

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

June 6, 2019

Matt Satches, PE
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: **2440 Louisiana NE**
Grading and Drainage Plan
Engineer's Stamp Date: 5/14/19
Hydrology File: H19D084

Dear Mr. Satches:

Based on the submittal received on 5/20/19 the above-referenced Grading and Drainage Plan cannot be approved for Grading or Paving Permit until the following corrections are made:

1. Onsite detention is required. The capacity of the storm drain in Louisiana has been exceeded; therefore discharge is limited to 0.1cfs/ac. No increased runoff to overcapacity systems can be authorized per § 14-5-2-12 (G) of the Albuquerque Code of Ordinances.
2. Provide two detailed and scaled exhibits of the land treatments; one for existing and one for proposed. Delineate between areas of impervious and pervious cover on both and provide the area take-offs.
3. Storm water quality calculations are missing. This site qualifies as redevelopment and is only required to retain runoff from the 80th percentile storm ($\text{Vol.} = 0.26'' \times \text{Imp. Area}$).
4. A Bernalillo County Recorded [Drainage Covenant \(No Public Easement\)](#) is required for the storm water quality pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants.
5. Show the contours and grades for the adjacent underground parking structure entrance. Special care must be taken to ensure no additional runoff is directed toward it. New survey data is required.
6. Provide written and signed permission from the adjoining property to the south for any new discharge to their property.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

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7. Include project benchmark and datum.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana M. Peterson
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

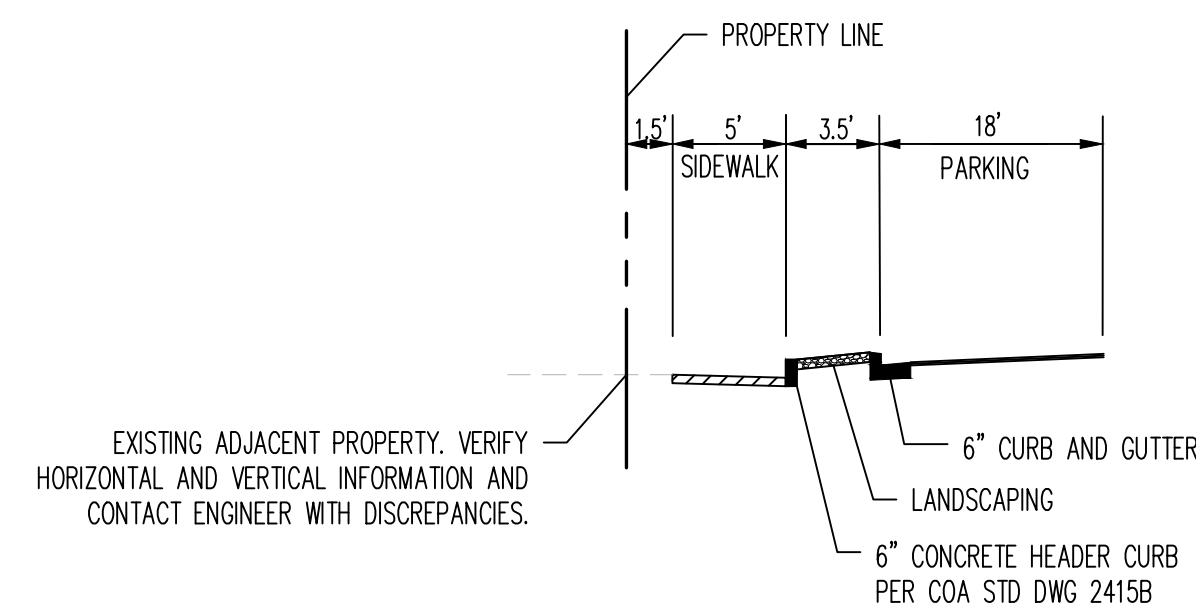
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

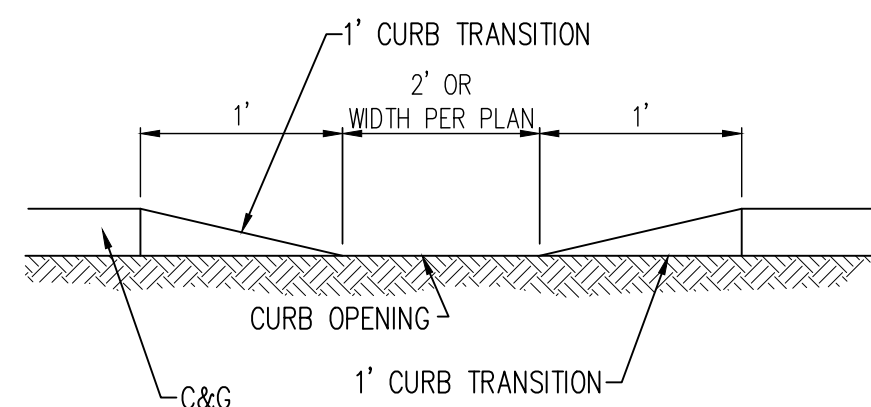
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

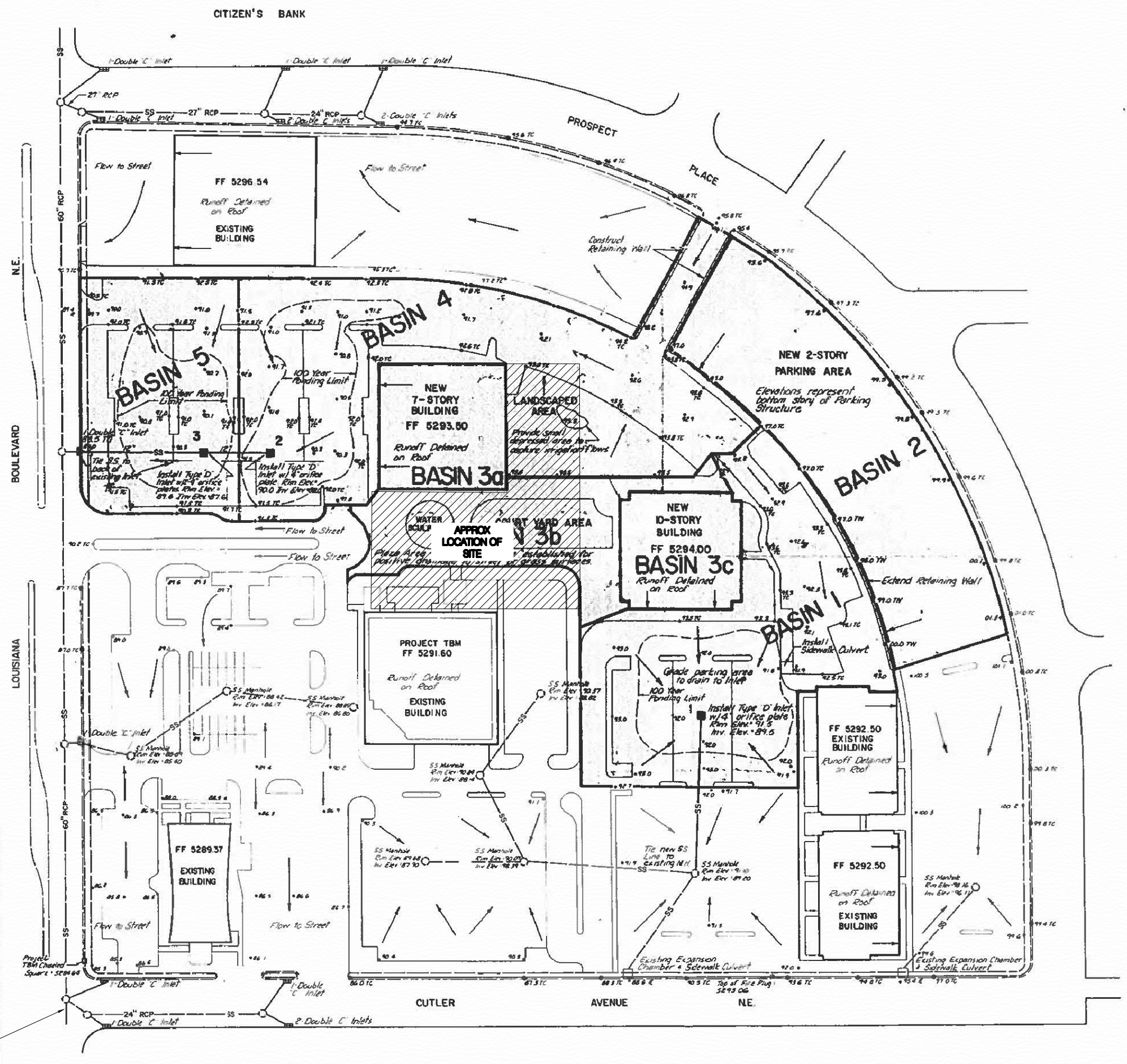




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Mon, 20-May-2019 - 10:21:am, Plotted by: MSATCHES

[illegible]

EXISTING 60" STORM DRAIN:
MANNINGS N = 0.013
SLOPE = 1.0%
BASED ON AS-BUILTS COA PROJ #867167
EXISTING CAPACITY = 260.5 CFS
ADDITIONAL RUNOFF = 0.24 CFS
PERCENTAGE OF EXISTING 60" SD CAPACITY = 0.09%



- LEGEND
- SPOT ELEVATION
 - SS STORM DRAIN LINE
 - STORM INLET
 - RETAINING WALL
 - NEW DEVELOPMENT
 - BASIN BOUNDARY

PLATE 4
PROPOSED CONDITIONS

AMERICAN FINANCIAL CENTER
DRAINAGE PLAN

Jan No	32140	Sheet	1 of 2
Drawn By	P.E.	Date	JAN. 84
Checked By	B.G.B.	Scale	1" = 50'



A with sample