

GENERAL NOTES:

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.

STAGES OF CONSTRUCTION:

- 1. CONTRACTOR TO PERFORM DETAILED SITE INSPECTION TO LOCATE ALL EXISTING UTILITIES AND VERIFY ANY POSSIBLE CONFLICTS WITH PROPOSED IMPROVEMENTS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTACT OWNER WITH ANY CONFLICTS.
- 2. INSTALLATION OF EROSION CONTROL FENCE.
- 3. DEMOLITION OF EXISTING SITE IMPROVEMENTS.
- 4. REMOVAL OF INDICATED EXISTING PAVEMENT ON THE SITE.
- 5. INSTALLATION OF ALL STORM WATER DRAINAGE IMPROVEMENTS.
- 6. ROUGH GRADING.
- 7. CONSTRUCTION OF NEW SITE IMPROVEMENTS.
- 8. FINAL GRADING.
- 9. PLACEMENT OF FINAL LANDSCAPING ITEMS AND SOD.
- 10. REMOVAL OF EROSION CONTROL FENCE.

LEGAL DESCRIPTION (AS-SURVEYED):

TRACT NUMBERED FOUR-A (4-A) OF THE REPLAT OF LOTS NUMBERED THREE (3), FOUR (4) AND FIVE (5), IN BLOCK NUMBERED SIX (6) OF THE AMENDED PLAT OF SOMBRA DEL MONTE, A SUBDIVISION, THE CITY OF ALBUQUERQUE, NEW MEXICO, AS SAME IS SHOWN AND DESIGNATED ON THE MAP OF SAID SUBDIVISION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, FILED JUNE 8, 1987, IN PLAT BOOK C33, FOLIO 172.

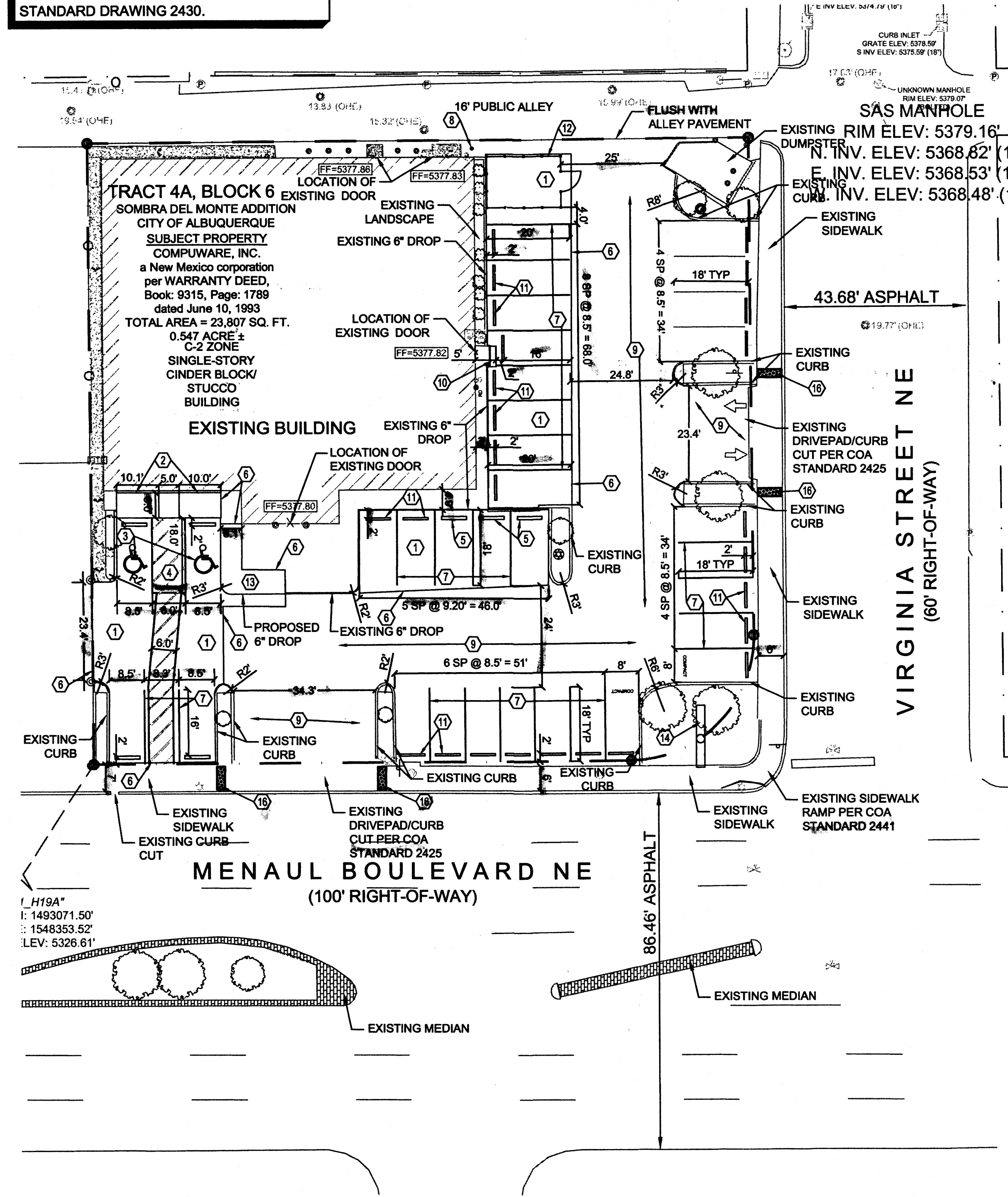
SPECIAL NOTE:  
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430.

GENERAL INFORMATION:

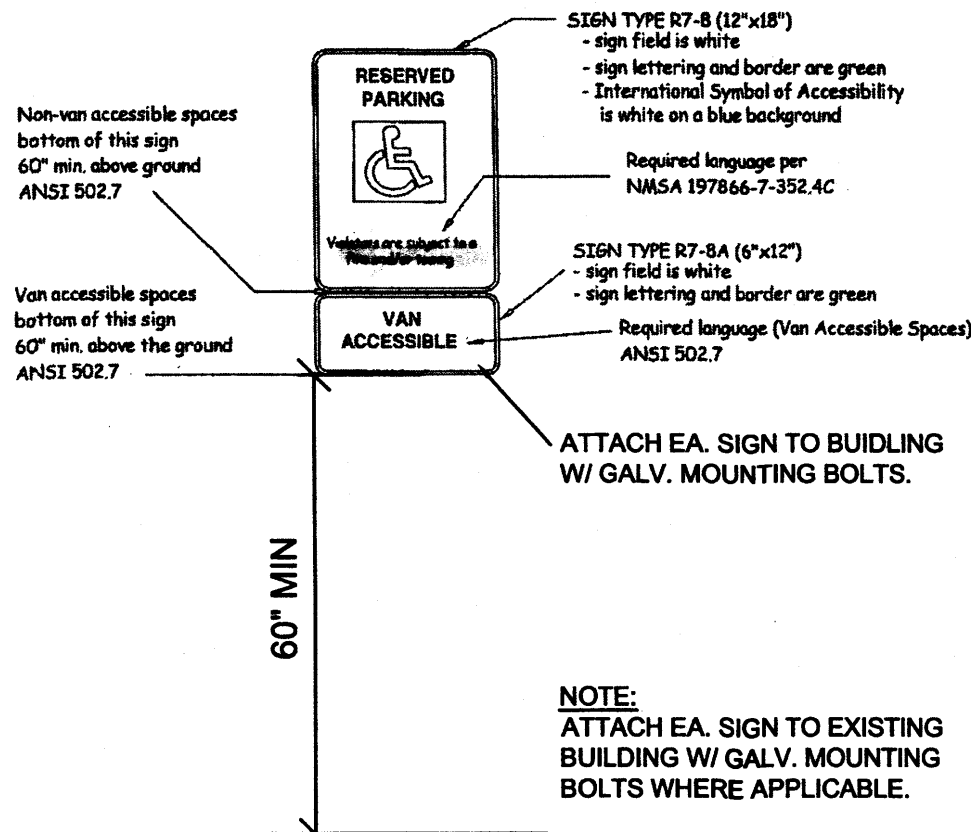
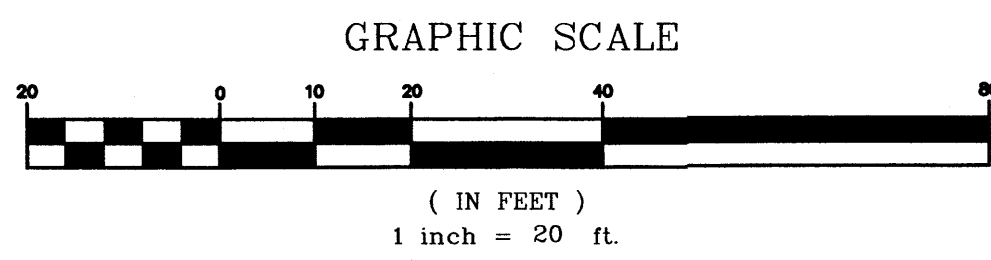
TYPE OF DEVELOPMENT: COMMERCIAL RETAIL  
SIZE OF DEVELOPMENT: BUILDING = 7,440 SQ. FT.  
PARKING LOT = 14,150 SQ. FT.  
7,440 / 200 = 37.2 = 38 SPACES  
ACCORDING TO 14-16-3-1-E-6-a-1, REQUIRED PARKING MAY BE REDUCED BY 10% IF WITHIN 300 FT. OF A REGULAR ALBUQUERQUE TRANSIT SYSTEM ROUTE. ALBUQUERQUE BUS ROUTE 8 IS WITHIN 300 FT. OF PROPOSED DEVELOPMENT.  
38 SPACES \* 0.90 = 34.2 = 35 SPACES  
PARKING SPACES REQUIRED: 35 SPACES  
PARKING REDUCTION: 2 SPACES  
HANDICAP SPACES PROVIDED: 2 SPACES

EXECUTIVE SUMMARY:

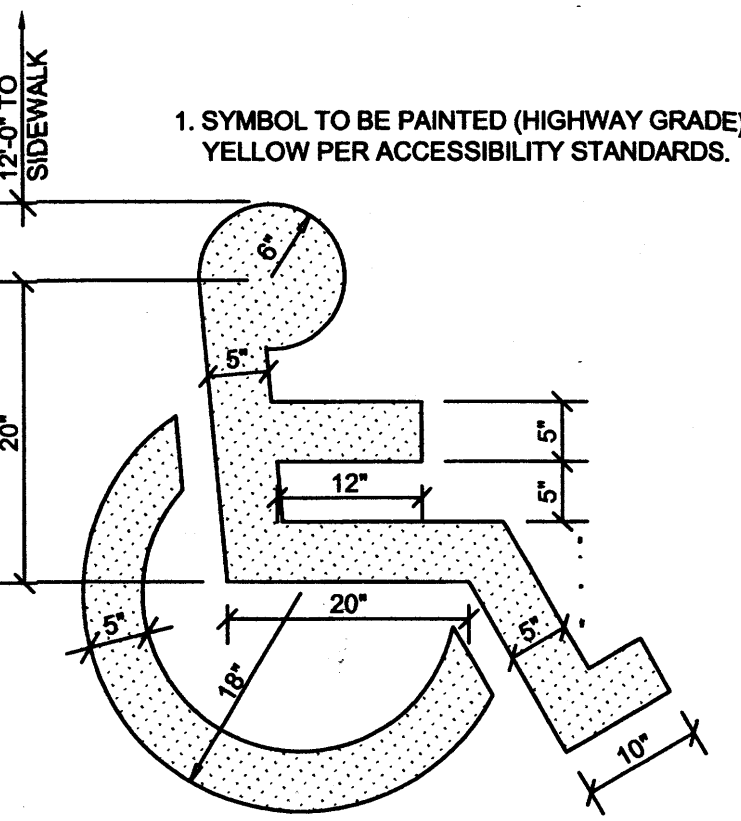
THIS COMMERCIAL PROJECT IS LOCATED AT 8117 MENAUL BLVD NE ALBUQUERQUE, NM. O'REILLY AUTO PARTS IS RENOVATING A 7,440 SQ. FT. EXISTING BUILDING AND 14,150 SQ. FT. OF EXISTING PARKING LOT. THE PARKING LOT PROVIDES 35 TOTAL PARKING SPACES WITH 2 HANDICAP SPACES. THE EXISTING PARKING LAYOUT PROVIDES 2 DRIVEWAY ACCESSES WITH AN EXISTING 34' WIDE DRIVE AISLE CONNECTING TO MENAUL BLVD NE AND AN EXISTING 23' WIDE DRIVE AISLE CONNECTING TO VIRGINIA ST NE.



1 TRAFFIC CIRCULATION LAYOUT PLAN  
C2 SCALE: 1" = 20'



2 BUILDING HANDICAP PARKING SIGN  
C2 SCALE: NOT TO SCALE

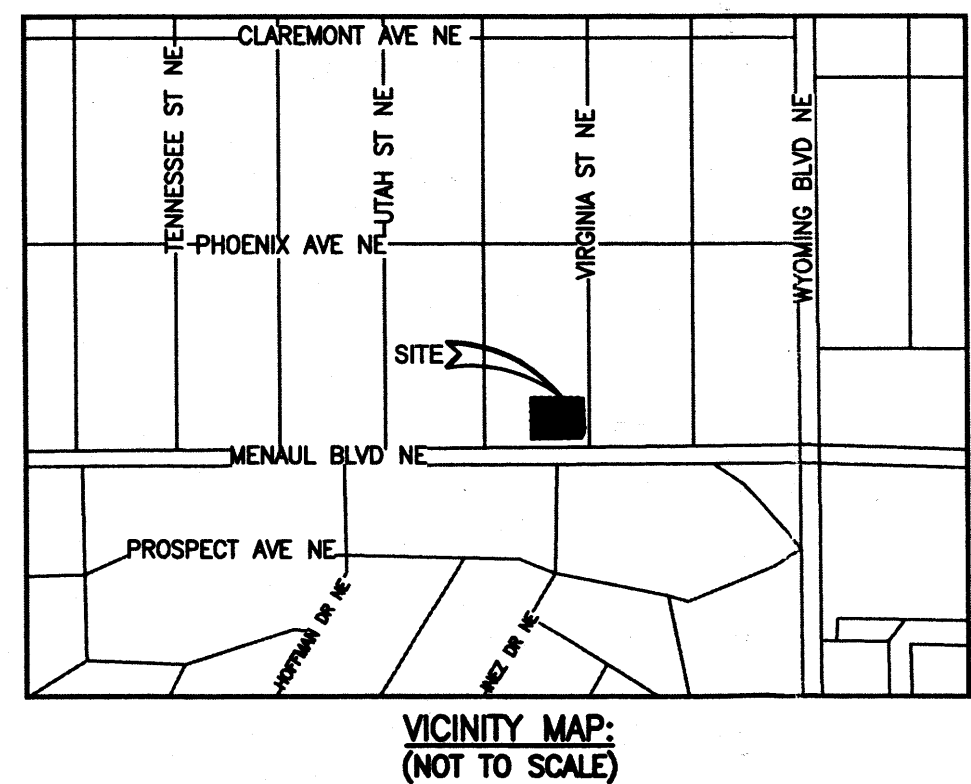


3 HANDICAP PARKING SYMBOL  
C2 SCALE: NOT TO SCALE

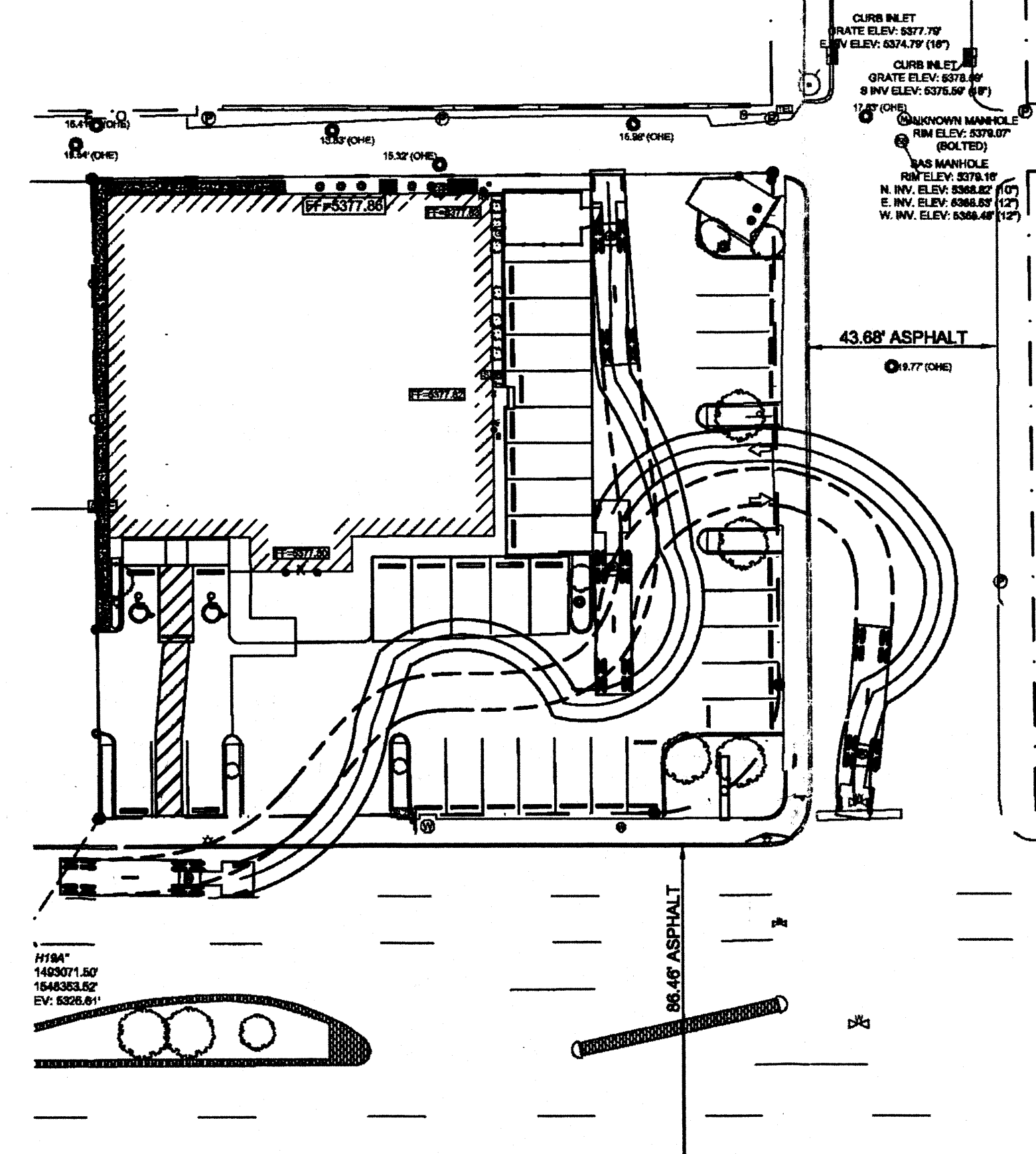
KEY NOTES:

- 1. NEW CONCRETE PAVING: REFER TO DETAIL 2/C3.
- ALTERNATE #1: ASPHALT PAVING REFER TO DETAIL 3/C3.
- 2. NEW BUILDING HANDICAP PARKING SIGN: REFER TO DETAIL 2/C2.
- 3. NEW HANDICAP PARKING SYMBOL: REFER TO DETAIL 3/C2.
- 4. NEW HANDICAP ACCESS UNLOADING ZONE: SLOPE 2% MAX. EACH WAY (ADA COMPLIANT) AND STRIPE AS SHOWN. REFER TO SHEET C1 FOR ELEVATIONS.
- 5. NEW CONCRETE BUMPER BLOCK: 8" W x 5" H x 6'-0" LONG CONCRETE. ANCHOR TO PAVING WITH (2) 1'-6" LONG #4 REBAR (TO SIT LEVEL WITH PAVING).
- 6. LIMITS OF NEW PAVING: MATCH EXISTING PER CITY AND OR STATE STANDARDS.
- 7. NEW STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. USE HIGHWAY MARKING PAINT - WHITE (2 COATS).
- 8. NEW STEEL BOLLARD: REFER TO DETAIL 5/C3. PROVIDE (1) AT REAR OF BUILDING. REFER TO ARCHITECTURAL PLAN FOR LOCATION.
- 9. REPAIR, SEAL, AND STRIPE EXISTING ASPHALT PAVING.
- 10. NEW CONCRETE DOOR LANDING: REFER TO DETAIL 4/C3 AND STRUCTURAL DETAILS. LANDING CAN BE POURED MONOLITHIC.
- 11. EXISTING CONCRETE BUMPER BLOCKS: RELOCATE AND REUSE EXISTING CONCRETE BUMPER BLOCKS WHERE POSSIBLE. IF DAMAGED DURING CONSTRUCTION, REPLACE WITH NEW CONCRETE BUMPER BLOCKS PER KEYNOTE 5.
- 12. NEW SCREEN FENCE: REFER TO DETAIL 6/C3.
- 13. CONCRETE SIDEWALK: REFER TO DETAIL 4/C3.
- 14. NEW SIGN LOCATION: EXISTING SIGN POLE TO BE REMOVED. NEW SIGN UNDER SEPARATE PERMIT (BY OTHERS).
- 15. LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.
- 16. INSTALL 6" X 2" TRUNCATED DOMES PER ADA STANDARDS.

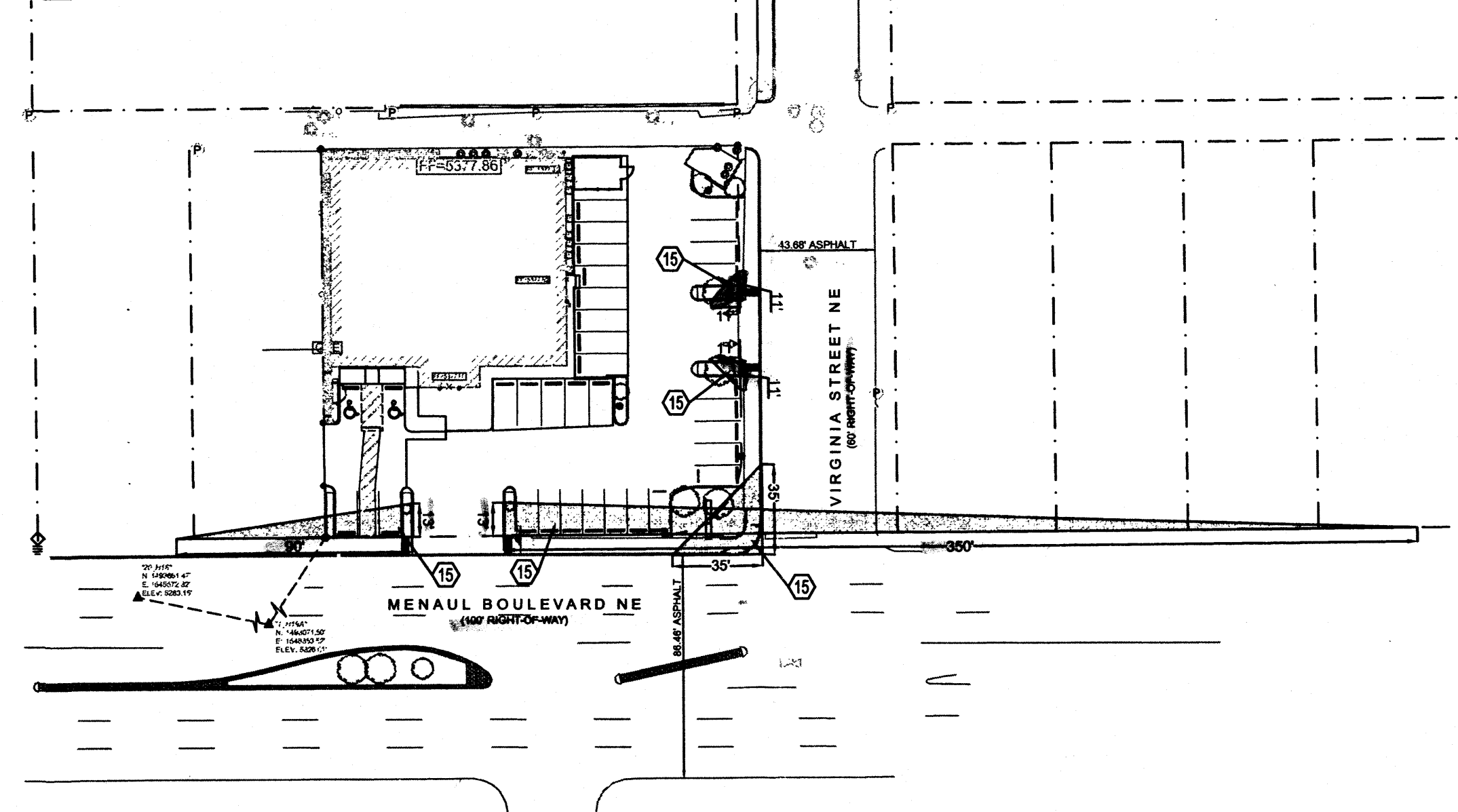
ENTIRE SHEET REVISED



ANDERSON (AE) ENGINEERING, INC.  
ENGINEERS - SURVEYORS - LABORATORIES - DRILLING  
2040 W. COOK ROAD, SUITE 100, ALBUQUERQUE, NM 87106-2741  
PROJ. # 10176-15 CDD NSB  
BY: MRR DRAWING # 10176-15 CDD NSB WB-110-475  
REVISIONS:



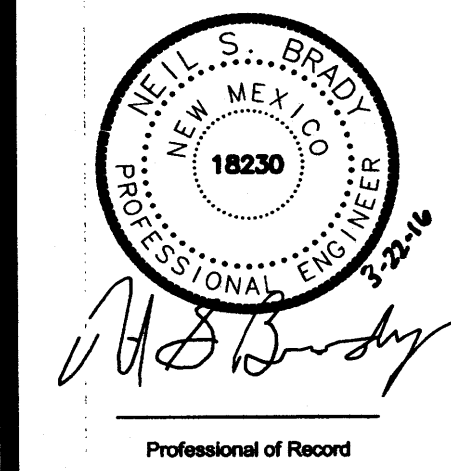
4 DELIVERY TRUCK VEHICLE ROUTE  
C2 SCALE: NOT TO SCALE



5 SIGHT DISTANCE EXHIBIT  
C2 SCALE: 1" = 50'

O'Reilly AUTO PARTS

PROJECT: RE-MODEL O'REILLY AUTO PARTS STORE  
8117 MENAUL BLVD., N.E.  
ALBUQUERQUE, NM. 87110



DRAWN: MRR  
CHECKED: NSB  
DATE: 12/23/15  
JOB NO.: 315619 (A16)  
SHEET:

C2  
SHEET 2 OF 3



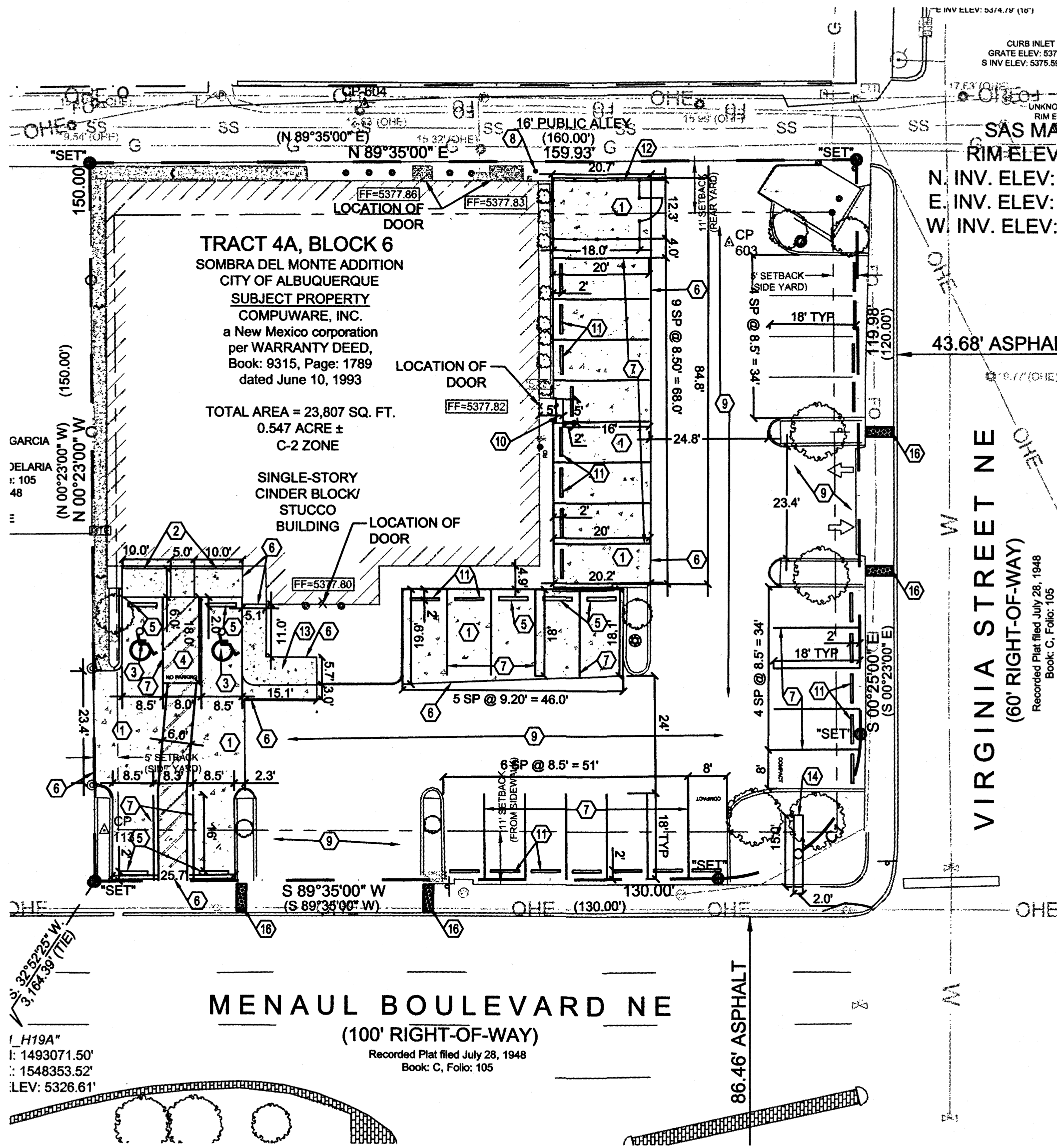
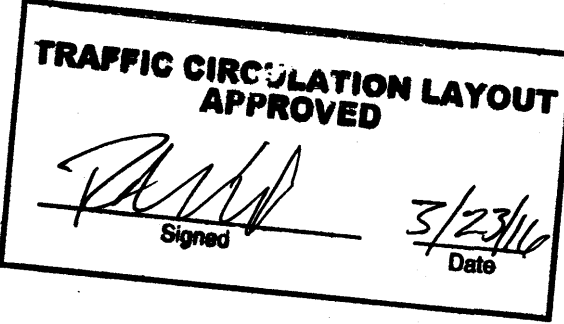
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- CONCRETE SIDEWALK:  
REFER TO DETAIL 4/C3.
- NEW SIGN LOCATION:  
EXISTING SIGN POLE TO BE REMOVED.  
NEW SIGN UNDER SEPARATE PERMIT (BY OTHERS).
- NOT SHOWN ON SHEET C3.
- INSTALL 6' X 2' TRUNCATED DOMES PER ADA STANDARDS.

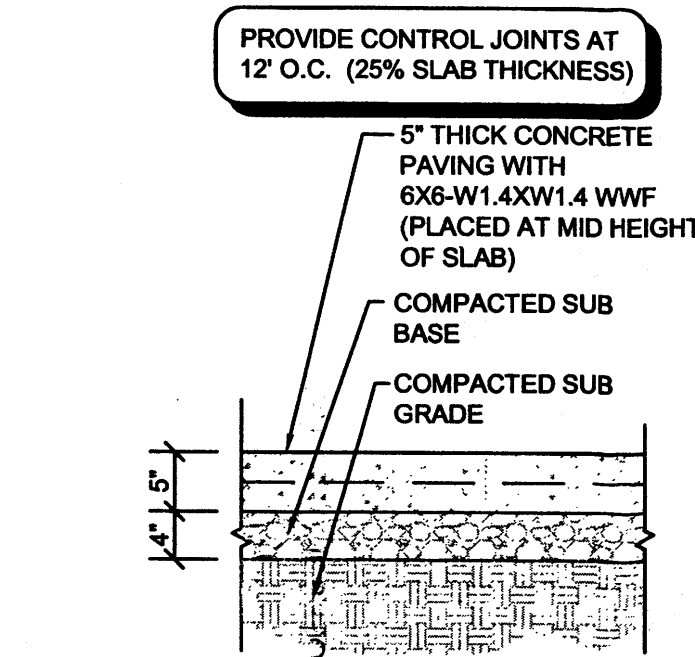
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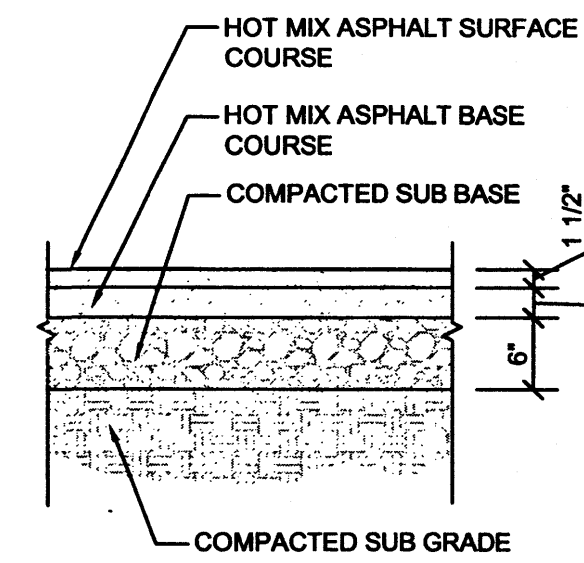
ALL WHEELCHAIR RAMPS LOCATED  
WITHIN THE PUBLIC RIGHT OF WAY  
MUST HAVE TRUNCATED DOMES.



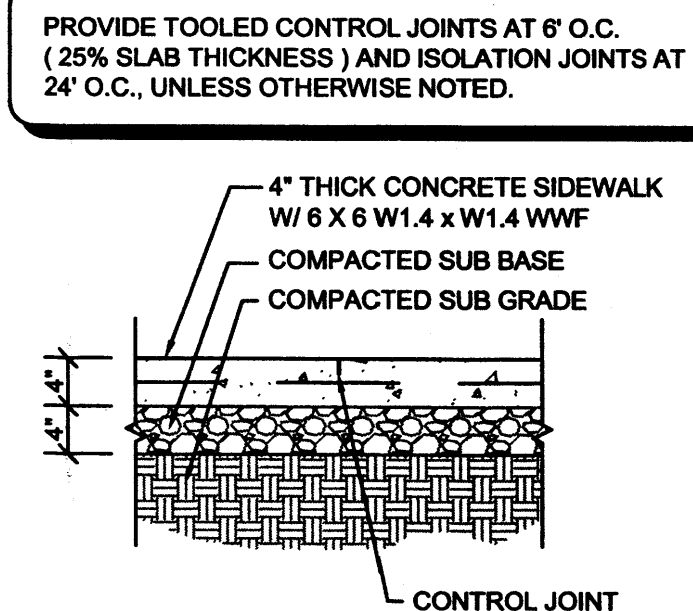
1 SITE DIMENSION PLAN  
C3 SCALE: 1" = 20'



2 CONCRETE PAVING SECTION  
C3 SCALE: NOT TO SCALE

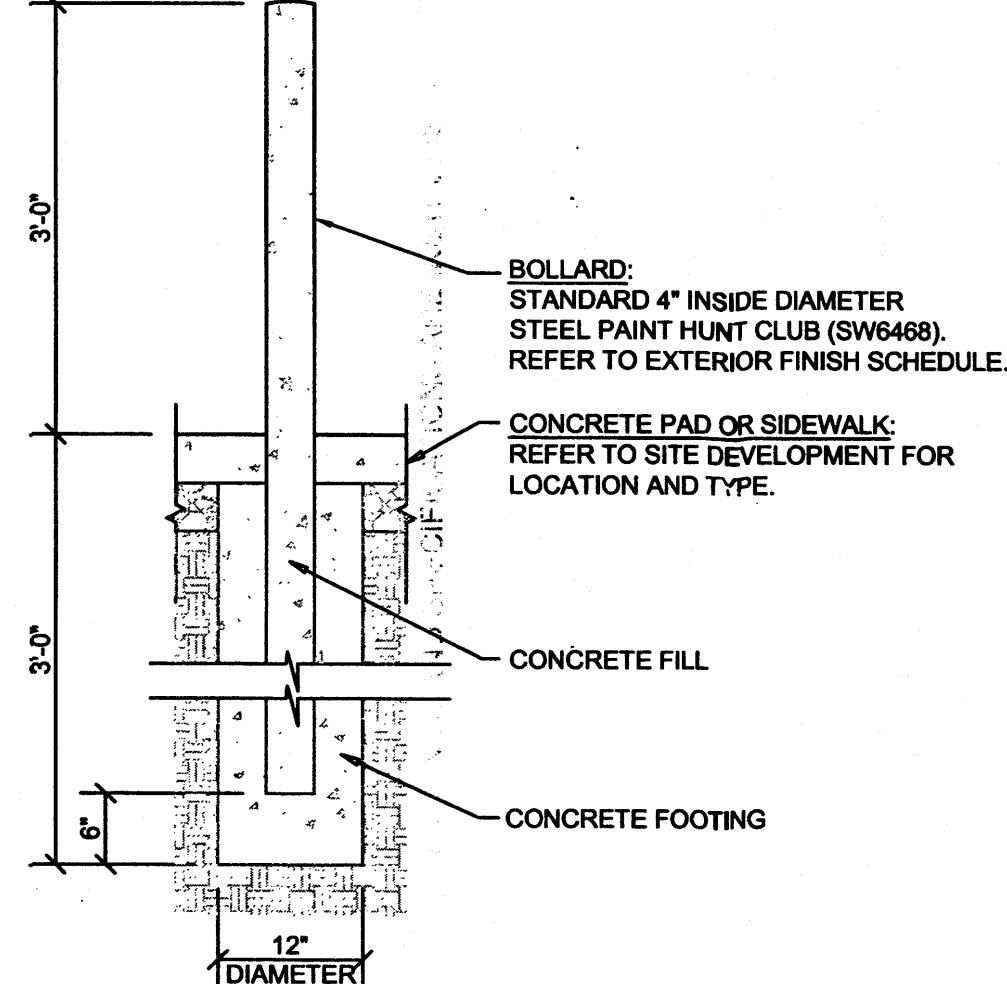


3 ASPHALT PAVING SECTION  
C3 SCALE: NOT TO SCALE

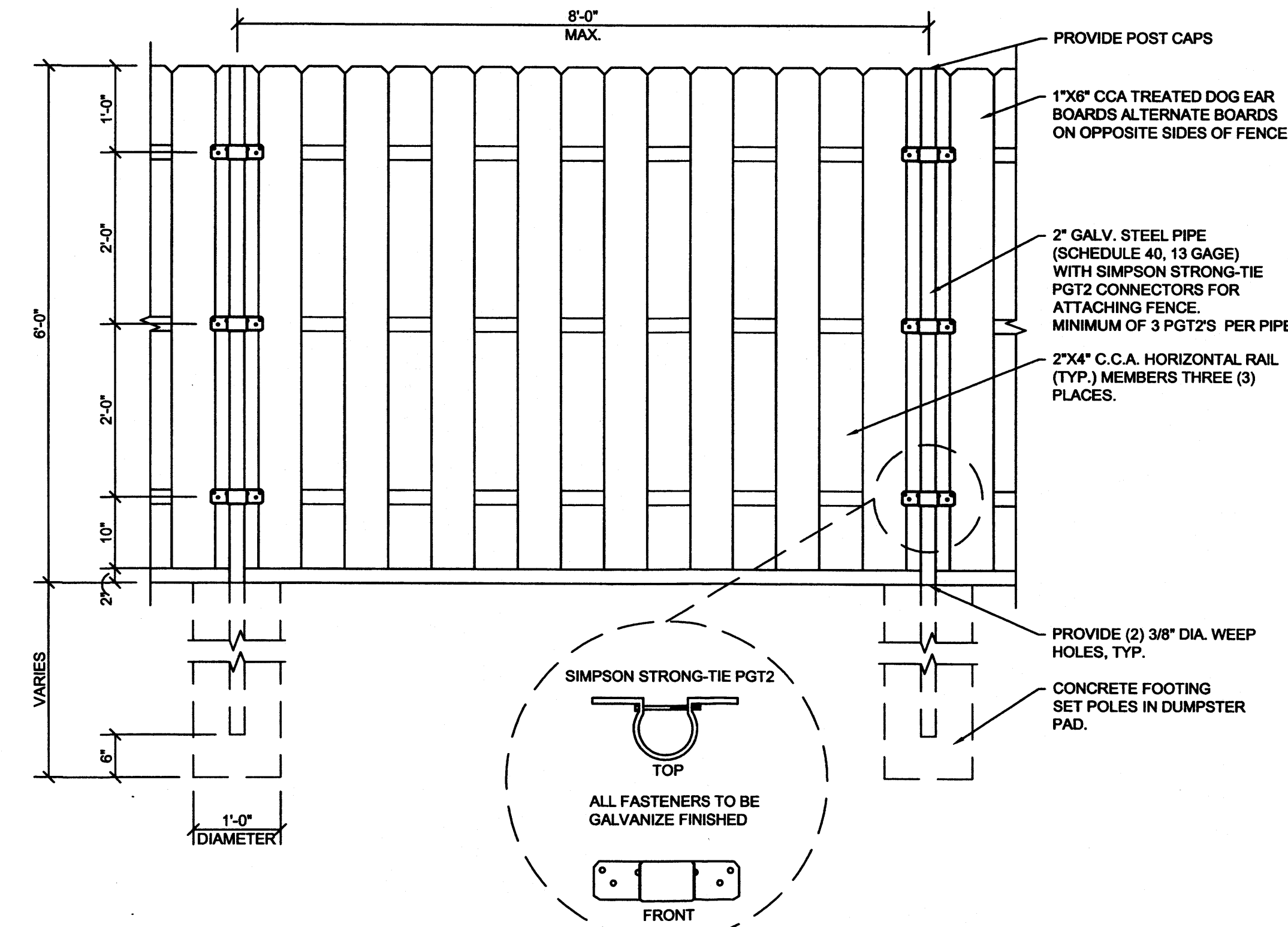


4 CONCRETE SIDEWALK SECTION  
C3 SCALE: NOT TO SCALE

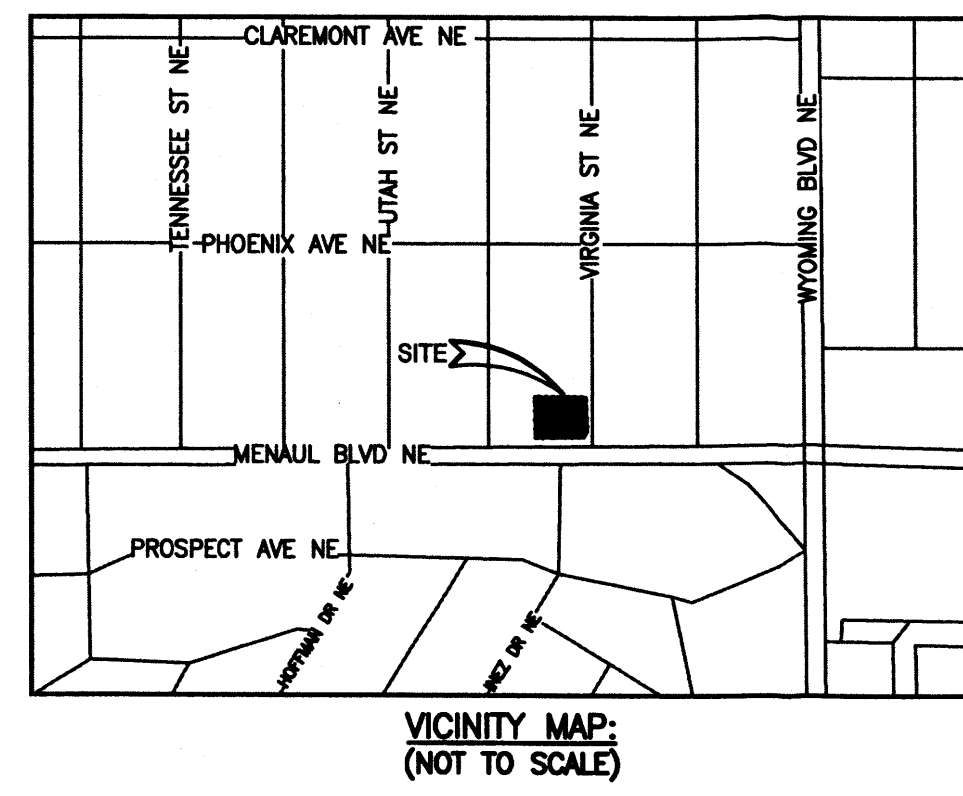
SYMBOLS LEGEND	
REFER TO SURVEY FOR EXISTING CONDITION SYMBOLS LEGEND	
	AREA NEW OF CONCRETE
	NEW CONCRETE PAVING BLOCK



5 STEEL BOLLARD SECTION  
C3 SCALE: NOT TO SCALE



6 SCREEN FENCE  
C3 SCALE: NOT TO SCALE



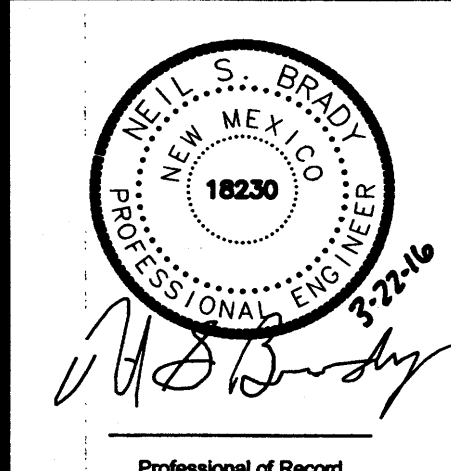
**ANDERSON (A/E) ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING  
2445 W. WOODLAND • SPRINGFIELD, MISSOURI 65807 • PHONE (417) 866-2741  
FAX (417) 866-2741 • CELL (417) 866-2741  
PROJECT # 10176-15 CDD: NSB WB-110-475  
BY: MRR DRAWING #  
REVISIONS:

SHEET ADDED TO SET

**O'Reilly AUTO PARTS**

CORPORATE OFFICES  
233 SOUTH PATTERSON  
SPRINGFIELD, MISSOURI 65802  
417-862-2874 PHONE

PROJECT:  
RE-MODEL O'REILLY AUTO PARTS STORE  
**8117 MENAUL BLVD., N.E.  
ALBUQUERQUE, NM. 87110**  
**SITE DIMENSION PLAN**



Professional of Record  
DRAWN: MRR  
CHECKED: NSB  
DATE: 03/10/16  
JOB NO.: 315619 (A16)  
SHEET:

**C3**  
SHEET 3 OF 3