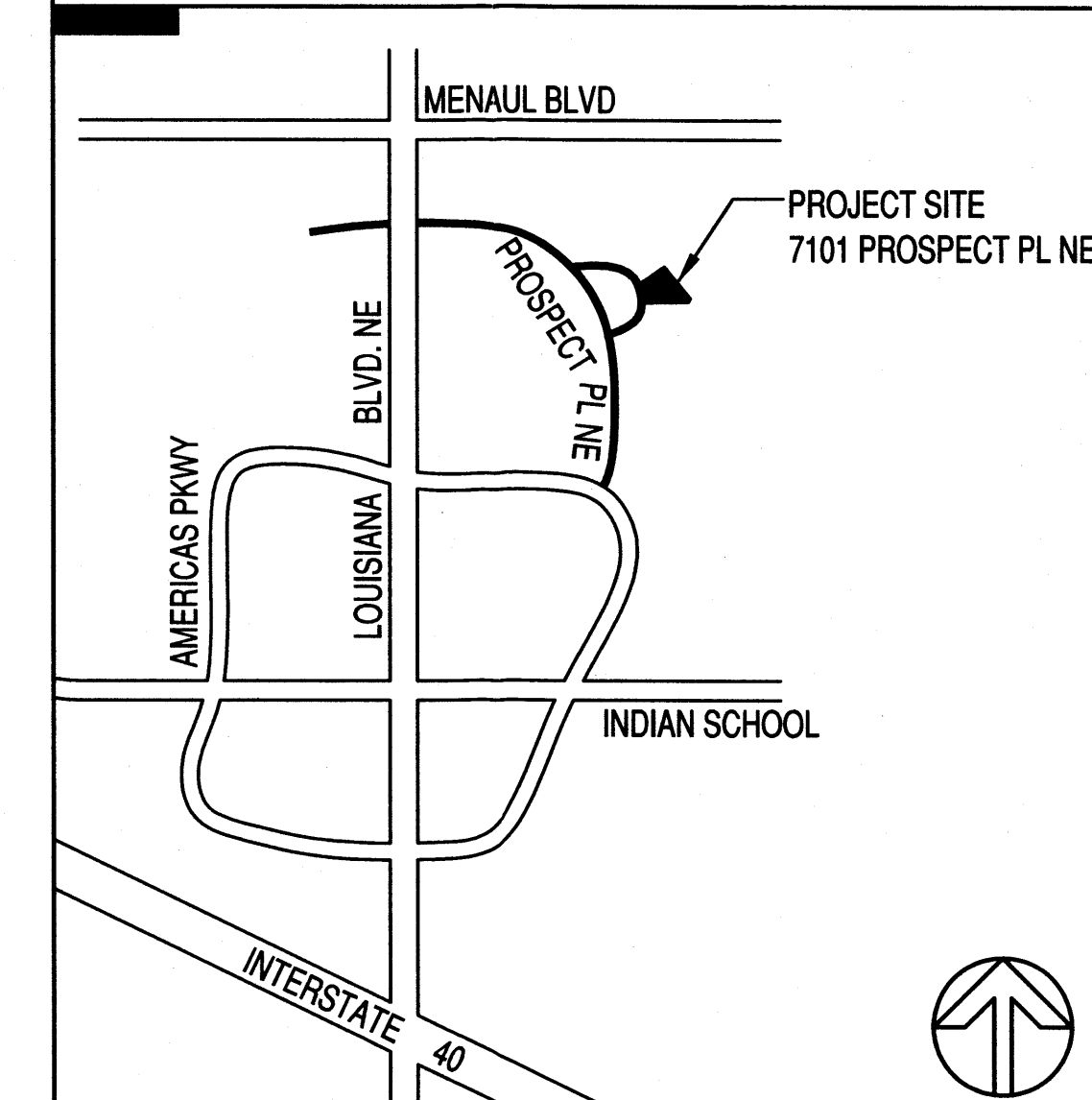
BICYCLE PARKING REQUIRED:
1 SPACE

BICYCLE PARKING PROVIDED
3 SPACES

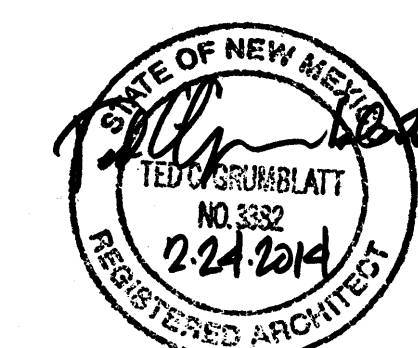
MOTORCYCLE PARKING REQUIRED:
1 SPACE

MOTORCYCLE PARKING PROVIDED:
2 SPACES (5' X 15' AREA)

VICINITY MAP



CONSULTANT



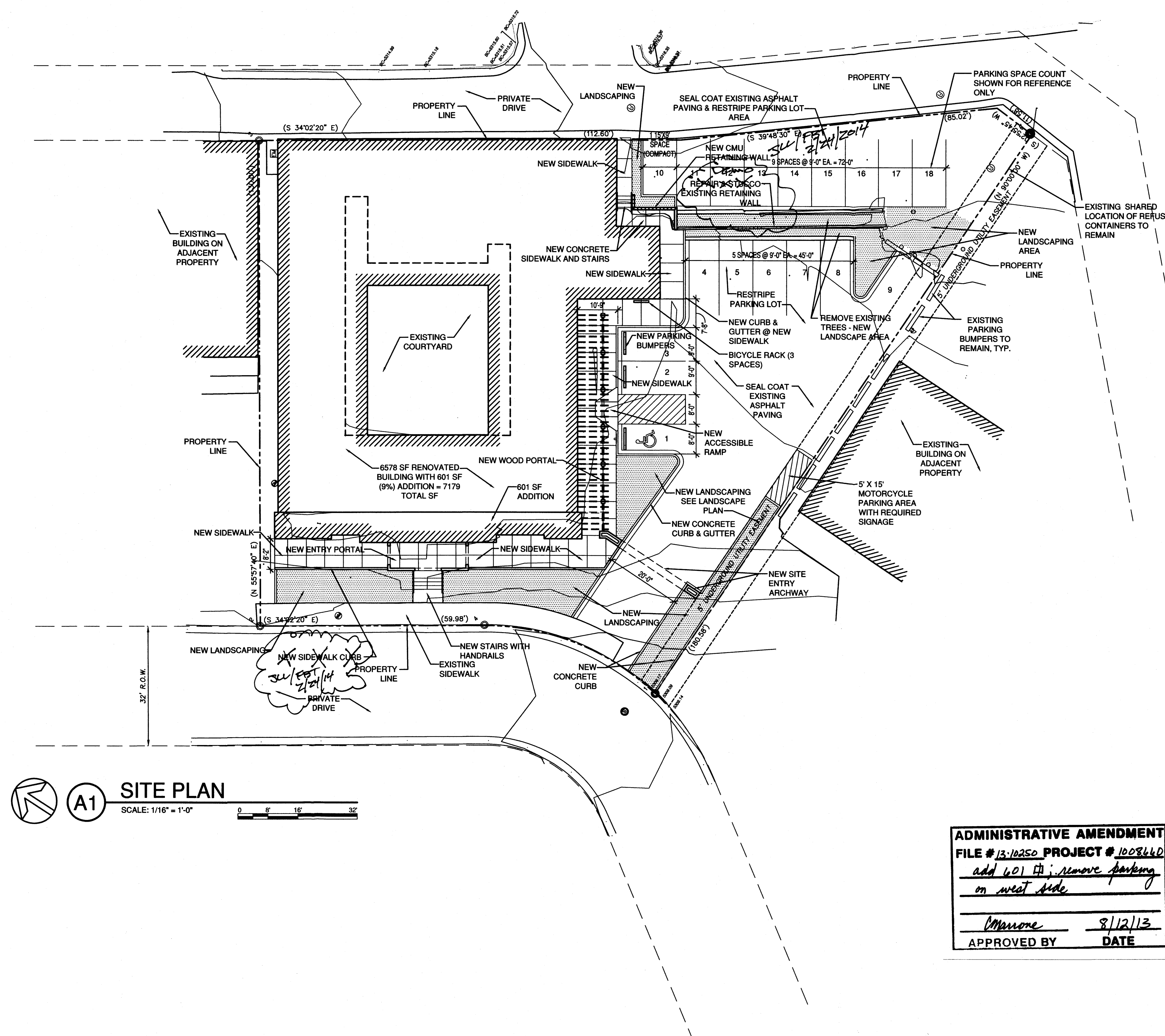
UPTOWN DENTAL
7101 PROSPECT NE
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION

ISSUE: ADMINISTRATIVE AMENDMENT TO SITE PLAN
DATE: 8/12/2013
PROJECT NO:
CAD DWG FILE:
DRAWN BY: JLL
CHECKED BY: TCG

SHEET TITLE
**SITE PLAN FOR
ADMINISTRATIVE
AMENDMENT**

AS-101-AA



LEGEND



SITE INFORMATION

ADDRESS: 7101 PROSPECT PL NE
EXISTING ZONING: SU-3 (NO PROPOSED CHANGES)
LEGAL DESCRIPTION: LOT D, BLOCK B, OF THE LOUISIANA SUBDIVISION
LOT SIZE: 1/2 ACRE
PROPOSED BUILDING USE: DENTAL OFFICE
PARKING REQUIRED: 5 SPACES PER 1 DOCTOR, OR 15 SPACES (3 DOCTORS)
PARKING PROVIDED: 16 SPACES (1 COMPACT, 1 VAN ACCESSIBLE, AND 16 REGULAR)
BICYCLE PARKING REQUIRED: 1 SPACE
BICYCLE PARKING PROVIDED: 3 SPACES
MOTORCYCLE PARKING REQUIRED: 1 SPACE
MOTORCYCLE PARKING PROVIDED: 2 SPACES (5' X 15' AREA)

VICINITY MAP

